



**SUPPLEMENTARY REPORT OF ANNELIZE KAALSEN  
(AK PLANNING) DATED 18 FEBRUARY 2022**

**SUBJECT:**                    **LPP01: 21 KING GEORGE STREET, LAVENDER  
                                  BAY**

**APPLICATION NO.**       **DA 216/20**

**AUTHOR:**                   **ANNELIZE KAALSEN (AK PLANNING)**

**DATE:**                     **22 FEBRUARY 2022**

**Attachments:**

1. Amended Architectural Plans, Basement plan & existing ground plane
2. Additional View Analysis
3. Previous Assessment Report (LPP02 01.12.2021)

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**1. Purpose of the Addendum**

The purpose of this Addendum Report is to provide consideration for the additional information submitted by the applicant in response to the deferral by the North Sydney Local Planning Panel (NSLPP) on 1 December 2021 *“for further information and analysis on height, view loss and setbacks to Bay View Street. Concerns were raised by the Panel about the height of the proposed dwelling and whether compliance has been achieved with Clause 4.3 in NSLEP 2013”*.

**2. Background**

On 1 December 2021, DA216/21 (LPP02) the NSLPP deferred the application seeking additional information particularly with respect to building height and view loss.

The Panel minutes are as follows:-

*“The Council Officer’s Report, Recommendation and Conditions are noted by the Panel. The Panel considered that the compliance with the maximum height standard was not clearly expressed and raised concerns in relation to view impacts arising from the dwelling, particularly arising from the north-eastern corner of the additions.*

*The Panel resolved to defer the application for additional information to address the following:*

1. ***Revised building height compliance diagrams, building elevations and sections based on an accurately determined existing ground line. The Panel noted the sub-floor level of the existing dwelling may result in a non-compliance with the 8.5m maximum height standard which has not been adequately addressed and is not supported by an updated Clause 4.6 written request for variation.***

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2. **Amended plans to incorporate the amendments recommended by the consultant planner in Condition C1 of the report. Those amendments being:**
  - a) *The fixed metal blade structures located on the northern and eastern elevations of the proposed first floor terrace is to be deleted.*
  - b) *The proposed fixed metal / solid balustrade on the northern and eastern elevations of the proposed first floor terrace, is to be deleted from the proposal and replaced with a glass balustrade.*
  - c) *The north-eastern corner of the proposed first floor terrace is to remain clear of any structures / BBQ facilities and cabinetry. The area measuring 1.5m from the NE corner along the northern elevation.*
3. **Further consideration** should be given to the possibility of increased views that will be available if the building was setback in accordance with the DCP at the corner of King George Street and Bay View Street
4. **Examine** the opportunity to reduce the size of the basement.
5. **A revised view impact analysis** is required which accurately projects a compliant building height line and accurately depicts the impacts from the surrounding neighbouring properties.

*Panel Reason: The matter was deferred for further information and analysis on height, view loss and setbacks to Bay View Street. Concerns were raised by the Panel about the height of the proposed dwelling and whether compliance has been achieved with Clause 4.3 in NSLEP 2013*

On 22 December 2021 amended plans were submitted in response to the panel's decision. Details of the amendments are included below. Additional supporting information was provided on 14 January 2022 in the form of updated shadow diagrams.

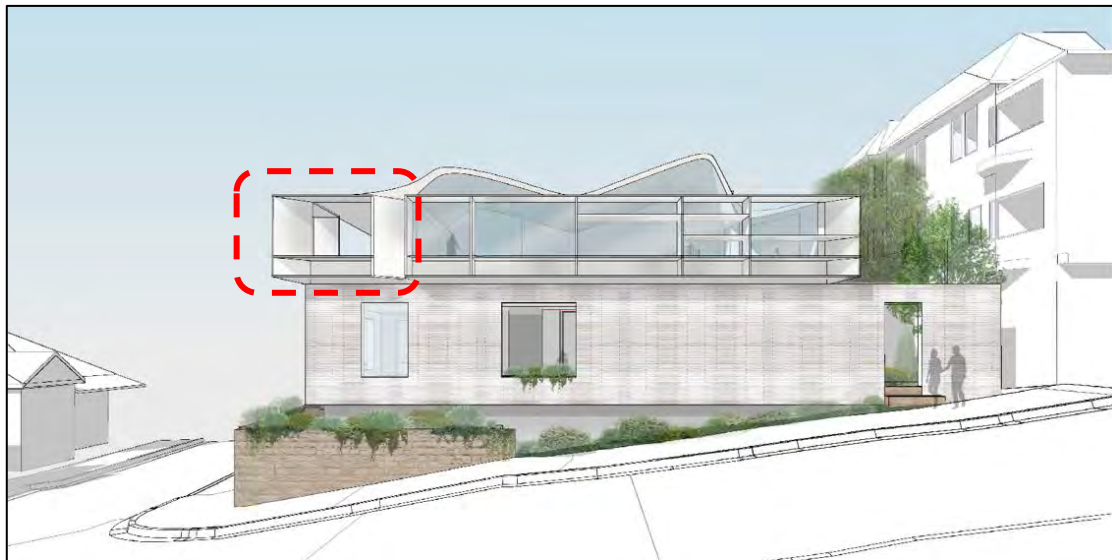
### 3. Notification

On 27 January 2022 Council notified the amended plans in accordance with the requirements of Council's Community Participation Plan. The notification processes provided a period for further submissions to be made between 1 February and 15 February 2022. Issues raised in the submissions received in response to this notification period are summarised below.

### 4. Amended Proposal

In response to the deferral by the NSLPP the application, amended plans have been submitted incorporating the following changes:

- The metal blade structures on the northern and eastern elevations of the first-floor terrace have been deleted; and
- the roof over the first floor terrace now allows for a 300mm "kick-up" to remove the need for a down pipe in the north-eastern corner.



*Figure 1: Original King George Street photomontage*



*Figure 2: Amended King George Street photomontage*

## 5. Consideration

### Building Height compliance

#### Clause 4.3 of NSLEP 2013 Heights of Building

Concern was raised regarding the accuracy of the height of the proposed building relative to the existing ground line. It was submitted by residents that the footpath level (especially along King George Street) should be used to determine the existing ground level.

The maximum permissible building height for the subject site is 8.5m pursuant to Clause 4.3(2) in NSLEP 2013. Building height is defined under Clause 1.4 of the NSLEP 2013 as follows:

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**building height (or height of building)** means—

- (a) *in relation to the height of a building in metres—the vertical distance from ground level (existing) to the highest point of the building, or*
- (b) *in relation to the RL of a building—the vertical distance from the Australian Height Datum to the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.*

Ground level (existing) is defined in the LEP as follows:

**ground level (existing)** means the existing level of a site at any point.

In order to determine the height of the proposed development it is essential to nominate an **existing** ground level in order to measure building height and not natural ground level. When dealing with development sites with existing structures, the NSW Land & Environment Court (the Court) has clarified the approaches to adopt when analysing existing levels.

In ***Betta v Council of the City of Sydney*** the Court found that “*the level of the footpath at the boundary bears a relationship to the context and the overall topography that includes the site and remains relevant once the existing building is demolished*”. As such in this Court judgement the footpath level was used to determine the existing ground because the existing building occupied the whole of the site and accordingly there was no ground adjoining or under the building, from which the existing ground level could be determined by a survey plan. The LEC decision in ***Bettar v Council of the City of Sydney [2014] NSWLEC 1070*** relied upon the footpath level and an extrapolation method for determining the existing ground level.

Unlike ***Bettar v Council of City of Sydney***, the subject site has existing ground/earth surrounding the dwelling along the northern; southern and western sides. In addition, the site has an existing basement and sub-floor level under part of the existing dwelling with existing ground levels.

The existing ground levels measured along the western end of the existing dwelling is RL19.63; RL19.89 and RL19.83 respectively. The applicant undertook additional spot level surveys under the existing dwelling demonstrating an existing subfloor level of RL18.71 falling to RL18.47 and an existing basement at RL17.56 – refer to **Figure 3**. These RL’s were used to extrapolate the existing ground level below the existing building – refer to existing ground plane at **Figure 4**. This is in accordance with standard practise and considered appropriate for determining maximum building height.



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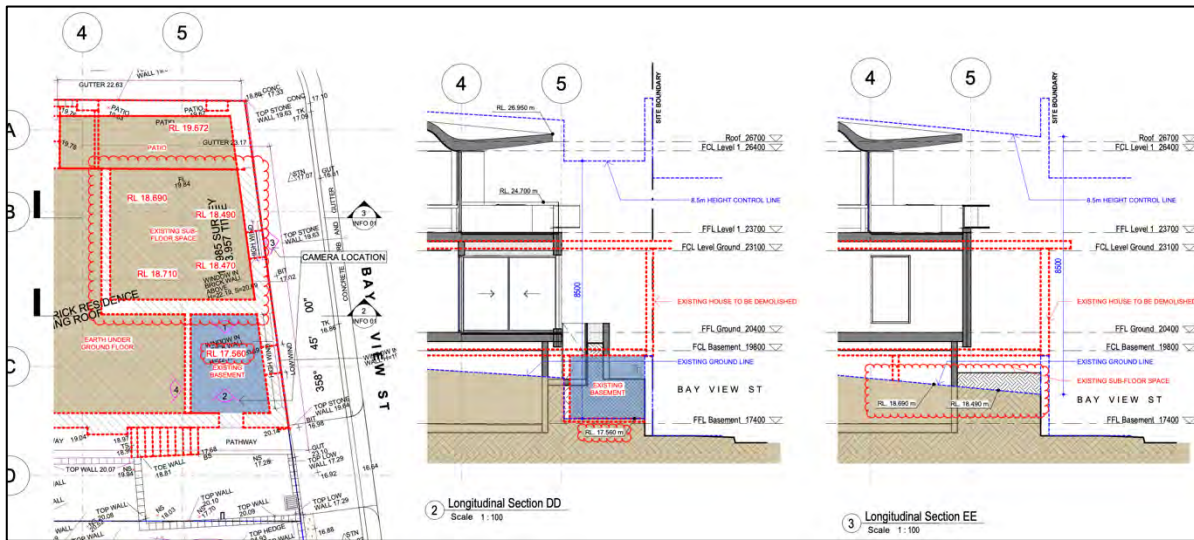


Figure 3: Basement level and additional sections plan

Concern was raised within the submissions, that the proposal relies on the existing patio level (RL19.67) in order to achieve building height compliance. However long section EE demonstrates that even if an RL of 18.69 were to be applied within the north-eastern most corner, consistent with the adjoining subfloor level, the proposal would still comply with the maximum building height.

In addition, no part of the proposed development including the amended “kick-up” roof form over the first floor terrace protrudes over or forward the existing basement.

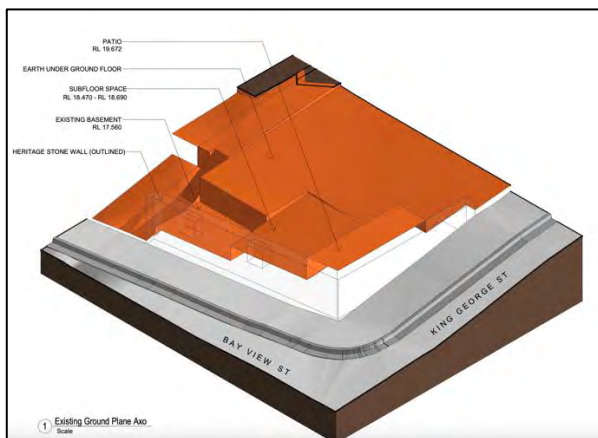


Figure 4: Existing ground plane

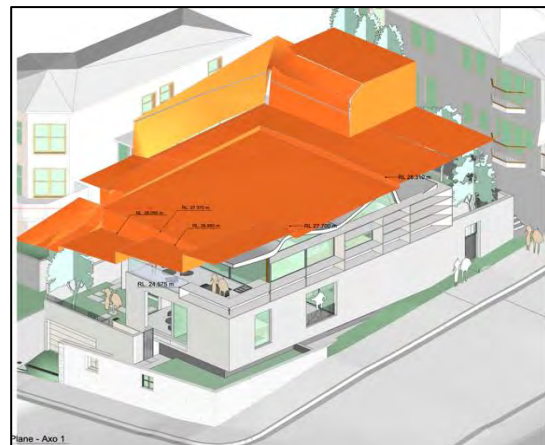


Figure : 8.5m height plane

The proposal results in a maximum building height of 8.3m, which is compliant with Clause 4.3 of the NSLEP 2013 – see Figure 5 and Figure 6.

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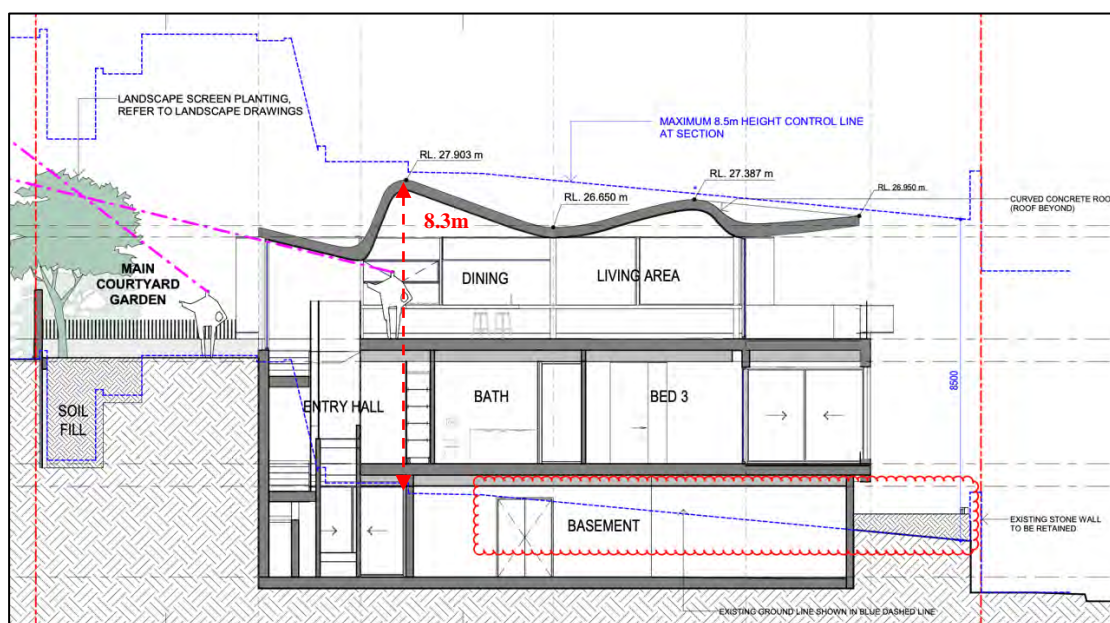


Figure 6: Section AA

Amendments as recommended by Condition C1

The intention of Condition C1 is to retain more of the existing views in its entirety without structures unduly interfering with the view line / corridor. The amended plans have deleted the fixed metal blade structures located on the northern and eastern elevations of the proposed first floor, however the fixed metal / solid balustrade on the northern and eastern elevations remain in place.

In addition, the amended plans did not shift the proposed BBQ facility away from the north-eastern corner which was-required to allow for a less obstructed view corridor.

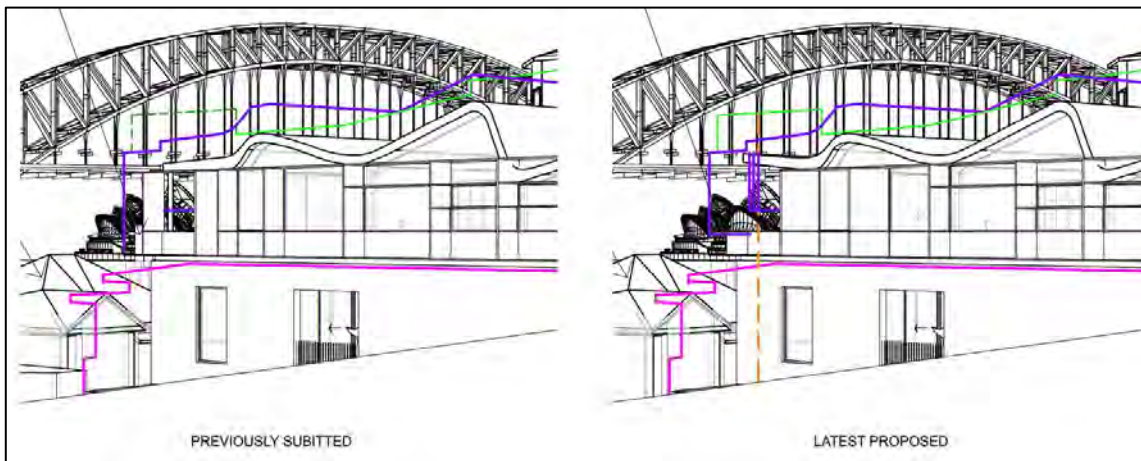
The applicant submitted that the recommended Conditions C1(b) and (c) would render the terrace unusable with no significant material gain in the extent of views to be retained from the units within No. 21 Waiwera Street.

Additional view analysis was submitted and a summary of the impact on views from No. 21 Waiwera Street as a result of the proposed solid balustrade and BBQ facilities is provided below:-

Unit	Comment
Unit 9	The iconic landmarks sit above the proposed development. The balustrade and BBQ does not affect this view line.
Unit 10	The iconic landmarks sit largely above proposed development with the solid balustrade and BBQ obstructing the roof of No 37 Bay View Street and not the iconic views.
Unit 14	The proposed first floor level removes the view of the Sydney Opera House from the living room window, noting that any two storey development on the site will impact on the view from this window. As such protecting the view from the balcony becomes even more important. Removing the solid balustrade and shifting the BBQ over will retain more of the Sydney Opera House – refer to <b>Figure 7</b>

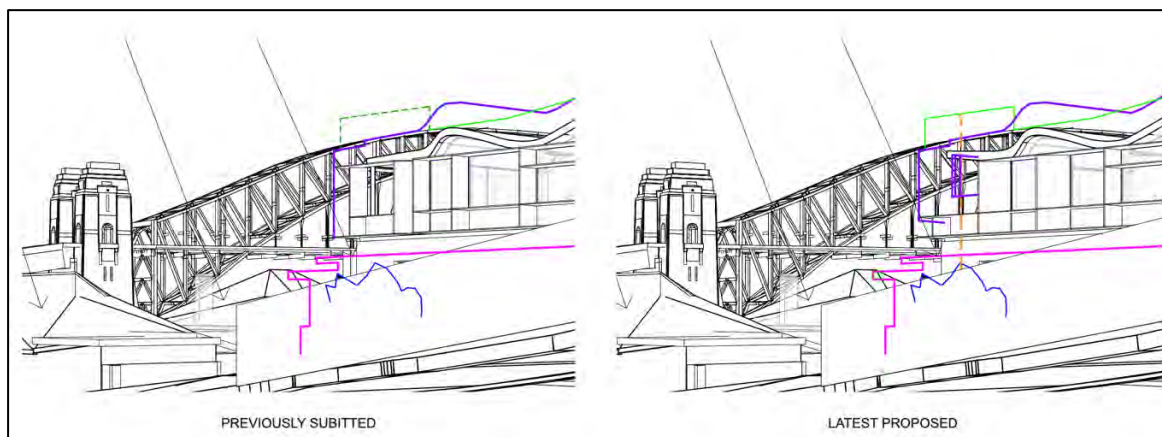
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Unit 17 The proposed balustrade and BBQ is located to the west of the Opera House and impacts the view of the Sydney Harbour Bridge – refer to **Figure 8**. The applicant submitted that this impact is insignificant in the context of the larger views that are to be retained including the iconic Sydney Harbour Bridge arch. However by removing the solid balustrade and shifting the BBQ over more of the Sydney Harbour Bridge will be retained especially from the right hand window.



**Figure 7: Unit 14 Previous view from balcony**

**Now proposed**



**Figure 8: Unit 17 Previous view from left hand window**

**Now proposed**

Of concern is not only the solidness of the balustrade but also the nature being a box to match the northern elevation which creates massing within the view corridors. This box balustrade also sits forward of the front setback alignment – refer to Section 4.3 below.

In conclusion, the original recommendation to allow for a glass balustrade in lieu of a solid balustrade and locating the BBQ further away from the north-eastern corner remains.



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**Views available if building was setback in accordance with the DCP**

Pursuant to P1 of Section 1.4.6 of NSDCP 2013, the primary street setback is to match the alignment of the primary facades of buildings on adjoining properties. However, P1 further states that when a varied setback occurs (as is the case along Bay View Street due to the angled street boundary), the average of the setbacks of those primary facades is to be used, resulting in an average setback of 4.15m. Even when applying a matched street alignment to the adjoining measured perpendicular to the street boundary, a setback of 4m is evident.

The proposed ground floor is setback 2.1m whilst the box balustrade to the first floor terrace is setback 1.6m and the façade of the first floor is setback 5.5m from Bay View Street.

The applicant submitted that the proposal “matches” the general alignment of the primary façade established by Nos. 18; 20 and 38 Bay View Street – refer to **Figure 9** below, and therefore complies. Notwithstanding, the additional view analysis allowed for a 4.1m primary street setback to Bay View Street in order to demonstrate the impact on views afforded to No. 21 Waiwera Road.



**Figure 9: Applicants interpretation of “matched” street alignment  
Red dotted line demonstrating a perpendicular “matched” approach**

It is acknowledged that a compliant ground floor setback would not significantly increase iconic views, noting that, the only additional views that would be available to surrounding development would be views of No. 37 Bay View Street, with the exception of Unit 17, which would retain more of the Sydney Harbour Bridge due to the upward angled view.

The ground floor and solid box balustrade of the first floor terrace encroach the 4.1m setback within the northern eastern corner of the site. This element of the proposal also sits within the iconic view line. The solid balustrade allows for more structures or massing within the setback and will impact on views afforded to the units within No. 21 Waiwera Street. Accordingly, removing the solidness of the non-complying bulky balustrade and structures within the north-eastern most part of the terrace, will allow the terrace to visually fade within the view corridor and free up more of the iconic views.

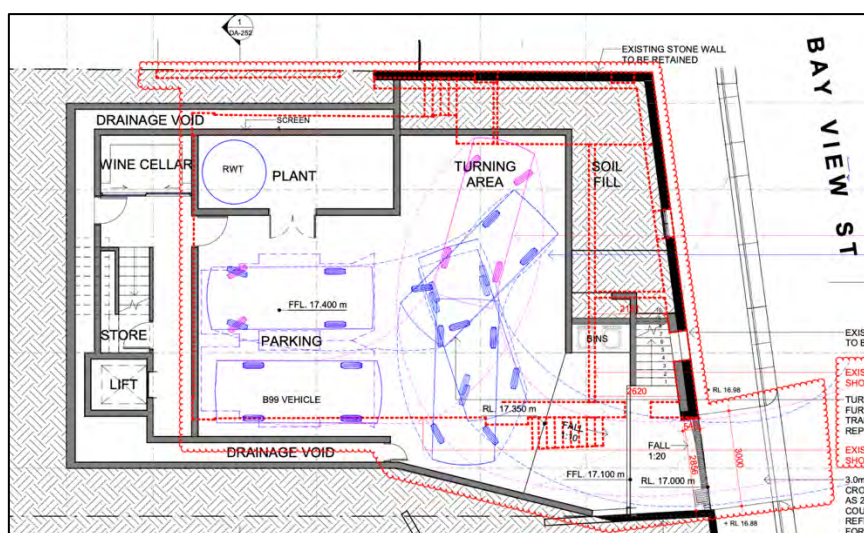
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**Opportunity to reduce the size of the basement**

The applicant submitted that the turning circles would not work if the basement was any smaller, with cars required to utilise the full extent of the basements to enter and exit the site in a forward direction – refer to **Figure 10**.

This statement is acknowledged but it does not account for the size of the “drainage void” spaces needed to ensure a dry basement and large plant room. Notwithstanding Council’s engineers raised no concern with the extent of the basement as proposed and the assessment (subject to conditions of consent) as per the original assessment report remains.

Moreover, the proposed basement sits within the envelope above with no impact on the site’s ability to achieve site cover or landscape area controls and is considered appropriate in the context.



**Figure 10: Basement with turning circles**

**Revised view analysis**

The applicant submitted additional view analysis demonstrating the effect of Condition C1(a) as well as having a complying front setback to Bay View Street – refer to points 4.2 and 4.3 above.

As demonstrated in point 4.1 above the proposal complies with the building height and accurately reflects the existing ground plane as well as the 8.5m height plane, and no revised view analysis is required in this regard.

**1. Submissions received on additional information**

The owners of adjoining properties and the Lavender Bay Precinct were notified with respect to the additional information received between **27 January 2022 and 10 February 2022**. The notification has attracted **eleven (11)** submissions including one from the Lavender Bay Precinct Committee. The submissions are available online via Council’s online DA tracking.

Concerns raised are the same as addressed within the original assessment report. The **new** planning issues raised in the submissions are:-

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- Garage location off Bay View Street resulting in dangerous traffic conditions
- The applicant did not address the recommendations made by the NSLPP

With regard to the proposed basement and vehicular entry, it is noted that the proposal seeks approval for only two carparking spaces (not four as noted) and it does not include a car stacker. Councils engineers had no concern with the location of the proposed basement entry off Bay View Street relative to the intersection with King George Street, subject to standard conditions of consent. The application includes turning circles demonstrating safe maneuverability to allow vehicles to enter and leave the site in a forward direction.

The NSLPP has access to all the submissions as well as the additional information submitted by the applicant.

This addendum report allows for a review / assessment of the information submitted by the applicant in response to the NSLPP recommendation. In this regard, the applicant may choose not to respond to certain aspects of the recommendation, however in this case the applicant as evident by the GYDE letter dated 22 December 2021, has had regard for all the recommendations made by the Panel.

**2. Conclusion and recommendation**

The applicant has demonstrated the accuracy of the existing ground level plane which was used to determine the 8.5m height plane, with the development application complying with Clause 4.3 in NSLEP 2013.

The development application was amended by deleting the metal blade structures on the northern and eastern elevations of the first-floor terrace, whilst the roof over now allows for a 300mm “kick-up” to remove the need for a down pipe in the north-eastern terrace corner. The solid box or blade balustrade were not removed as recommended by Condition C1(b) and the BBQ were not shifted over, away from the north-eastern corner as per Condition C1(c).

In this regard the applicant submitted that the removal of the solid balustrade and BBQ structure, would render the terrace unusable with no significant material gain in the extent of views to be retained from the units within No. 21 Waiwera Street.

The additional view loss diagrams, which includes consideration for a complying front / primary street setback, demonstrates that the ground floor setback / massing does not impact on iconic views. However, the first floor solid balustrade and BBQ structure, introduces massing within the view corridor. Its removal will afford more “clean” views of the Sydney Opera House and the Sydney Harbour Bridge and as such the recommendation to remove these remain as per the original assessment report.

**RECOMMENDATION:**

1. That the Panel note this supplementary report and determine the application in accordance with the previous recommendation for approval subject to changes to conditions described below.

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2. That Condition No. A1 be amended to reflect the amended plans as follows:-

<b>Drawing Number</b>	<b>Rev</b>	<b>Title</b>	<b>Drawn By</b>	<b>Dated</b>
DA091	A	Demolition Plan	Saville Isaacs	09/06/21
DA098	A	Site Analysis Plan	Saville Isaacs	09/06/21
DA102	C	Plan Basement	Saville Isaacs	14/09/21
DA103	C	Plan Ground Floor	Saville Isaacs	14/09/21
DA104	C	Plan First Floor	Saville Isaacs	14/09/21
DA105	C	Roof Plan	Saville Isaacs	14/09/21
DA201	B	Elevation North	Saville Isaacs	14/09/21
DA202	B	Elevation East	Saville Isaacs	14/09/21
DA203	B	Elevation South	Saville Isaacs	14/09/21
DA204	B	Elevation West	Saville Isaacs	14/09/21
DA205	A	Elevation south boundary	Saville Isaacs	14/09/21
DA251	C	Sections	Saville Isaacs	14/09/21
DA252	B	Sections	Saville Isaacs	14/09/21
DA253	A	Sections	Saville Isaacs	14/09/21
DA111	A	Area Plan	Saville Isaacs	09/06/21
DA355	B	External Finishes – View A	Saville Isaacs	21/09/21
DA356	B	External Finishes – View B	Saville Isaacs	21/09/21
L100	E	Landscape concept plan	Spirit Level	12/05/21
L102	E	Landscape planting plan	Spirit Level	12/05/21

3. That Condition No C2 be amended to reflect the amended plans as follows:-

**Design Amendments**

C1. Prior to the issue of any construction certificate the following design amendments are required to the plans forming part of Condition A1 of this consent:-

- a) The proposed fixed metal / solid balustrade on the northern and eastern elevations of the proposed first floor terrace, is to be deleted from the proposal and replaced with a glass balustrade.
- b) The north-eastern corner of the proposed first floor terrace is to remain clear of any structures / BBQ facilities and cabinetry. The area measuring 1.5m from the NE corner along the northern elevation.

Architectural plans satisfying the requirements of this condition must be submitted to the Council for assessment and approval, prior to the issue of any Construction Certificate.

(Reason: To ensure view sharing is maintained)



**Re: 21 King George Street, Lavender Bay**

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**Signed**

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**Annelize Kaalsen**  
**INDEPENDENT CONSULTANT PLANNER**

**Endorsed by:**

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**David Hoy**  
**TEAM LEADER ASSESSMENTS**

**Endorsed by**

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**Stephen Beattie**  
**MANAGER DEVELOPMENT SERVICES**

22 February 2022

Ken Gouldthorp  
General Manager  
North Sydney Council  
PO Box 12  
NORTH SYDNEY NSW 2059  
council@northsydney.nsw.gov.au

Attn: Kim Rothe (Senior Assessment Officer – Planning)

Dear Kim,

## **RESPONSE TO REASONS FOR DEFERRAL – DEVELOPMENT APPLICATION NO. 126/21**

### **1. INTRODUCTION**

This letter has been prepared by Gyde Consulting (Gyde) in relation to Development Application (DA) No. 126/21. DA No. 126/21 was referred to the North Sydney Local Planning Panel (NSLPP) on Wednesday 1 December 2021. The Council's assessment report recommended that the application be approved subject to conditions. However, the NSLPP at this meeting resolved to defer the matter for additional information to address the following:

- 1. Revised building height compliance diagrams, building elevations and sections based on an accurately determined existing ground line. The Panel noted the sub-floor level of the existing dwelling may result in a non-compliance with the 8.5m maximum height standard which has not been adequately addressed and is not supported by an updated Clause 4.6 written request for variation.*
- 2. Amended plans to incorporate the amendments recommended by the consultant planner in Condition C1 of the report. Those amendments being:*
  - a. The fixed metal blade structures located on the northern and eastern elevations of the proposed first floor terrace is to be deleted.*
  - b. The proposed fixed metal / solid balustrade on the northern and eastern elevations of the proposed first floor terrace, is to be deleted from the proposal and replaced with a glass balustrade.*
  - c. The north-eastern corner of the proposed first floor terrace is to remain clear of any structures / BBQ facilities and cabinetry. The area measuring 1.5m from the NE corner along the northern elevation.*
- 3. Further consideration should be given to the possibility of increased views that will be available if the building was setback in accordance with the DCP at the corner of King George Street and Bay View Street.*
- 4. Examine the opportunity to reduce the size of the basement.*
- 5. A revised view impact analysis is required which accurately projects a compliant building height line and accurately depicts the impacts from the surrounding neighbouring properties.*

This letter has been prepared to address the items identified above and is supported by additional information, including amended and additional architectural plans and updated view analysis prepared by Architecture Saville Isaacs.

**2. PROPOSED AMENDMENTS**

Amendments have been made to the architectural plans in response to the NSLPP’s reasons for deferral, including:

- Deletion of the metal blade structures on the northern and eastern elevations of the first-floor terrace; and
- “Kicking-up” of the roof by 301 millimetres above the first-floor terrace to remove the need for a down pipe in the terrace’s corner.

Refer to the amended architectural plans prepared by Architecture Saville Isaacs for further details of these amendments.

**3. RESPONSE TO THE REASONS FOR DEFERRAL**

**3.1. Building Height**

The first item of additional information that was requested by the NSLPP in their deferral of DA No. 126/21 included:

*1. Revised building height compliance diagrams, building elevations and sections based on an accurately determined existing ground line. The Panel noted the sub-floor level of the existing dwelling may result in a non-compliance with the 8.5m maximum height standard which has not been adequately addressed and is not supported by an updated Clause 4.6 written request for variation.*

The building height of the proposed development and the accompanying elevations, sections and height plane diagrams are based on an accurately determined existing ground line as shown by the additional information provided. The basement plan, elevations and images that are included on Drawing Nos. INFO 01 and INFO 02, show that located behind the heritage-listed sandstone wall on the Bay View Street frontage is a basement and sub-floor space. However, these do not extend past the existing basement wall that is located to their west as shown in the black line in Figure 1.

Subsequently, the basement plan, sections and images show that the joists of the ground floor of the existing dwelling house are raised above earth/soil, which demonstrates the natural ground level (existing). At the existing wall that separates the basement and sub-floor space from the earth under the existing dwelling house, the earth has a Reduced Level (RL) of 18.870 (approx.), which sits over 1-metre higher than the RL of the footpath at the corner of King George and Bay View Streets. However, it should also be noted that the existing natural ground level of the existing patio, which sits closest to the footpath at the corner of Bay View Street and King Georg Street sits even higher at RL 19.650. The levels increase west across the site consistent with the natural topography of the site and surrounds, which slopes upwards along King George Street.

As the site’s existing ground levels are known, the existing natural ground level has been determined by taking the lowest level directly and vertically beneath the highest part of the proposed development. This particular method is the typical method that is used to calculate existing natural ground level. Furthermore, this means that the extrapolation method for determining existing natural ground level, which

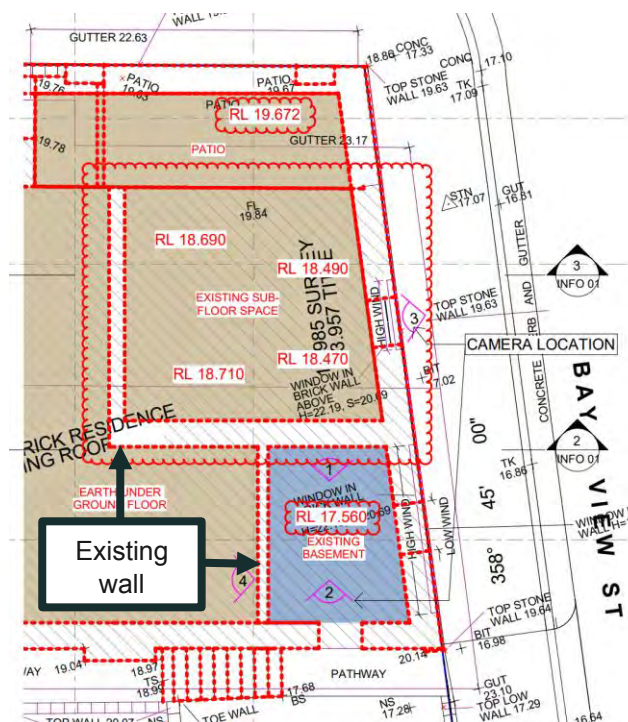


Figure 1: Basement levels plan extract

involves extrapolating the grounds levels found on the footpath (i.e., outside the site) across the entire site, is not required to be utilized for this proposed development and would be less accurate in this case.

The proposed development has been designed to sit entirely above the earth to the west of the existing basement wall and does not protrude into the existing basement or sub-floor space that sits between the heritage-listed wall on the boundary and the existing basement wall. Additional longitudinal sections have been prepared to demonstrate this and are included on Drawing No. INFO 01. These sections form part of the amended architectural plan package and are extracted at Figure 2 and Figure 3 overleaf. It is noted that upon further inspection of the existing basement and the measurement of its levels, the existing natural ground level within the basement has been confirmed to be higher than previously shown on the plans. The existing ground line has been updated on the accompanying documentation to accurately reflect this. However, this does not affect the proposed development as it does not sit above any part of that existing basement.

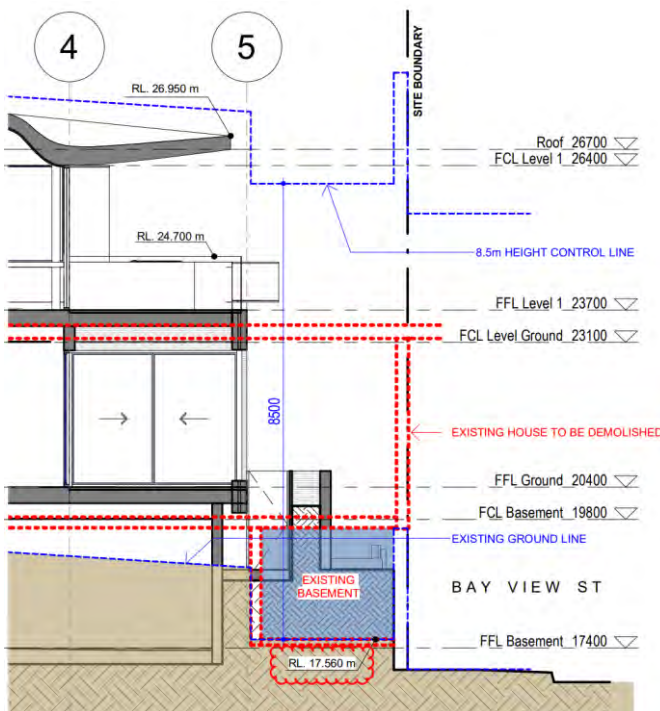


Figure 2: Longitudinal Section DD extract

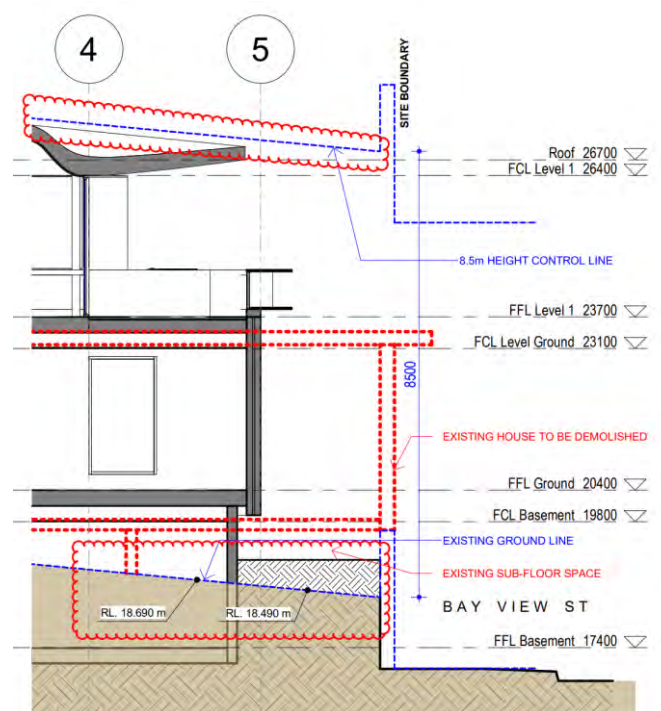


Figure 3: Longitudinal Section EE extract

Noting that existing natural ground level has been accurately depicted on the plans as demonstrated in this section, it can be confirmed that the proposed development complies with the 8.5-metre height limit for the site, as demonstrated by the updated height plane diagrams (Drawing Nos. DA-352 and DA-353) that are extracted below.



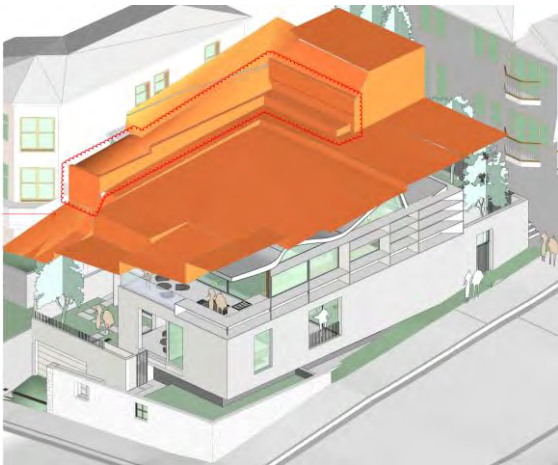


Figure 4: Max. 8.5m Height Plane Diagram 1 extract

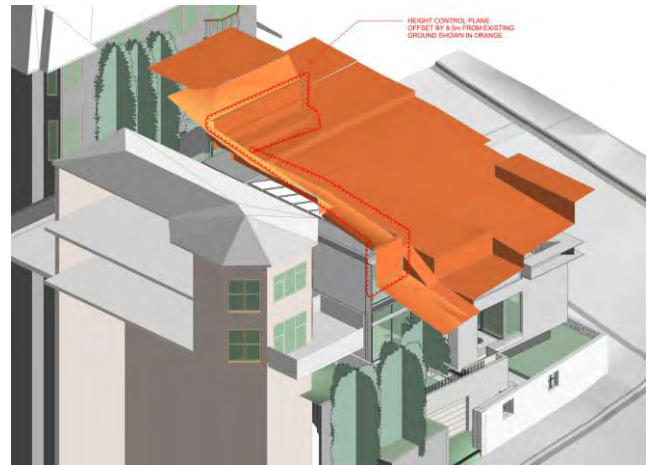




Figure 5: Max. 8.5m Height Plane Diagram 2 extract

Therefore, a written request under Clause 4.6 is not required and has not been prepared as part of this detailed response; however, the proposed development is consistent with the objectives of this development standard as follows:

Table 1: Assessment against the objectives of the height of buildings development standard

OBJECTIVES	PROPOSED DEVELOPMENT
<p>(a) to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient,</p>	<p>The proposed development has been designed to specifically relate to the existing topography of the site and its two street frontages, as demonstrated within the architectural plans provided. In addition to the vehicular access being proposed at the lowest point of the site to minimise the extent of excavation, the main bulk of the proposed development is situated closest to the corner of Bay View and King George Streets, with the building stepped away from the south-eastern corner and western portions of the site. This respects the existing elevated western yard on the site, as well as the relationship to the immediately adjacent properties, and allows for the proposed development to “nestle” into the existing excavated lower section of the site. These is demonstrated in the photomontages extracted below.</p>  <p>Figure 6: Proposed photomontage – King George Street</p>

OBJECTIVES	PROPOSED DEVELOPMENT
	 <p data-bbox="831 745 1490 779"><i>Figure 7: Proposed photomontage – Bay View Street</i></p>
<p data-bbox="159 824 785 891"><i>(b) to promote the retention and, if appropriate, sharing of existing views,</i></p>	<p data-bbox="831 824 1490 1301">A detailed view analysis has previously been prepared by Architectural Saville Isaacs and submitted to Council for assessment, which focuses specifically on No. 21 Waiwera Street. This view analysis has been updated and accompanies this response in relation to the NSLPP’s resolution. Noting that the proposed development is compliant with the height of buildings development standard, any view loss resulting from the proposed development is consistent with what is to be expected of a two-storey development. Nonetheless, the fixed metal blade structures have been removed from the first-floor terrace to improve the extent of existing views that are maintained by the proposed development. Refer to the updated view analysis for further details.</p> <p data-bbox="831 1346 1490 1883">A view sharing assessment was also prepared by Richard Lamb &amp; Associates and submitted as part of the original DA, which assessed the effect of the proposed development on existing views of No. 38 Bay View and No. 19 King George Streets. This assessment concluded that the proposed development is reasonable and supported on view sharing grounds. Since this view sharing assessment was originally prepared, it is noted that the overall building height of the proposed development has been reduced by 0.6 metres, therefore minimising any view loss from these adjacent properties. Whilst the view sharing assessment has not been updated, the view analysis diagrams prepared by Architecture Saville Isaacs that formed the basis of assessment, was updated to reflect the decrease in height. These diagrams are included as part of the accompanying analysis.</p>
<p data-bbox="159 1915 801 2011"><i>(c) to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development,</i></p>	<p data-bbox="831 1915 1490 2045">Detailed shadow diagrams have previously been prepared by Architecture Saville Isaacs and submitted to Council for assessment. These diagrams demonstrate that the shadows cast by the proposed development at mid-winter are</p>

OBJECTIVES	PROPOSED DEVELOPMENT
	<p>consistent with that expected by a two-storey development, noting such development is permitted with consent on the site.</p> <p>Specifically, these diagrams show that between 10am to 12pm the shadow cast by the proposed development does not preclude a significant proportion of the primary private open space located at the rear of No. 38 Bay View Street from receiving direct solar access during mid-winter. The shadow diagrams also show that between 11am and 3pm, the north-facing windows of No. 38 Bay View Street's dining and informal living areas receive direct solar access at mid-winter. These shadow diagrams also show in relation to the other adjacent property at No. 19 King George Street, any additional shadow cast by the proposed development is because of the boundary fence and proposed new planting, with the built form falling short of the common boundary, and therefore no windows on its eastern elevation will be affected. The shadows cast by the proposed development do not reach the opposite side of Bay View Street until 2pm at mid-winter.</p> <p>Updated shadow diagrams accompany this response, which take into account the proposed amendments to the plans; however, any increase in the shadows that are cast is minimal. Additional shadow diagrams highlighting the shadows cast specifically by the proposed amendments are also being prepared and will be submitted as soon as possible.</p>
<p><i>(d) to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings,</i></p>	<p>The proposed development has been designed to maintain the visual privacy of residents living at the adjacent properties.</p> <p>In relation the property at No. 38 Bay View Street, the southern elevation does not include any first-floor windows, and windows at the ground floor of the proposed development will not be visible behind the boundary fence. Screen planting is also proposed along most of this boundary, and a compliant side setback has been provided.</p> <p>The proposed development will also not result in any adverse visual privacy impacts to the adjacent No. 19 King George Street, being significantly setback from this common boundary, sitting below the ground floor finished floor level of the adjacent residential development both as existing and approved, retaining the existing hedging along this boundary and providing additional screen planting to a height of 5-6 metres.</p>
<p><i>(e) to ensure compatibility between development, particularly at zone boundaries,</i></p>	<p>The site is not located at the boundary of two or more zones. Nonetheless, the proposed development has been designed</p>



OBJECTIVES	PROPOSED DEVELOPMENT
	<p>to be compatible with development on surrounding properties, although it is noted compatibility does not mean “same”. The site sits between the more recently constructed and contemporary developments that sit within Bay View Street and the period housing within King George Street. However, the different types of development have common design features that are reflected in the proposed development. This includes siting a two-storey built form above a basement garage that sits behind a sandstone wall and takes advantage of the northerly aspect and existing views. The neutral and earthy colour tones have also been chosen to reflect the existing streetscape within this locality.</p>
<p><i>(f) to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area,</i></p>	<p>The proposed development is for a dwelling house, permitted with consent in the R3 Medium Density Residential zone, and of a similar scale and density of other density of other development. Whilst the proposed development is consistent with the prevailing built form typology that characterises the locality, being mainly two-storeys above a basement garage, it sits below most of the adjacent development surrounding it. This is demonstrated by the photomontages included on Drawing Nos. INFO 04 and INFO 05 extracted in the figures below.</p>  <p><i>Figure 8: Proposed photomontage – King George Street</i></p>  <p><i>Figure 9: Proposed photomontage – Bay View Street</i></p>
<p><i>(g) to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone E4 Environmental Living.</i></p>	<p>The proposed development is for a two-storey dwelling house located in the R3 Medium Density Residential zone, surrounded by predominately other two-storey dwelling</p>

OBJECTIVES	PROPOSED DEVELOPMENT
	houses. Like most other dwelling houses within this locality, the proposed development sits above a basement garage. Nonetheless, the proposed development does sit significantly lower than the residential development on the adjacent properties as shown in photomontages at Figure 8 and Figure 9.

Overall, the proposed development complies with the height limit and is consistent with the objectives of the standard.

### 3.2. Design Amendments

The second item of additional information that was requested by the NSLPP in their deferral of DA No. 126/21 included:

*2. Amended plans to incorporate the amendments recommended by the consultant planner in Condition C1 of the report. Those amendments being:*

*a. The fixed metal blade structures located on the northern and eastern elevations of the proposed first floor terrace is to be deleted.*

*b. The proposed fixed metal / solid balustrade on the northern and eastern elevations of the proposed first floor terrace, is to be deleted from the proposal and replaced with a glass balustrade.*

*c. The north-eastern corner of the proposed first floor terrace is to remain clear of any structures / BBQ facilities and cabinetry. The area measuring 1.5m from the NE corner along the northern elevation.*

The proposed development has been amended to comply with part (a) of the requested design amendments. The positive impact of this amendment on existing views from No. 21 Waiwera Street is evident in the updated view analysis, particularly in relation Unit 14 of this residential flat building as is demonstrated within the figures below. These figures show that more existing views of the Sydney Opera House will be retained as a result of this amendment. To understand the view analysis provided below the colours that are shown on the diagrams represent:

- Green – 8.5-metre height control plane;
- Pink – existing development on the site;
- Blue – outline of Opera House (when hidden); and
- Purple – outline of previous non-compliant scheme.

Additionally, the red boxes annotated by Gyde on the view analysis diagrams represent the first-floor terrace balustrade.

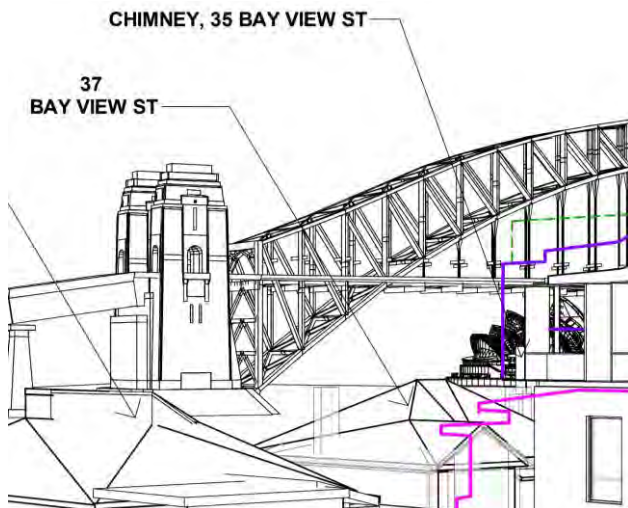


Figure 10: Previous view from Unit 14/ 21 Waiwera Street

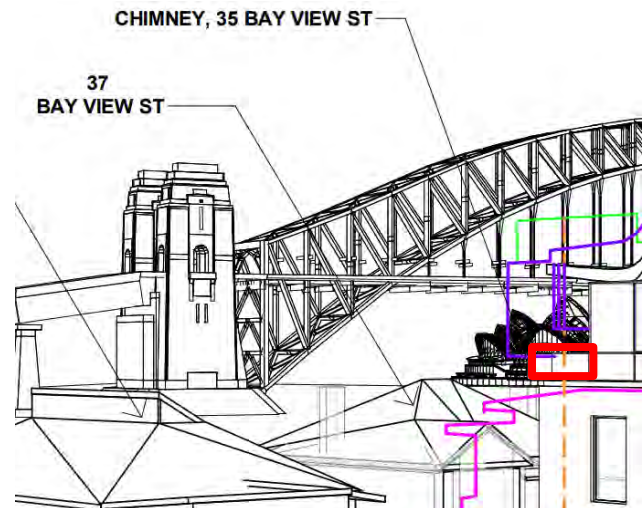


Figure 11: Proposed view from Unit 14/ 21 Waiwera Street

The updated view analysis also shows that by deleting the fixed metal blade structures from the first-floor terrace, more existing views of the Sydney Harbour Bridge from Unit 14 and Unit 17 of No. 21 Waiwera Street are to be retained.

The proposed development has not been amended to incorporate items (b) and (c) of the requested design amendments. This is because such amendments would render the north-western corner of the terrace unusable for no significant material gain in the extent of existing views to be retained from the units in No. 21 Waiwera Street. An assessment of the view loss from keeping the balustrade and barbecue as proposed is provided below. It is noted that whilst item (b) requires the entire solid balustrade to be deleted and replaced with glass, the proposed barbecue along the northern elevation of the terrace is only required to be reduced in size by 1.5 metres. Therefore, views through the balustrade would only be approximately half the width of the terrace if glassed, which would be negligible in the overall context of the existing views to be retained from surrounding development.

### Unit 9/ 21 Waiwera Street

Figure 12 and Figure 13 demonstrate views available from Unit 9 of No. 21 Waiwera Street as a result of the proposed development. These figures show that the proposed development does not impact on existing views of the Sydney Harbour Bridge and Sydney Opera House accessible from the balcony and internally within the unit, noting that during the spring and summer months that these existing views are filtered through surrounding trees. These landmarks sit above the proposed development in the view and are not affected by the balustrade or barbecue. Subsequently, in not adopting items (b) and (c) of the design amendments requested by the NSLPP, the proposed development does not result in any significant view loss impacts from Unit 9 of No. 21 Waiwera Street.





Figure 12: Proposed view from Unit 9/ 21 Waiwera Street



Figure 13: Proposed view from Unit 9/ 21 Waiwera Street

### Unit 10/ 21 Waiwera Street

Figure 14 and Figure 15 demonstrate views accessible from Unit 10 of No. 21 Waiwera Street because of the proposed development, being through the double doors to the balcony (Figure 11) and the east window (Figure 12) of this unit. Noting that the solid balustrade and barbeque for the full width of the terrace are outlined in red, these figures demonstrate that this portion of the first-floor terrace sits in front of the roof of No. 37 Bay View Street. Subsequently, in not adopting items (b) and (c) of the design amendments requested by the NSLPP, the proposed development does not result in any significant view loss impacts from Unit 10 of No. 21 Waiwera Street.

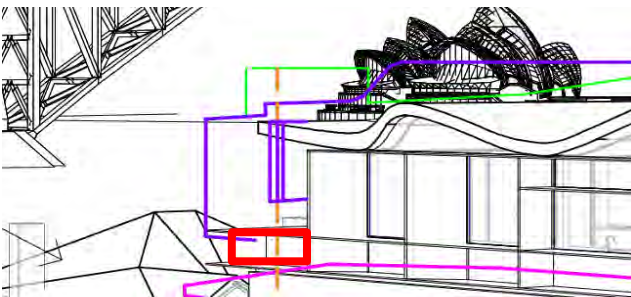


Figure 14: Proposed view from Unit 10/ 21 Waiwera Street



Figure 15: Proposed view from Unit 10/ 21 Waiwera Street

### Unit 14/ 21 Waiwera Street

Figure 11 and Figure 16 demonstrate views available from Unit 14 of No. 21 Waiwera Street as a result of the proposed development.

From the unit's left-side balcony the proposed development will not impact on views of Sydney Harbour Bridge. This includes the solid balustrade and barbeque for the full width of the terrace as are outlined in red on Figure 11. There are some minor view loss impacts to the Sydney Opera House from the balustrade and barbeque. However, these impacts are insignificant in the context of the larger views that are maintained from this opening, with the proposed amendments allowing for more of the iconic "sails" of the Sydney Opera House to be retained.

From the right-hand window the proposed development does not impact on existing views of the Sydney Harbour Bridge, with the first-floor terrace (including the balustrade and barbeque) sitting completely below its base (see Figure 16). Within the existing view the Sydney Opera House is located to the right of the proposed terrace, and therefore the proposed balustrade and barbeque do not adversely impact on existing views from this right-hand

opening. It should also be noted that any loss of views of the Sydney Opera House is the result of a compliant development and are those reasonably expected of a two-storey development being located on this corner site.

Subsequently, in not adopting items (b) and (c) of the design amendments requested by the NSLPP, the proposed development does not result in any significant view loss impacts from Unit 14 of No. 21 Waiwera Street.



Figure 16: Proposed view through right-hand south-east facing window of Unit 14/ 21 Waiwera Street

#### Unit 17/ 21 Waiwera Street

Figure 17 and Figure 18 demonstrate views available from Unit 17 of No. 21 Waiwera Street as a result of the proposed development. Noting that the solid balustrade and barbeque for the full width of the terrace are outlined in red, these figures show that this portion of the first-floor terrace sits above and/ or to the west of the Sydney Opera House, and therefore the Sydney Opera House is not relevant in assessing potential view loss impacts. Furthermore, the existing dwelling house on the site currently blocks views of the Sydney Opera House from this unit. The balustrade and barbeque of the first-floor terrace do impact on some views of the Sydney Harbour Bridge, but this impact is insignificant in the context of the larger views that are to be retained by the proposed development, noting that the iconic arch of the Sydney Harbour Bridge will still be visible from Unit 17. Subsequently, in not adopting items (b) and (c) of the design amendments requested by the NSLPP, the proposed development does not result in any significant view loss impacts from Unit 17 of No. 21 Waiwera Street.



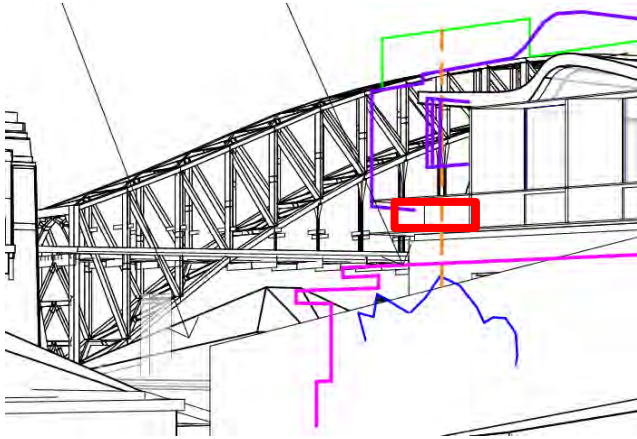


Figure 17: Proposed view from Unit 17/ 21 Waiwera Street

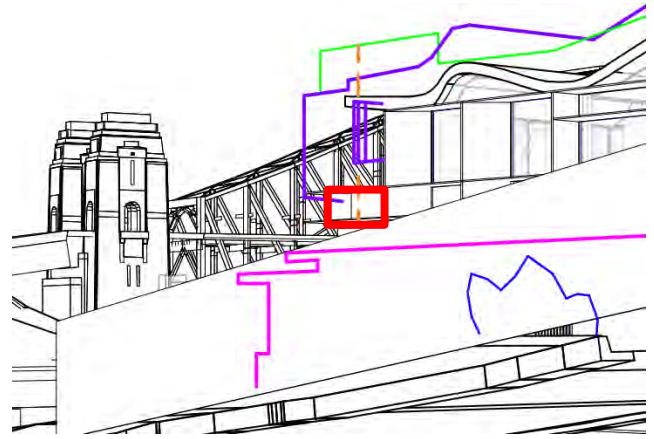


Figure 18: Proposed view from Unit 17/ 21 Waiwera Street

### 38 Bay View Street and 19 King George Street

The proposed balustrade and barbeque are not visible from Nos. 38 Bay View Street and 19 King George Street, and therefore their retention will not significantly impact on existing views available from these adjacent dwelling houses. The “kicking-up” of the roof to enable the deletion of the down-pipe at the corner of the first-floor terrace will also not impact on an existing views from these immediately adjacent properties as shown in the view analysis.

### 3.3. Setbacks

The third item of additional information that was requested by the NSLPP in their deferral of DA No. 126/21 included:

*3. Further consideration should be given to the possibility of increased views that will be available if the building was setback in accordance with the DCP at the corner of King George Street and Bay View Street.*

As detailed within the Council assessment report that was previously prepared by the independent assessment planner, Part 1.4.6 of the *North Sydney Development Control Plan 2013* (NSDCP 2013) was interpreted to require a 4.15-metre front boundary setback to the site's Bay View Street frontage for the proposed development. As detailed in the response to the request for additional information prepared by Gyde and dated 15 October 2021, the project team's interpretation of this provision is different to that of the independent assessment planner, and for this reason the proposed development's minimum setback of 2.1 metres is considered to be compliant. Nonetheless, the view analysis has been updated to consider the increased views a 4.1-metre setback would provide. The 4.1-metre setback to Bay View Street is indicated on the view analysis diagrams by the orange dotted line.

The main building line of the first-floor of the proposed development is setback over 5 metres from Bay View Street. Whilst the terrace located at the first floor does encroach into the 4.1-metre setback considered to be required, the deletion of the fixed metal blade structures along its northern and eastern elevations as per item 2, is such the view analysis diagrams already demonstrate the maximum views available from achieving this setback.

Setting back the ground floor of the proposed development by 4.1 metres would also not significantly increase views, noting the existing development on the site is built to both boundaries at the corner of Bay View and King Street, as shown by the pink line on the view analysis. The proposed development already improves views by setting back the ground floor by a minimum 2.1 metres, allowing for the creation of a view corridor across the site as demonstrated within the view analysis diagrams, and the provision of landscaping along both street frontages to improve public amenity. If the proposed development were to be further setback at the ground floor to achieve the 4.1 metres, the only additional views that would be available to surrounding development would be views of No. 37 Bay View Street.

It is also noted that the proposed development has a compliant setback of 7.21 metres adjacent No. 38 Bay View Street, and therefore the views demonstrated within the view analysis diagrams are consistent with a compliant development.

Nonetheless, the proposed development is consistent with the objectives of Part 1.4.6 of the NSDCP 2013 as follows:

Table 2: Assessment of Bay View Street setback against Part 1.4.6 of the NSDCP 2013

OBJECTIVE	COMMENT
<p><i>O1 To reinforce the characteristic pattern of setbacks and building orientation within the street.</i></p>	<p>As detailed within Section 5 of Gyde’s response to the request for additional information dated 15 October 2021, the proposed development matches the general alignment of the primary façade of the adjacent property at No. 38 Bay View Street, as well as those properties located further south. This is demonstrated within the context plan extract provided below. The general alignment of Nos. 18, 20 and 38 Bay View Street follows a consistent straight line rather than a distance. Nonetheless, it should be noted that proposed development’s setback to Bayview Street varies from a minimum of 2.1 metres to a maximum of 7.21 metres. This represents an average setback of 4.63 metres to Bay View Street, which is consistent with the minimum setback to the primary façade of the adjacent property at No. 38 Bay View Street.</p>  <p><i>Figure 19: Context plan</i></p> <p>This setback also reinforces the street’s pattern of building orientation, with the proposed development orientated east-west to take advantage of the views available to Sydney Harbour.</p>
<p><i>O2 To control the bulk and scale of buildings.</i></p>	<p>The proposed development’s setback to Bay View Street does not preclude the proposed development from complying with the relevant controls pertaining to building height, site coverage, landscaped area and un-built upon area, which seek to manage the bulk and scale of development in this locality. Moreover, the proposed development sits below the surrounding development on King George Street and the western side of Bay View Street as shown in Figure 8 and Figure 9, so the proposed bulk and scale is considered acceptable given the relationship to the surrounding</p>



OBJECTIVE	COMMENT
	buildings. The proposed setbacks also allow for the provision of landscaping along both street frontages to improve public amenity. This is a significant improvement on the existing development, which does not provide any streetscape landscaping.
<i>O3 To provide separation between buildings.</i>	Noting the proposed development's Bay View Street setback varies from 2.1 metres to 7.21 metres and averages 4.63 metres, it is considered to provide adequate separation to the existing development located opposite the site on Bay View Street.
<i>O4 To preserve the amenity of existing dwellings and provide amenity to new dwellings in terms of shadowing, privacy, views, ventilation and solar access.</i>	<p>The proposed development's front setback to Bay View Street does not significantly impact on the amenity of residents within surrounding development as demonstrated within this response and the amended and additional information.</p> <p>Specifically, the shadow diagrams show that the proposed development does not cast shadows on the development on the eastern side of Bay View Street at mid-winter until 3pm, will not result in any adverse visual privacy impacts to No. 39 Bay View Street directly opposite the site as only its garage, pedestrian entry and front fence are visible from the street, and will not result in significant view loss impacts as is demonstrated within this section of the response to the deferral.</p>

### 3.4. Basement

The fourth item of additional information that was requested by the NSLPP in their deferral of DA No. 126/21 included:

*4. Examine the opportunity to reduce the size of the basement.*

The basement of the proposed development is designed to allow for cars to enter and exit the site in a forward direction, with the size of the basement directly linked to the turning circles required to allow for this to occur. It should be noted that the preservation of the full extent of the heritage-listed wall increased the special requirements for turning cars within the site and therefore the basement size. However, the basement still sits completely under the building above, except for the access driveway. The turning circles for each of the two (2) car parking spaces within the basement are shown on Drawing No.DA-102. An extract of the basement plan showing the turning circles for each car has been included at Figure 20 below for reference. These diagrams demonstrate that the turning circles would not work if that basement was any smaller, with cars required to utilise the full extent of the basement that is proposed to enter and exit the site in a forward direction.

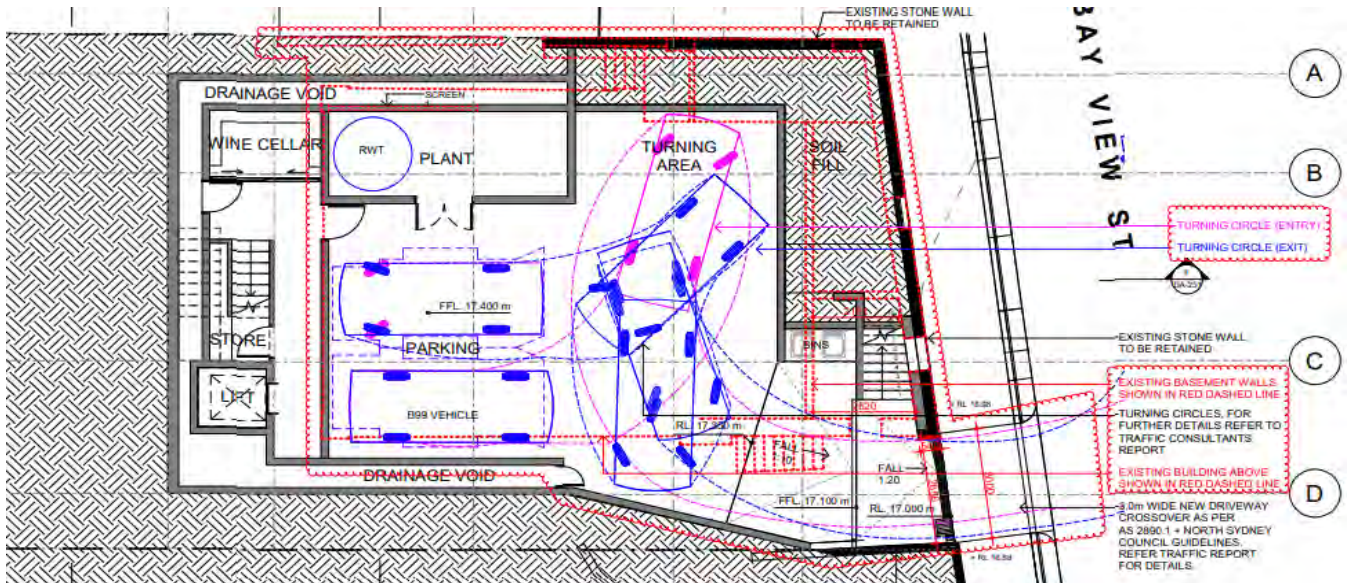


Figure 20: Basement plan extract

It is also noted that the basement does not preclude the proposed development from complying with the following controls:

- Building height;
- Site coverage;
- Landscaped area; and
- Un-built upon area.

For the reasons identified above no changes have been made to the size of the basement as part of this response.

### 3.5. View Analysis

The fifth item of additional information that was requested by the NSLPP in their deferral of DA No. 126/21 included:

5. A revised view impact analysis is required which accurately projects a compliant building height line and accurately depicts the impacts from the surrounding neighbouring properties.

The view analysis is not required to be updated in response to this item as discussed in detail in Section 3.1. However, an updated view analysis has been provided that reflects the proposed amendments to the development. An assessment of impacts based on this view analysis has been undertaken in Section 3.2, which concludes that the proposed development results in acceptable view loss impacts on surrounding development.

## 4. CONCLUSION

Based on these amendments that have been made to the architectural plans and the additional supporting information, the proposed development addresses the reasons for deferral within the NSLPP's resolution of 1 December 2021.

Yours sincerely

Tina Christy

(Associate Director)



# 21 KING GEORGE STREET, NORTH SYDNEY



## DRAWING LIST

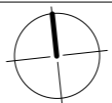
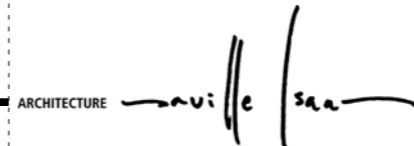
No.	Sheet Name	Date	Revision
DA-000	Cover Sheet	16.02.2022	H
DA-091	Demolition Plan	29.10.2021	B
DA-097	Site Context Plan	09.06.2021	A
DA-098	Site Analysis Plan	09.06.2021	A
DA-102	Plan_Basement	13.12.2021	D
DA-103	Plan_Ground Floor	13.12.2021	D
DA-104	Plan_First Floor	13.12.2021	D
DA-105	Roof Plan	16.02.2022	E
DA-201	Elevation_North	13.12.2021	C
DA-202	Elevation_East	13.12.2021	C
DA-203	Elevation_South	13.12.2021	C
DA-204	Elevation_West	14.09.2021	B
DA-205	Elevation_South_Boundary	14.09.2021	A
DA-251	Sections	16.02.2022	E
DA-252	Sections	14.09.2021	B
DA-253	Sections	14.09.2021	A
DA-301	Shadows_Winter 9am-10am	10.01.2022	E
DA-302	Shadows_Winter 11am-12pm	10.01.2022	E
DA-303	Shadows_Winter 1pm-2pm	10.01.2022	E
DA-304	Shadows_Winter 3pm	10.01.2022	E
DA-305	Shadows_Equinox 9am / 12pm	10.01.2022	E
DA-306	Shadows_Equinox 3pm	10.01.2022	E
DA-310	Shadows_Impact 9am-10am	10.01.2022	D
DA-311	Shadows_Impact 11am-12pm	10.01.2022	D
DA-312	Shadows_Impact 1pm-2pm	10.01.2022	D
DA-313	Shadows_Impact 3pm	10.01.2022	C
DA-352	Max. 8.5m Height Plane Diagram 1	16.02.2022	C
DA-353	Max. 8.5m Height Plane Diagram 2	16.02.2022	C

Date	Rev	Issue	CLIENT	PROJECT	TITLE							
13.12.2021	F	Issue for DA	MB	21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	Cover Sheet							
22.02.14	G	Issue for DA										
16.02.2022	H	Issue for DA										
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				<small>PROJECT DATE JAN 08</small>	<small>ISSUED DATE 16.02.2022</small>	<small>SCALE @ A3:</small>	<small>STATUS DA ISSUE</small>					

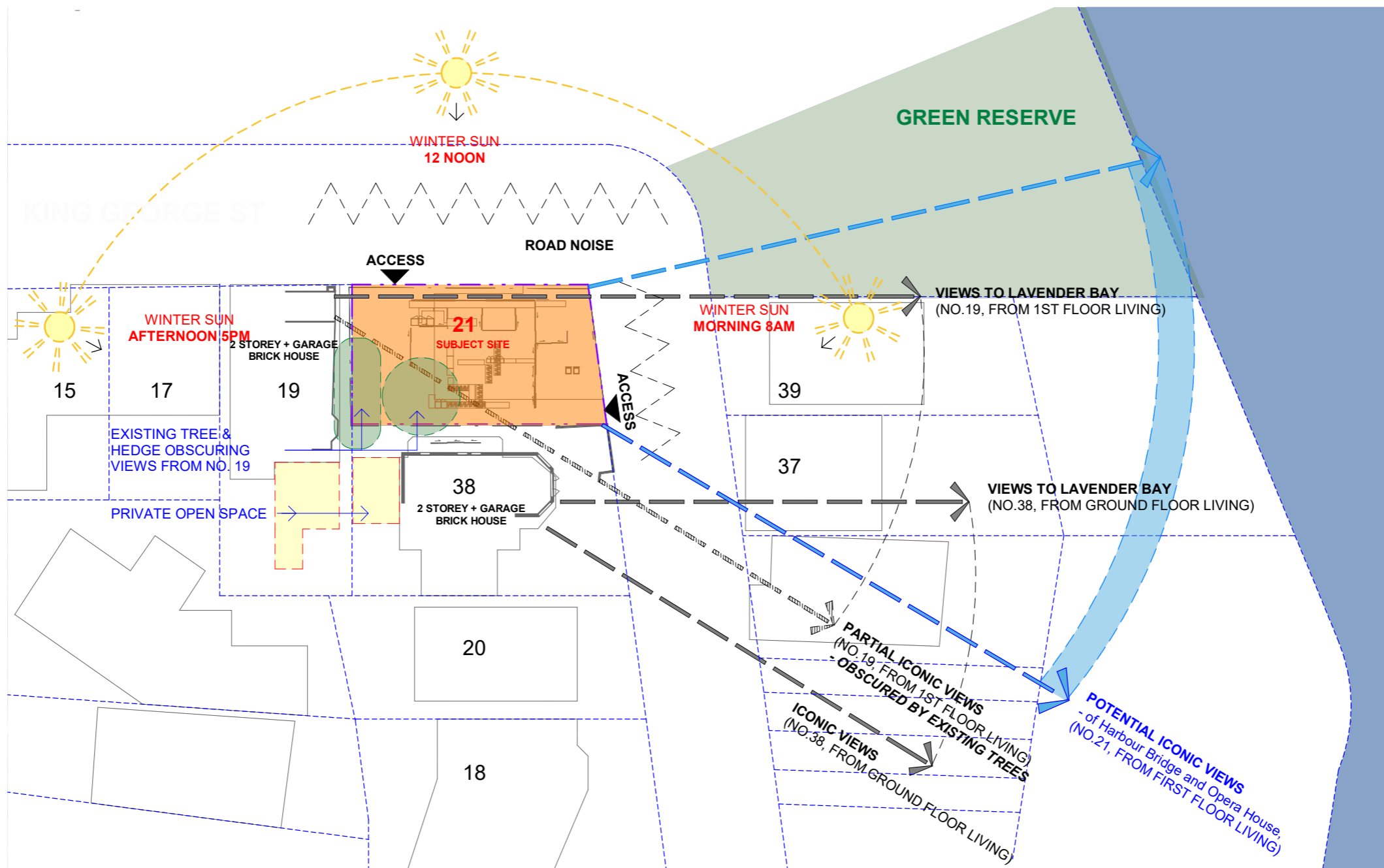




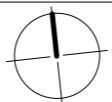

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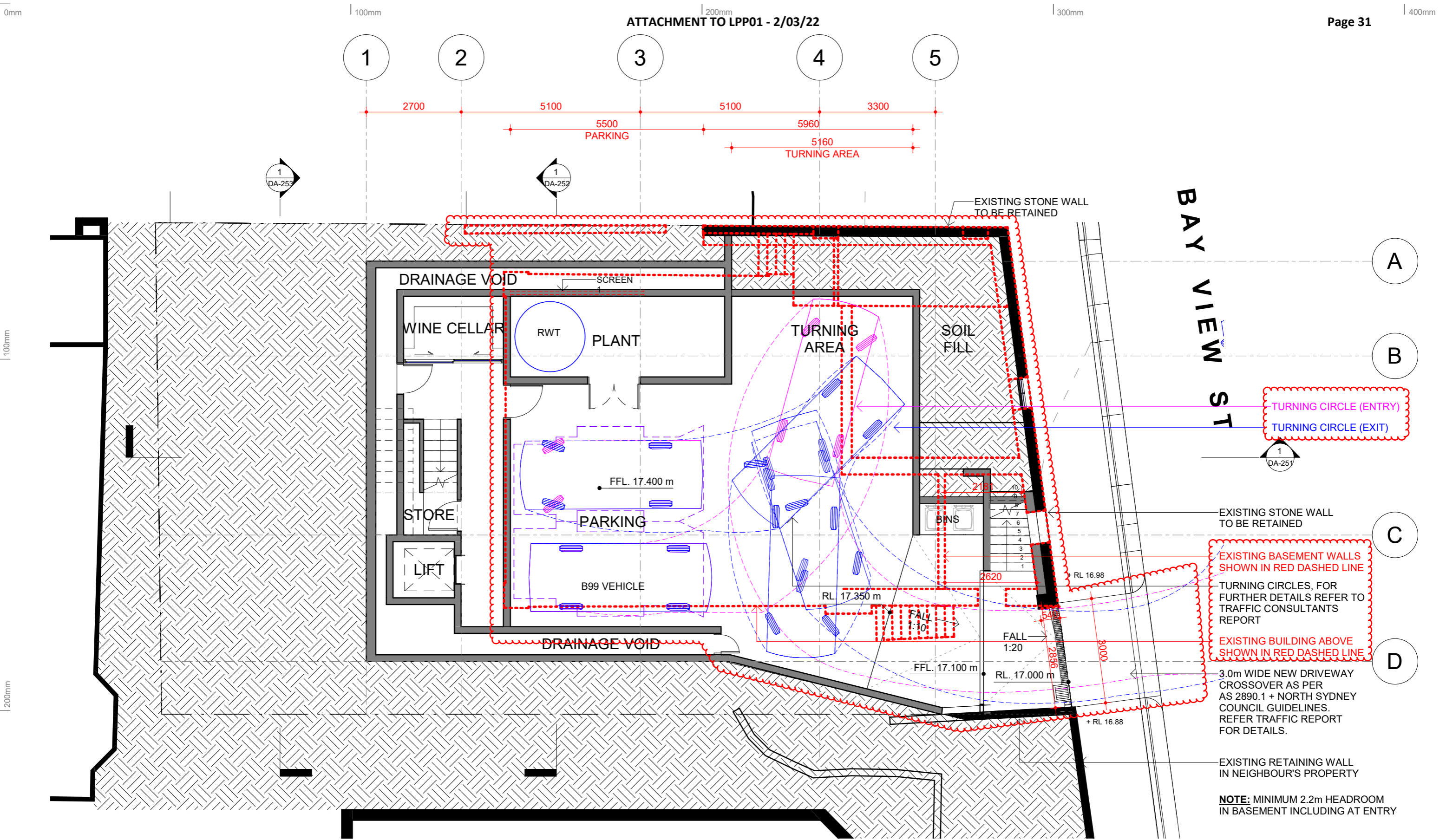
Date 09.06.2021	Rev A	Issue Issue for DA			CLIENT MB		PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	TITLE Site Context Plan	JOB No. 2024	DRAWING No. DA-097	REV. A
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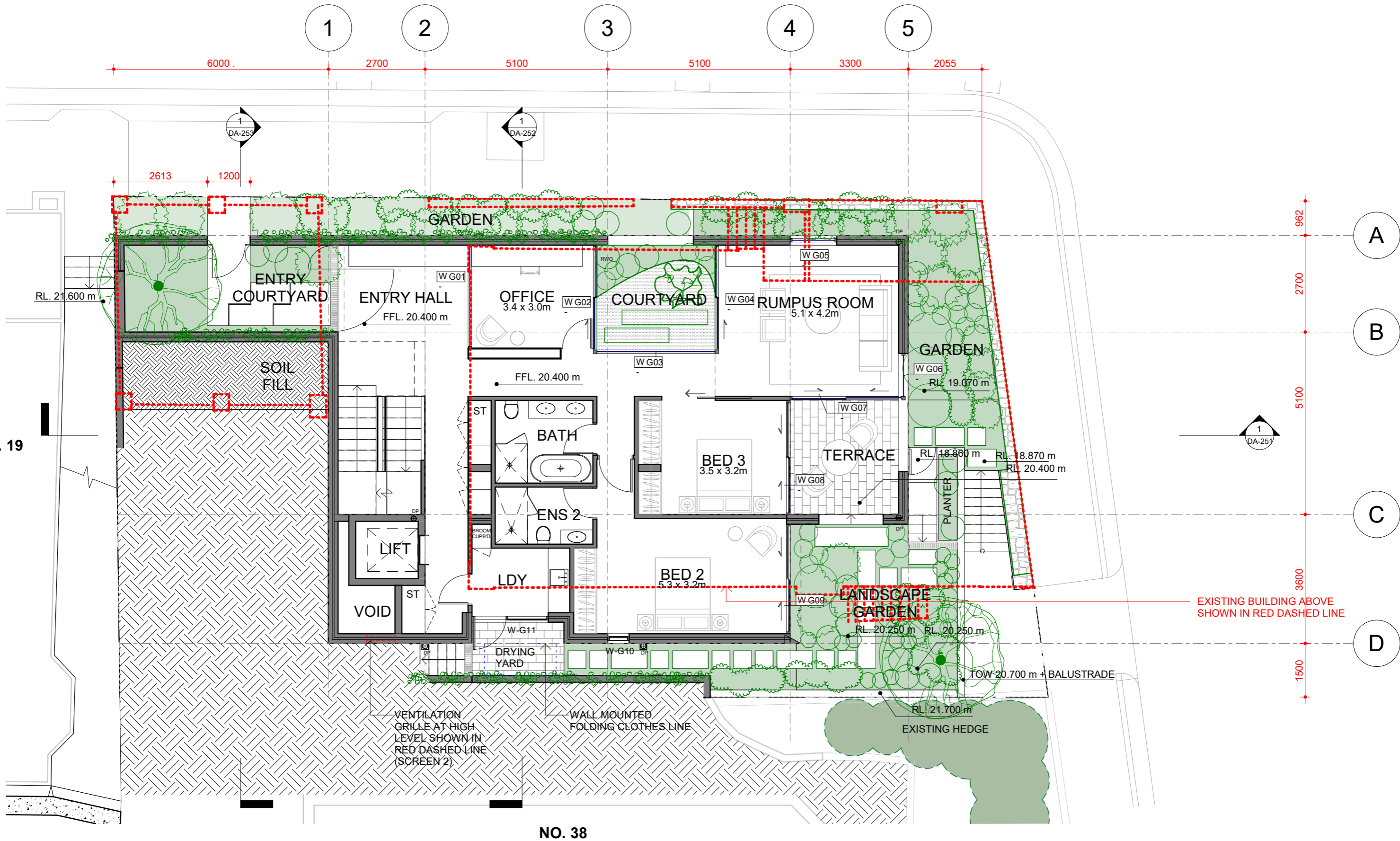
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<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759	P: 02 - 9086 9000 F: 02 - 9086 9001	ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	ARCHITECTURE	PROJECT DATE JAN 08	ISSUED DATE 09.06.2021	SCALE @ A3: 1 : 500	STATUS DA ISSUE



1 FFL Basement  
Scale 1 : 100

REFER TRAFFIC REPORT FOR MORE  
DETAIL ON VEHICLE MANOUEVERING

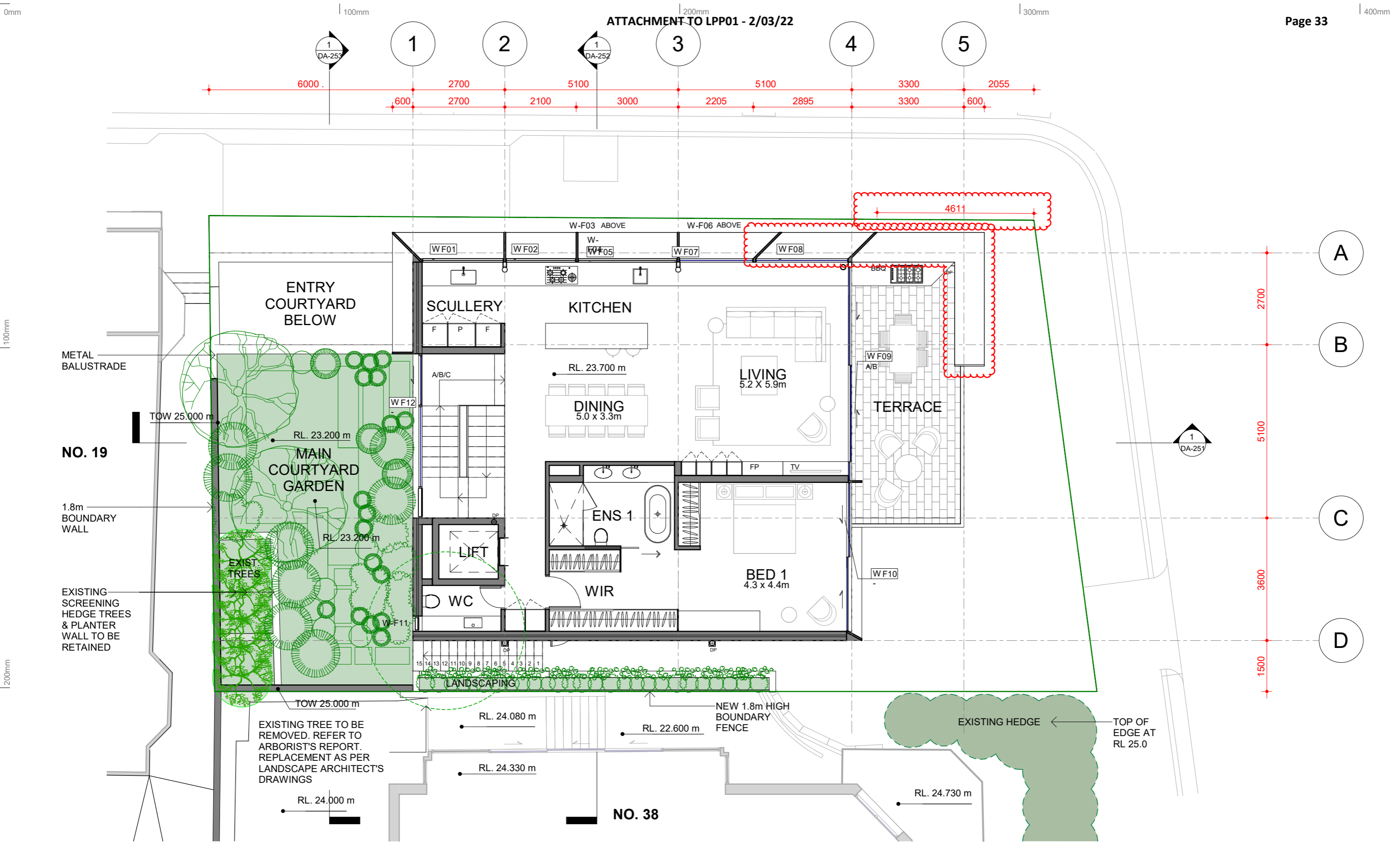
Date	Rev	Issue	CLIENT	PROJECT	TITLE				
09.09.2021	B	Issue for Internal Review	MB	21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	Plan_Basement				
14.09.2021	C	Issue for DA							
13.12.2021	D	Issue for DA							
NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759			ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060		ARCHITECTURE <i>Saville Isaacs</i>				
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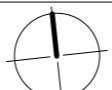
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Date	Rev	Issue																				
09.09.2021	B	Issue for Internal Review																				
14.09.2021	C	Issue for DA																				
13.12.2021	D	Issue for DA																				
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1 FFL Level 1  
Scale 1 : 100

Date	Rev	Issue		CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i> ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	TITLE	JOB No. 2024 DRAWING No. DA-104 REV. D			
09.09.2021	B	Issue for Internal Review					PROJECT DATE		ISSUED DATE	SCALE @ A3:	STATUS
14.09.2021	C	Issue for DA					JAN 08		13.12.2021	1 : 100	DA ISSUE
13.12.2021	D	Issue for DA									

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23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

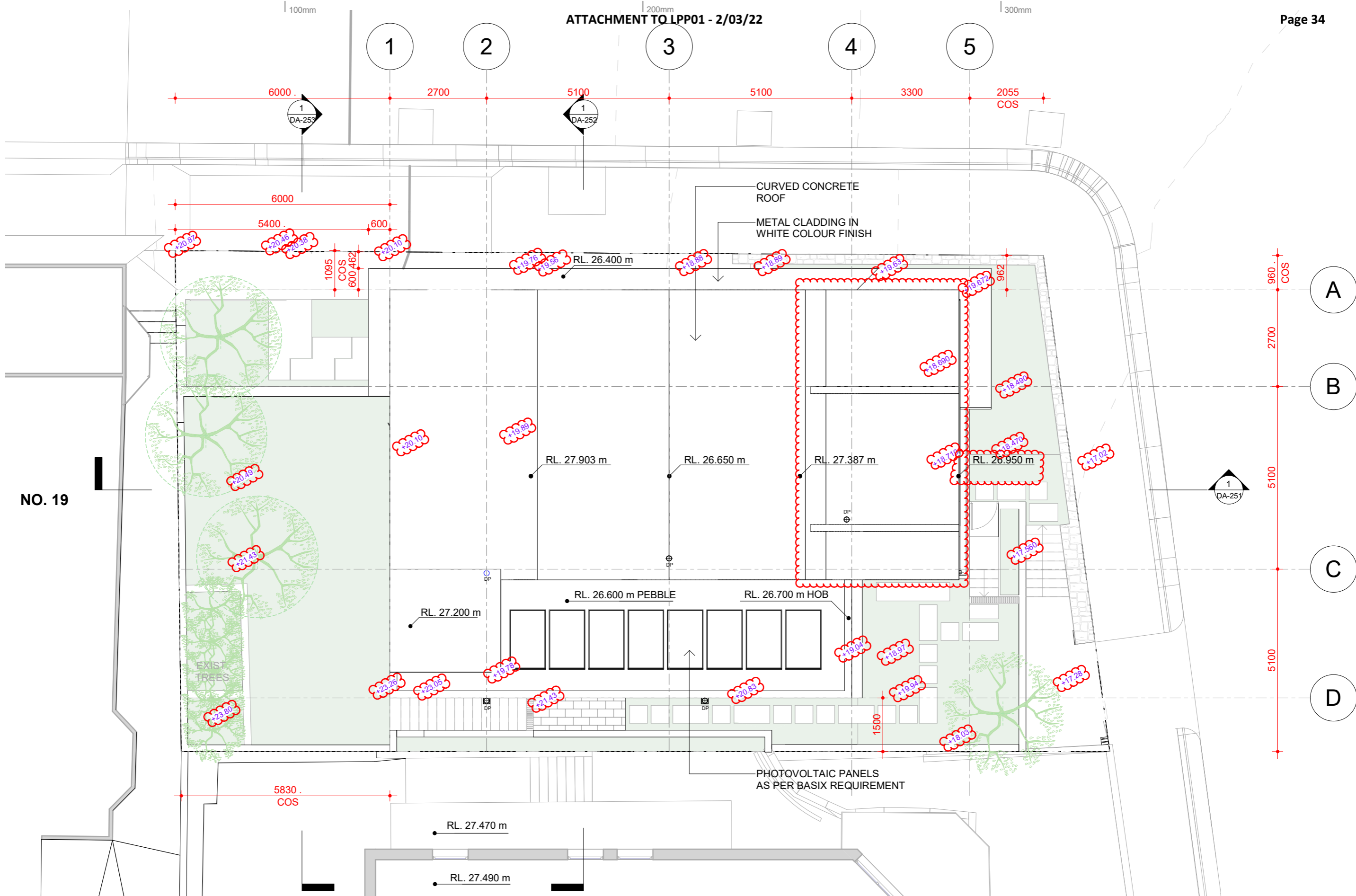
ARCHITECTURE *Saville Isaacs*

PROJECT DATE  
JAN 08

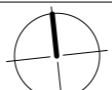
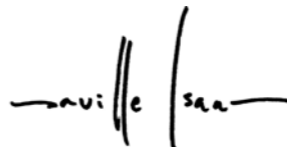
ISSUED DATE  
13.12.2021

SCALE @ A3:  
1 : 100

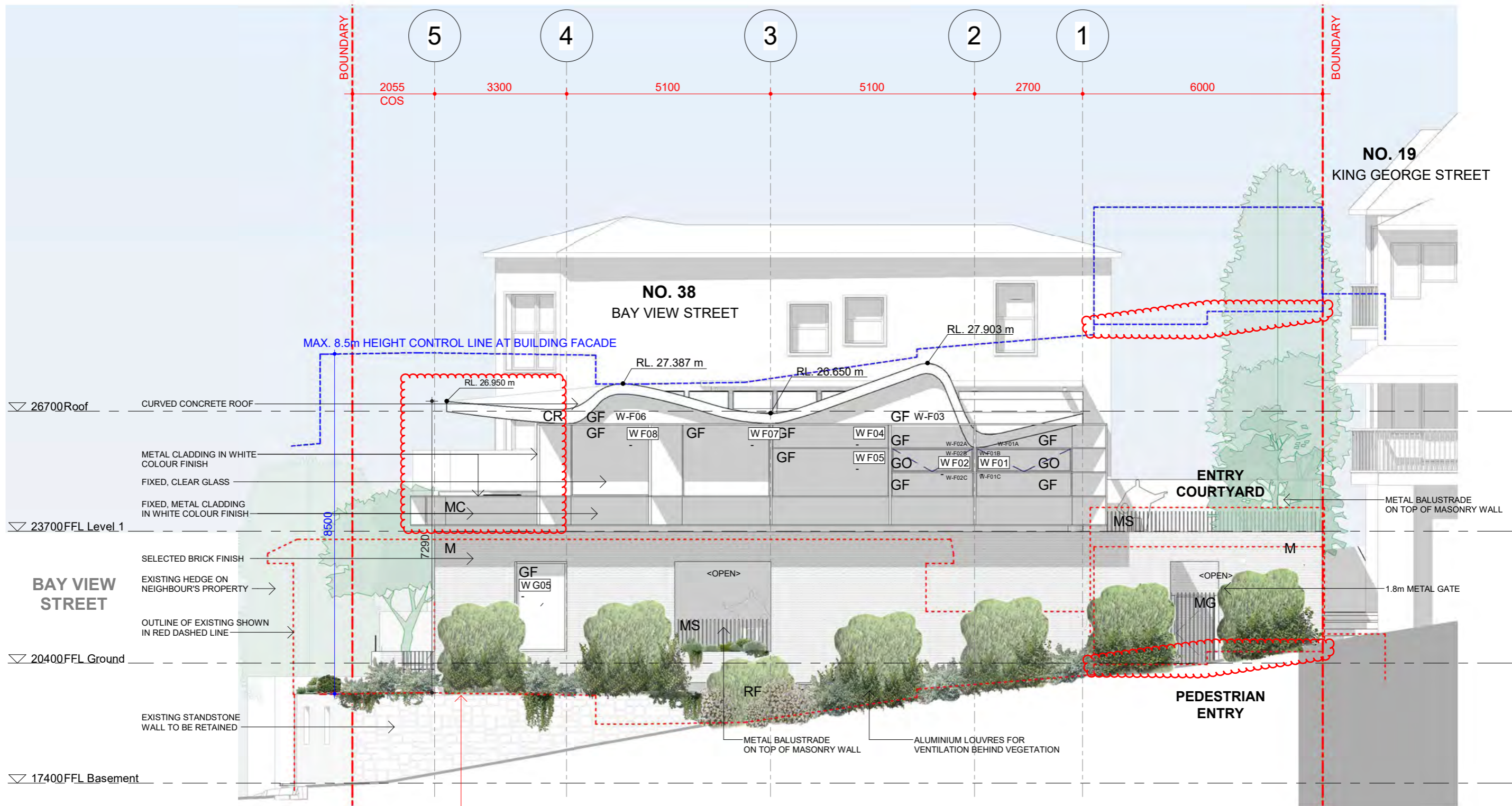
STATUS  
DA ISSUE



1 Roof Scale 1:100

<table border="1"> <thead> <tr> <th>Date</th> <th>Rev</th> <th>Issue</th> </tr> </thead> <tbody> <tr> <td>14.09.2021</td> <td>C</td> <td>Issue for DA</td> </tr> <tr> <td>13.12.2021</td> <td>D</td> <td>Issue for DA</td> </tr> <tr> <td>16.02.2022</td> <td>E</td> <td>Issue for DA</td> </tr> </tbody> </table>			Date	Rev	Issue	14.09.2021	C	Issue for DA	13.12.2021	D	Issue for DA	16.02.2022	E	Issue for DA			CLIENT MB		PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996		TITLE Roof Plan JOB No. 2024 DRAWING No. DA-105 REV. E	
Date	Rev	Issue																				
14.09.2021	C	Issue for DA																				
13.12.2021	D	Issue for DA																				
16.02.2022	E	Issue for DA																				
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1 Elevation North  
Scale 1 : 100

EXISTING GROUND LEVEL AT BUILDING FACADE (PATIO)

- |   |   |  |   |  |
|---|---|--|---|--|
| <ul style="list-style-type: none"> <li>AP access panel</li> <li>C cupboard</li> <li>CF concrete finish</li> <li>CPT carpet finish</li> <li>CR concrete roof</li> <li>T tile finish (as specified)</li> <li>DP down pipe</li> <li>DW dishwasher</li> </ul> | <ul style="list-style-type: none"> <li>EDB electrical distribution board</li> <li>FC cementitious cladding</li> <li>FCL finished ceiling level</li> <li>FFL finished floor level</li> <li>FW floor waste</li> <li>G gas bayonet</li> <li>GB glass balustrade</li> <li>GF glass fixed</li> </ul> | <ul style="list-style-type: none"> <li>GL glass louvres</li> <li>GO glass operable</li> <li>HW hot water unit</li> <li>L louvres external (metal)</li> <li>M masonry</li> <li>MC metal cladding</li> <li>MS metal screen</li> <li>MG metal fence &amp; gate</li> </ul> | <ul style="list-style-type: none"> <li>MR metal roof</li> <li>P pantry</li> <li>PR plumbing risers</li> <li>PF render / paint finish</li> <li>PB pebbles</li> <li>PT parapet</li> <li>RF render finish</li> <li>RL reduced level (relative to AHD)</li> </ul> | <ul style="list-style-type: none"> <li>RWO rain water outlet</li> <li>SC structural column</li> <li>SD services duct</li> <li>SKL skylight</li> <li>ST stone</li> <li>TC timber cladding</li> <li>TB timber blades / screen</li> <li>TF timber finish</li> </ul> |
|---|---|--|---|--|

**DA ISSUE**

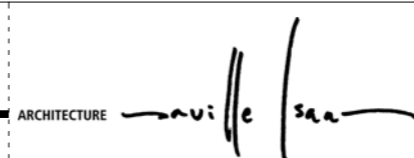
Date	Rev	Issue	CLIENT	PROJECT	TITLE
09.06.2021	A	Issue for DA	MB	21 King George St LAVENDER BAY, NSW 2060	Elevation_North
14.09.2021	B	Issue for DA		LOT 7 DP 520996	JOB No. 2024
13.12.2021	C	Issue for DA			DRAWING No. DA-201
					REV. C

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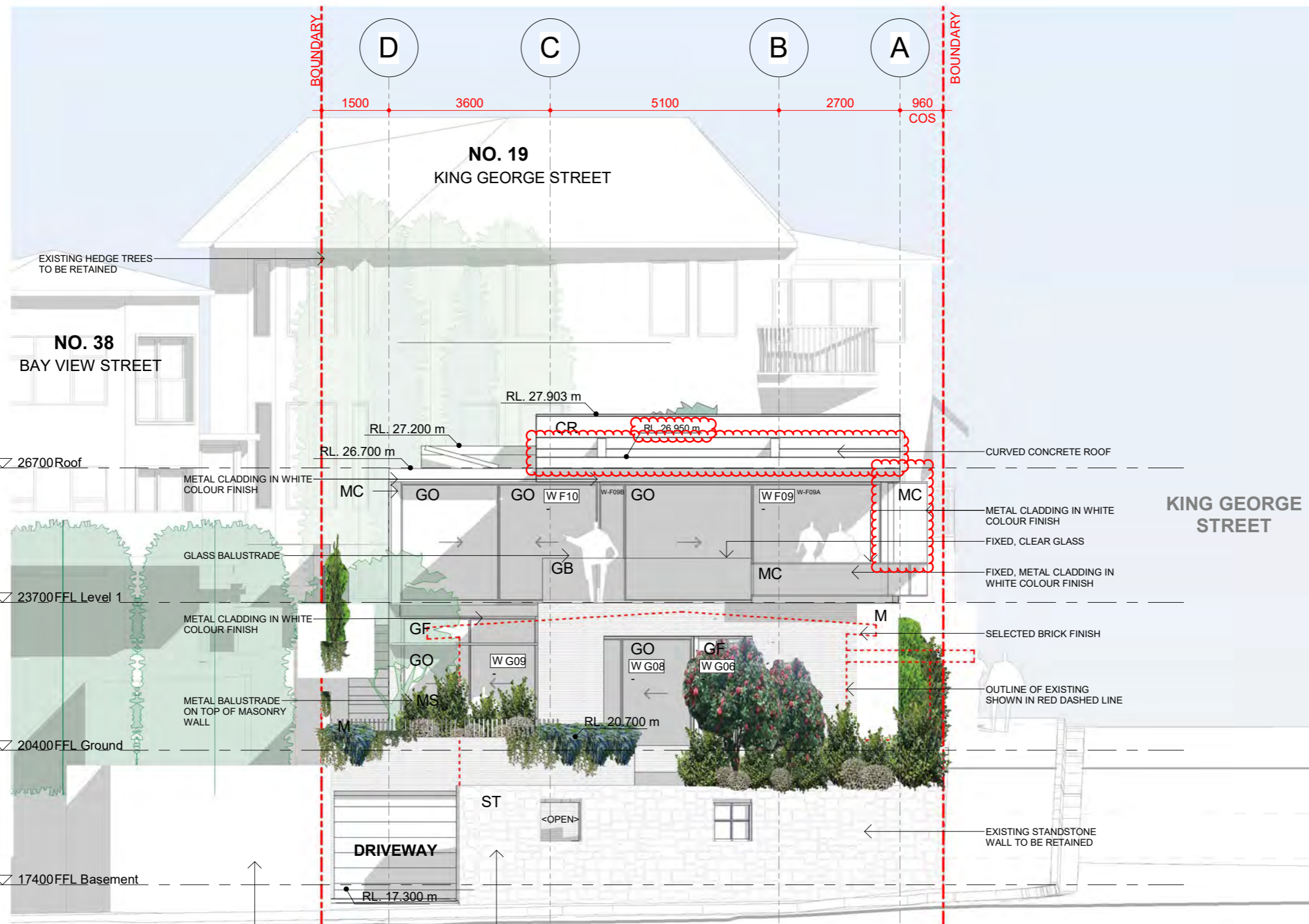
ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060



PROJECT DATE: JAN 08  
ISSUED DATE: 13.12.2021  
SCALE @ A3: 1 : 100

STATUS: DA ISSUE





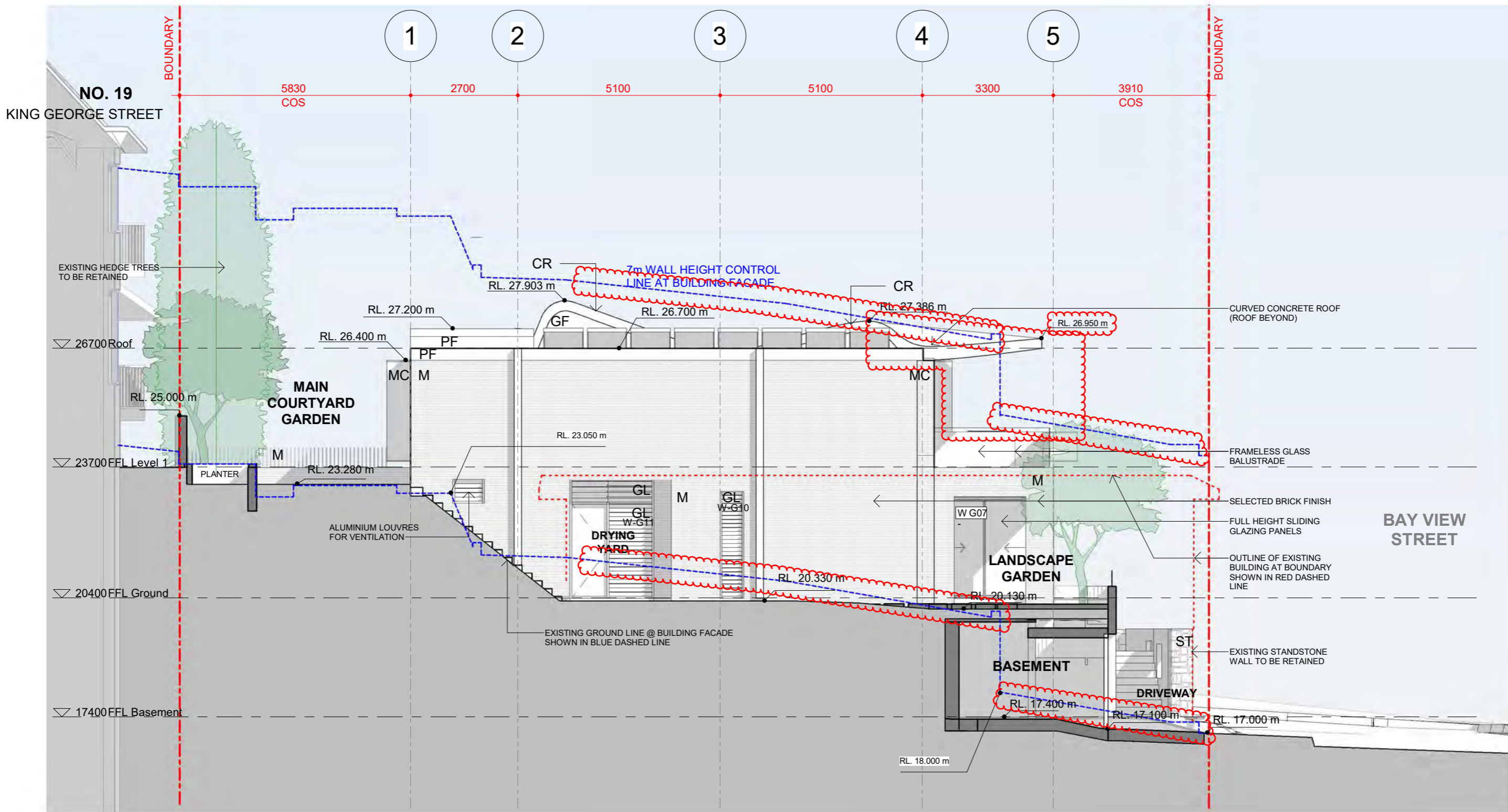
1 Elevation East  
Scale 1 : 100

- AP access panel
- C cupboard
- CF concrete finish
- CPT carpet finish
- CR concrete roof
- T tile finish (as specified)
- DP down pipe
- DW dishwasher
- EDB electrical distribution board
- FC cementitious cladding
- FCL finished ceiling level
- FFL finished floor level
- FW floor waste
- G gas bayonet
- GB glass balustrade
- GF glass fixed
- GL glass louvres
- GO glass operable
- HW hot water unit
- L louvres external (metal)
- M masonry
- MC metal cladding
- MS metal screen
- MG metal fence & gate
- MR metal roof
- P pantry
- PR plumbing risers
- PF render / paint finish
- PB pebbles
- PT parapet
- RF render finish
- RL reduced level (relative to AHD)
- RWO rain water outlet
- SC structural column
- SD services duct
- SKL skylight
- ST stone
- TC timber cladding
- TB timber blades / screen
- TF timber finish

**DA ISSUE**

<p>Date</p> <p>09.06.2021</p> <p>14.09.2021</p> <p>13.12.2021</p>	<p>Rev</p> <p>A</p> <p>B</p> <p>C</p>	<p>Issue</p> <p>Issue for DA</p> <p>Issue for DA</p> <p>Issue for DA</p>	<p>CLIENT</p> <p>MB</p>	<p>PROJECT</p> <p>21 King George St</p> <p>LAVENDER BAY, NSW 2060</p> <p>LOT 7 DP 520996</p>	<p>TITLE</p> <p>Elevation_East</p> <p>JOB No. 2024</p> <p>DRAWING No. DA-202</p> <p>REV. C</p>					
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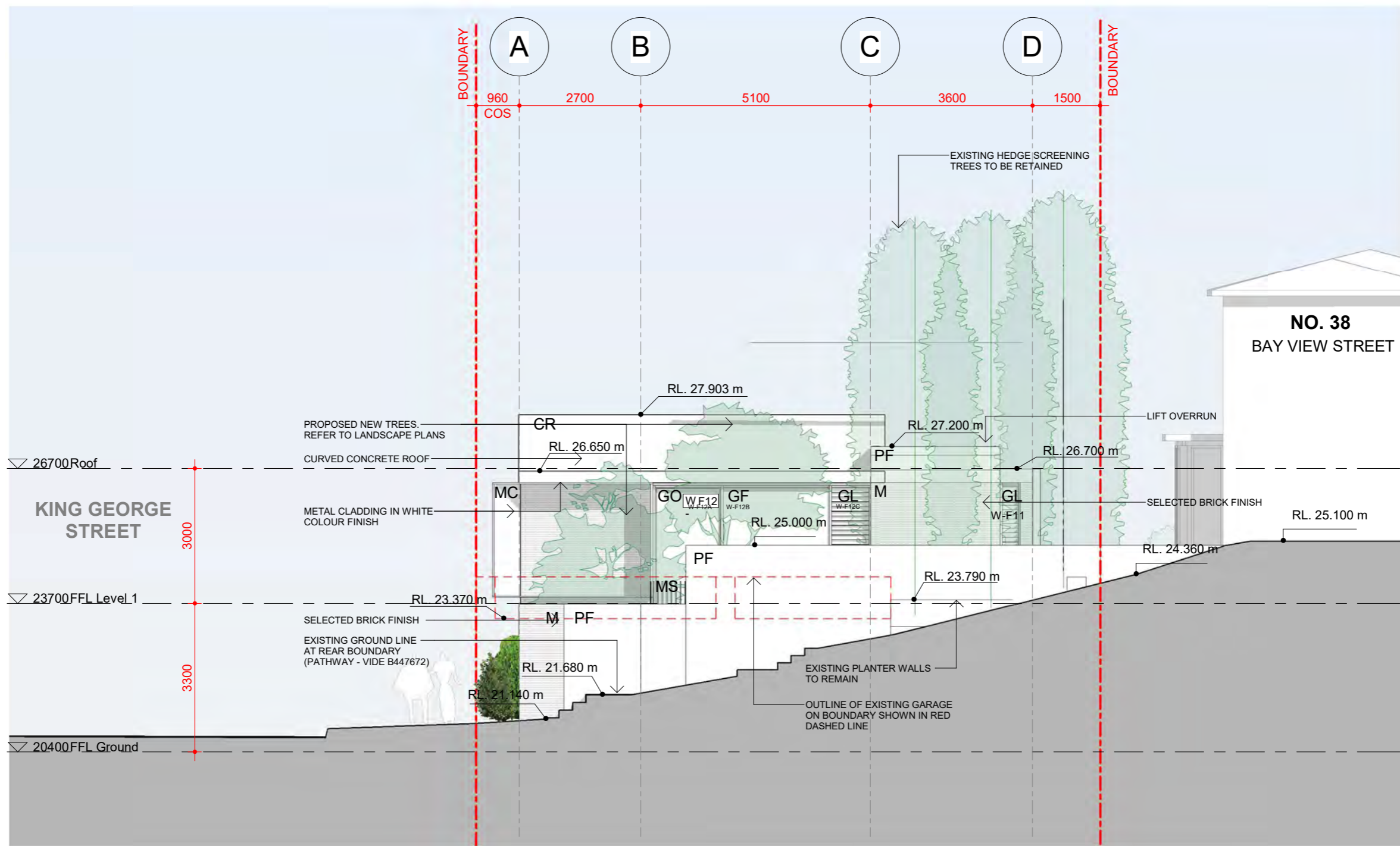


1 Elevation South  
Scale 1 : 100

- |   |  |  |   |  |
|---|--|--|---|--|
| <ul style="list-style-type: none"> <li>AP access panel</li> <li>C cupboard</li> <li>CF concrete finish</li> <li>CPT carpet finish</li> <li>CR concrete roof</li> <li>T tile finish (as specified)</li> <li>DP down pipe</li> <li>DW dishwasher</li> </ul> | <ul style="list-style-type: none"> <li>EDBelectrical distribution board</li> <li>FC cementitious cladding</li> <li>FCL finished ceiling level</li> <li>FFL finished floor level</li> <li>FW floor waste</li> <li>G gas bayonet</li> <li>GB glass balustrade</li> <li>GF glass fixed</li> </ul> | <ul style="list-style-type: none"> <li>GL glass louvres</li> <li>GO glass operable</li> <li>HW hot water unit</li> <li>L louvres external (metal)</li> <li>M masonry</li> <li>MC metal cladding</li> <li>MS metal screen</li> <li>MG metal fence &amp; gate</li> </ul> | <ul style="list-style-type: none"> <li>MR metal roof</li> <li>P pantry</li> <li>PR plumbing risers</li> <li>PF render / paint finish</li> <li>PB pebbles</li> <li>PT parapet</li> <li>RF render finish</li> <li>RL reduced level (relative to AHD)</li> </ul> | <ul style="list-style-type: none"> <li>RWO rain water outlet</li> <li>SC structural column</li> <li>SD services duct</li> <li>SKL skylight</li> <li>ST stone</li> <li>TC timber cladding</li> <li>TB timber blades / screen</li> <li>TF timber finish</li> </ul> |
|---|--|--|---|--|

**DA ISSUE**

<table border="0"> <tr> <th>Date</th> <th>Rev</th> <th>Issue</th> </tr> <tr> <td>09.06.2021</td> <td>A</td> <td>Issue for DA</td> </tr> <tr> <td>14.09.2021</td> <td>B</td> <td>Issue for DA</td> </tr> <tr> <td>13.12.2021</td> <td>C</td> <td>Issue for DA</td> </tr> </table>	Date	Rev	Issue	09.06.2021	A	Issue for DA	14.09.2021	B	Issue for DA	13.12.2021	C	Issue for DA	<p>CLIENT MB</p>	<p>PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996</p>	<p>TITLE Elevation_South JOB No. 2024 DRAWING No. DA-203 REV. C</p>
Date	Rev	Issue													
09.06.2021	A	Issue for DA													
14.09.2021	B	Issue for DA													
13.12.2021	C	Issue for DA													
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<p>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</p>	<p>P: 02 - 9086 9000 F: 02 - 9086 9001</p>	<p>PROJECT DATE: JAN 08 ISSUED DATE: 13.12.2021 SCALE @ A3: 1 : 100</p>	<p>STATUS: DA ISSUE</p>												



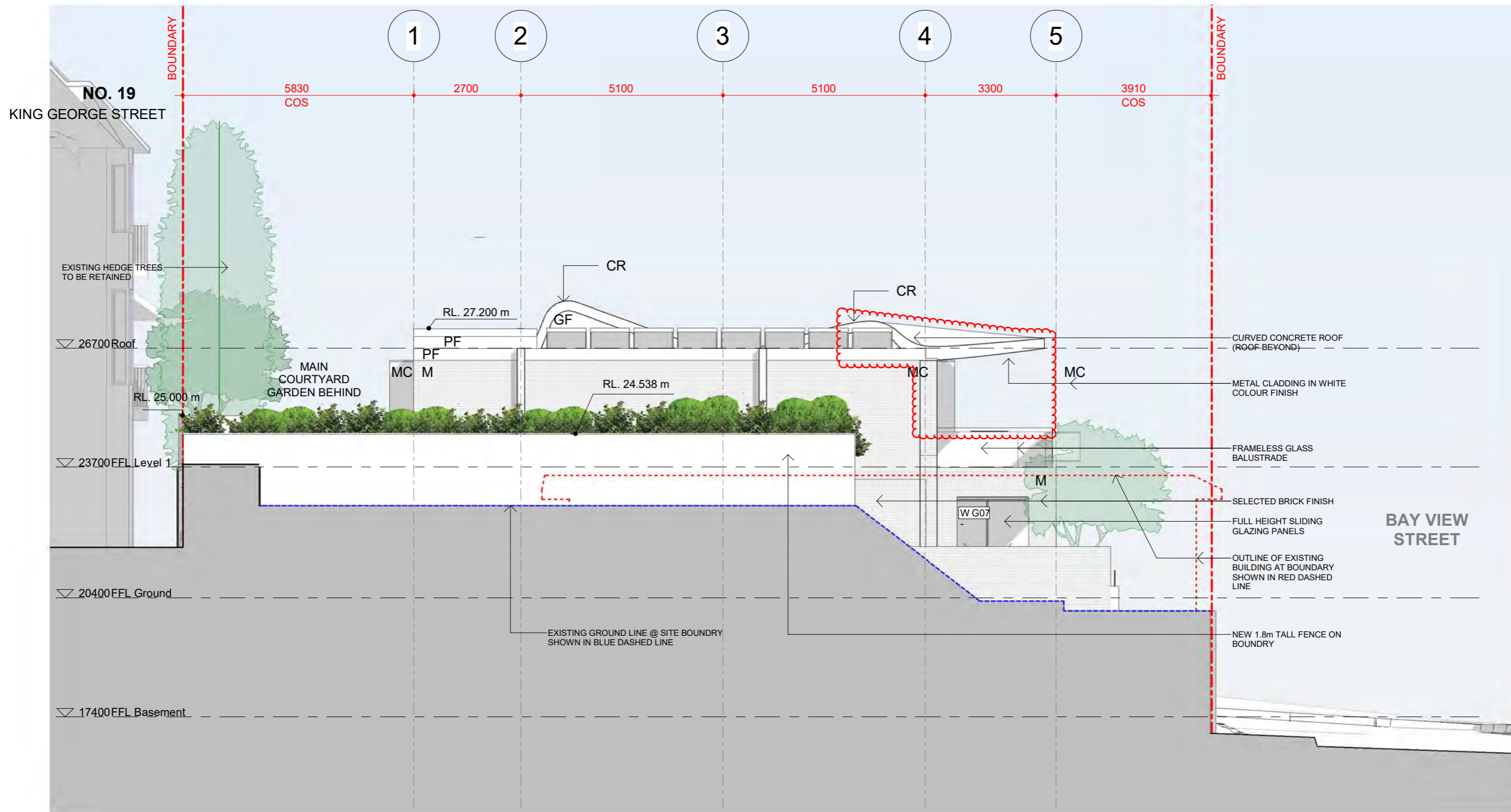
1 Elevation West  
Scale 1 : 100

AP access panel	EDBelectrical distribution board	GL glass louvres	MR metal roof	RWO rain water outlet
C cupboard	FC cementitious cladding	GO glass operable	P pantry	SC structural column
CF concrete finish	FCL finished ceiling level	HW hot water unit	PR plumbing risers	SD services duct
CPT carpet finish	FFL finished floor level	L louvres external (metal)	PF render / paint finish	SKL skylight
CR concrete roof	FW floor waste	M masonry	PB pebbles	ST stone
T tile finish (as specified)	G gas bayonet	MC metal cladding	PT parapet	TC timber cladding
DP down pipe	GB glass balustrade	MS metal screen	RF render finish	TB timber blades / screen
DW dishwasher	GF glass fixed	MG metal fence & gate	RL reduced level (relative to AHD)	TF timber finish

**DA ISSUE**

Date 09.06.2021 14.09.2021	Rev A B	Issue Issue for DA Issue for DA	CLIENT MB	PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	TITLE Elevation_West JOB No. 2024 DRAWING No. DA-204 REV. B
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>		<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>ARCHITECTURE <i>Saville Isaacs</i></small>
PROJECT DATE JAN 08	ISSUED DATE 14.09.2021	SCALE @ A3: 1 : 100	STATUS DA ISSUE		



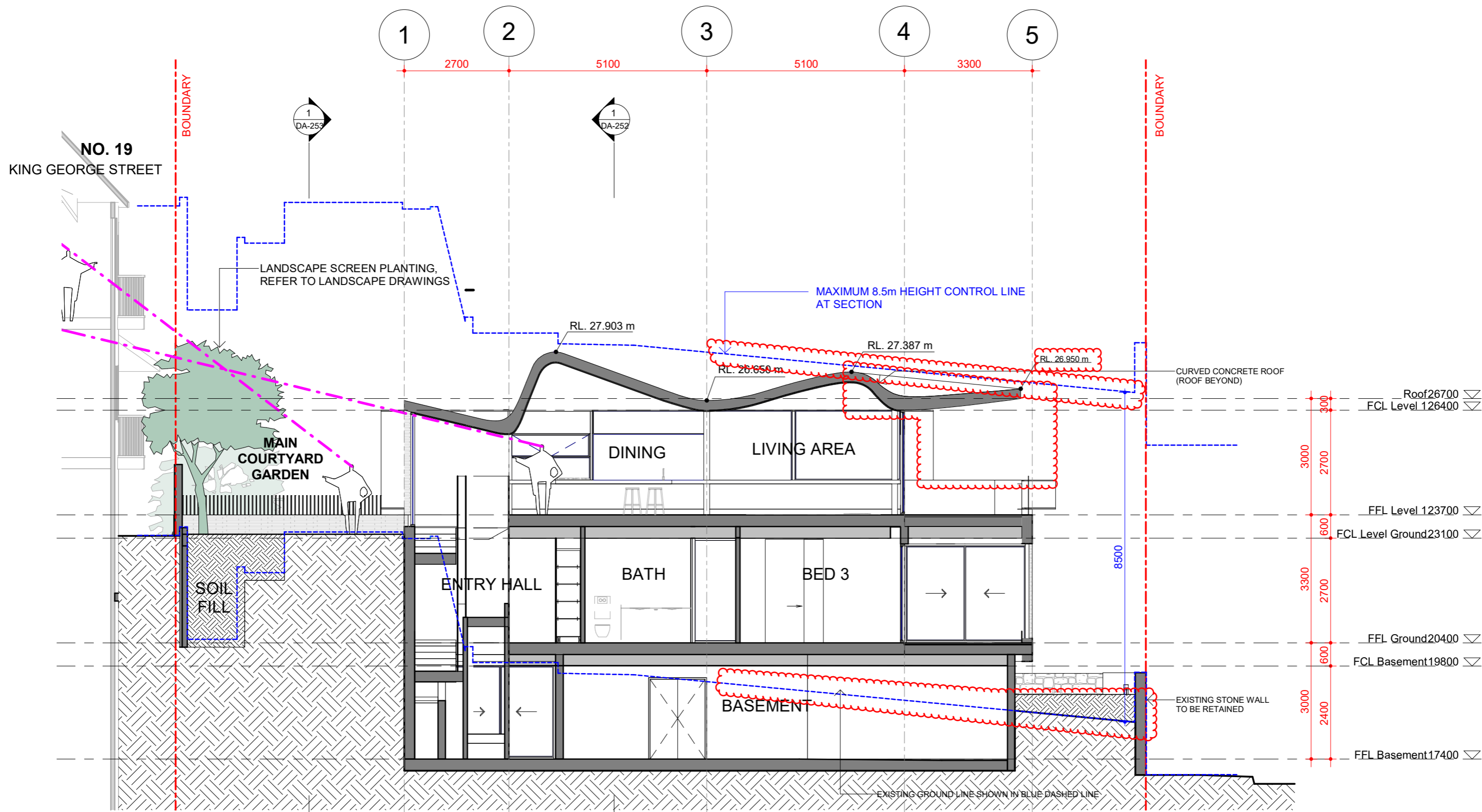


1 Elevation South Boundry  
Scale 1 : 100

- |                              |                                  |                            |                                    |                           |
|------------------------------|----------------------------------|----------------------------|------------------------------------|---------------------------|
| AP access panel              | EDBelectrical distribution board | GL glass louvres           | MR metal roof                      | RWO rain water outlet     |
| C cupboard                   | FC cementitious cladding         | GO glass operable          | P pantry                           | SC structural column      |
| CF concrete finish           | FCL finished ceiling level       | HW hot water unit          | PR plumbing risers                 | SD services duct          |
| CPT carpet finish            | FFL finished floor level         | L louvres external (metal) | PF render / paint finish           | SKL skylight              |
| CR concrete roof             | FW floor waste                   | M masonry                  | PB pebbles                         | ST stone                  |
| T tile finish (as specified) | G gas bayonet                    | MC metal cladding          | PT parapet                         | TC timber cladding        |
| DP down pipe                 | GB glass balustrade              | MS metal screen            | RF render finish                   | TB timber blades / screen |
| DW dishwasher                | GF glass fixed                   | MG metal fence & gate      | RL reduced level (relative to AHD) | TF timber finish          |

**DA ISSUE**

Date 14.09.2021	Rev A	Issue Issue for DA	CLIENT MB	PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	TITLE Elevation_South_Boundry
The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project			NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759	ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	ARCHITECTURE <i>Saville Isaacs</i>
P: 02 - 9086 9000 F: 02 - 9086 9001		PROJECT DATE JAN 08	ISSUED DATE 14.09.2021	SCALE @ A3: 1 : 100	STATUS DA ISSUE
JOB No. 2024			DRAWING No. DA-205	REV. A	



1 Longitudinal Section AA  
Scale 1 : 100

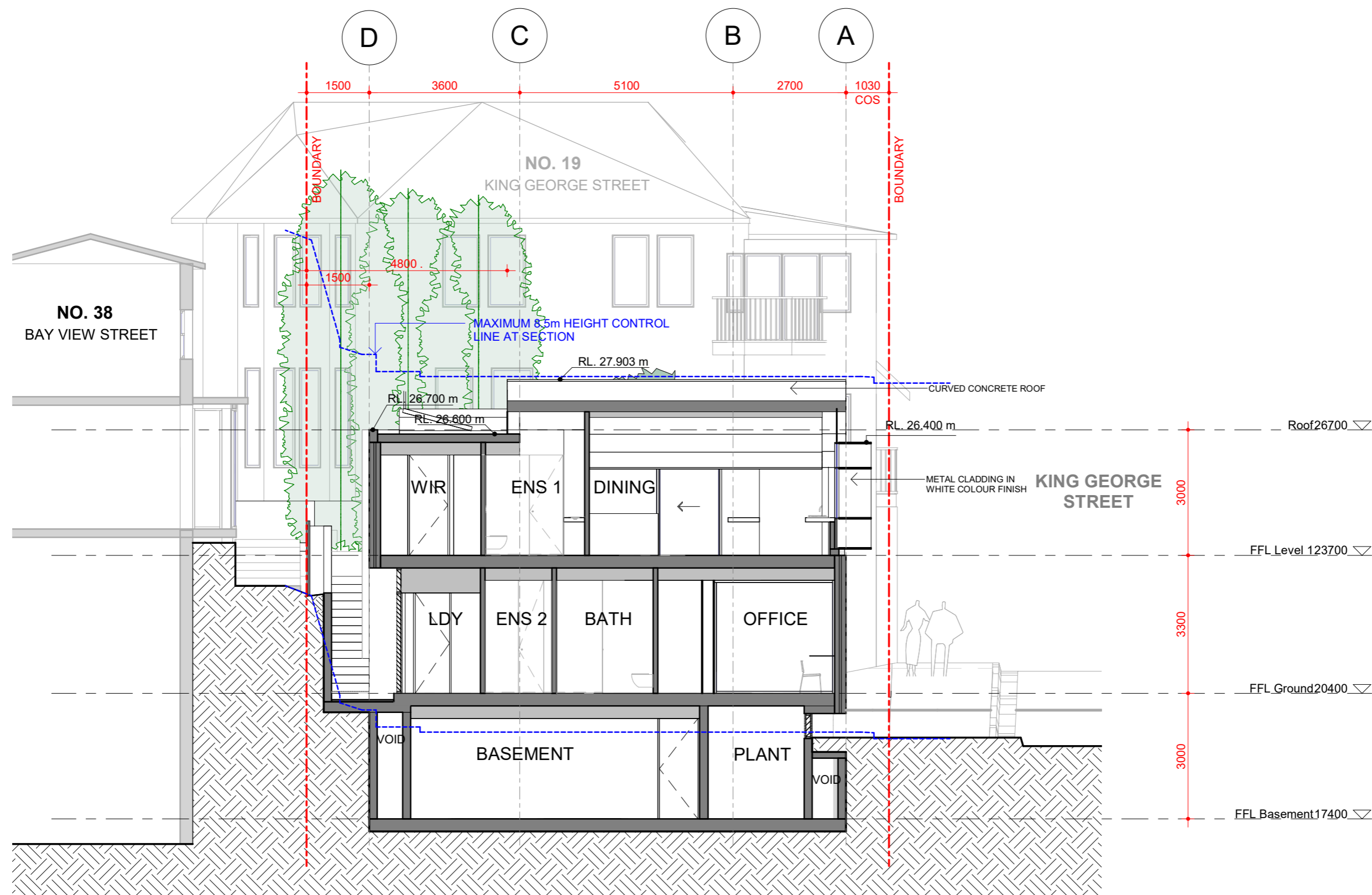
Date	Rev	Issue	CLIENT	PROJECT	TITLE			
14.09.2021	C	Issue for DA	MB	21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	Sections JOB No. 2024			
13.12.2021	D	Issue for DA						
16.02.2022	E	Issue for DA						
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0mm 100mm 200mm 300mm 400mm

100mm

200mm



1 Cross Section BB  
Scale 1 : 100

Date 09.06.2021 14.09.2021	Rev A B	Issue Issue for DA Issue for DA	CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	TITLE Sections JOB No. 2024 DRAWING No. DA-252 REV. B			
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>PROJECT DATE JAN 08</small>	<small>ISSUED DATE 14.09.2021</small>	<small>SCALE @ A3: 1 : 100</small>	<small>STATUS DA ISSUE</small>

0mm

100mm

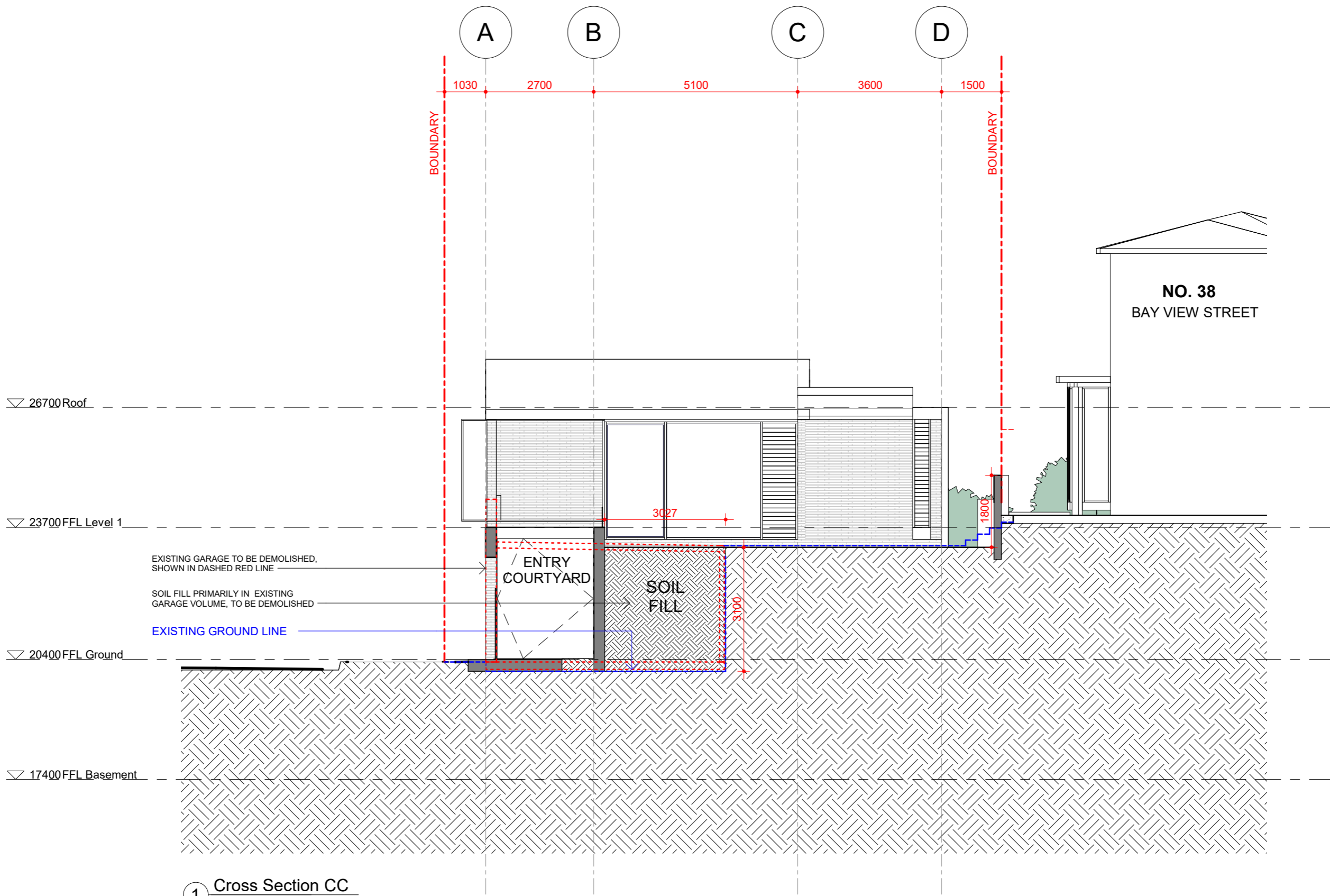
200mm

300mm

400mm

100mm

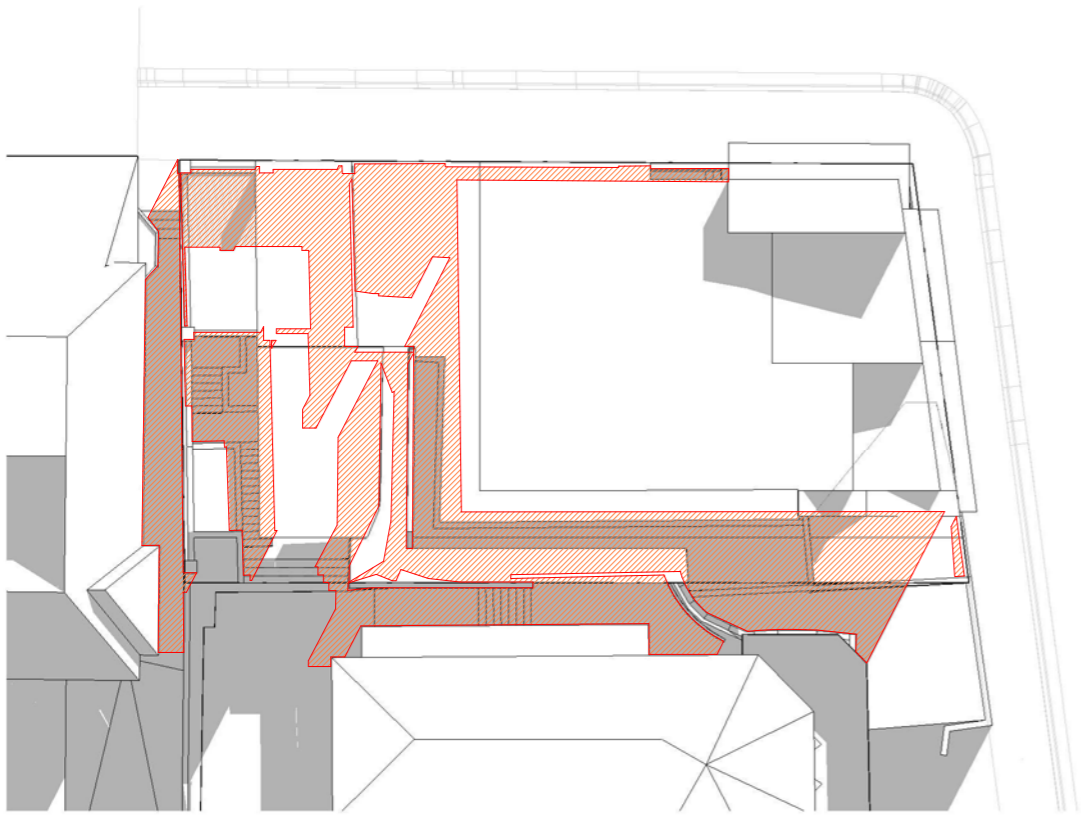
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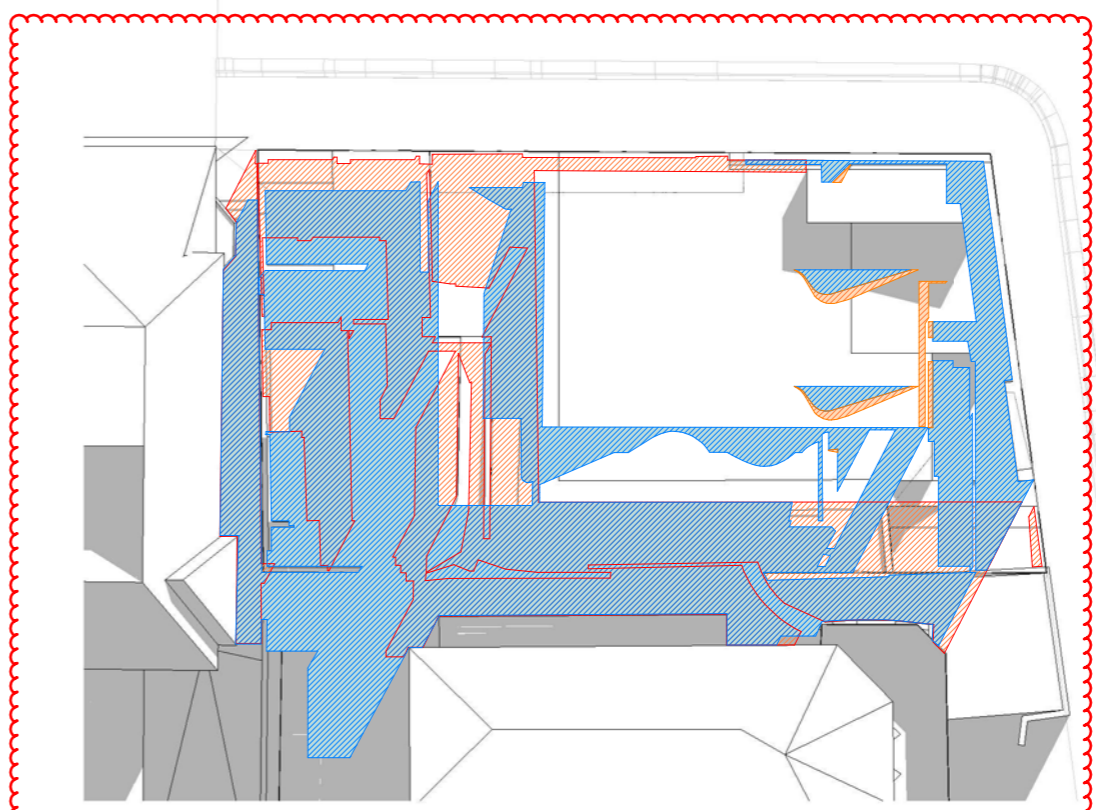
1 Cross Section CC  
Scale 1 : 100

Date 14.09.2021	Rev A	Issue Issue for DA	CLIENT MB	PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	TITLE Sections			
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE</small> <i>Saville Isaacs</i>	<small>JOB No. 2024</small>	<small>DRAWING No. DA-253</small>	<small>REV. A</small>
<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>			<small>PROJECT DATE JAN 08</small>	<small>ISSUED DATE 14.09.2021</small>	<small>SCALE @ A3: 1 : 100</small>	<small>STATUS DA ISSUE</small>		

100mm



① Shadow Winter 9am Existing  
Scale 1 : 250

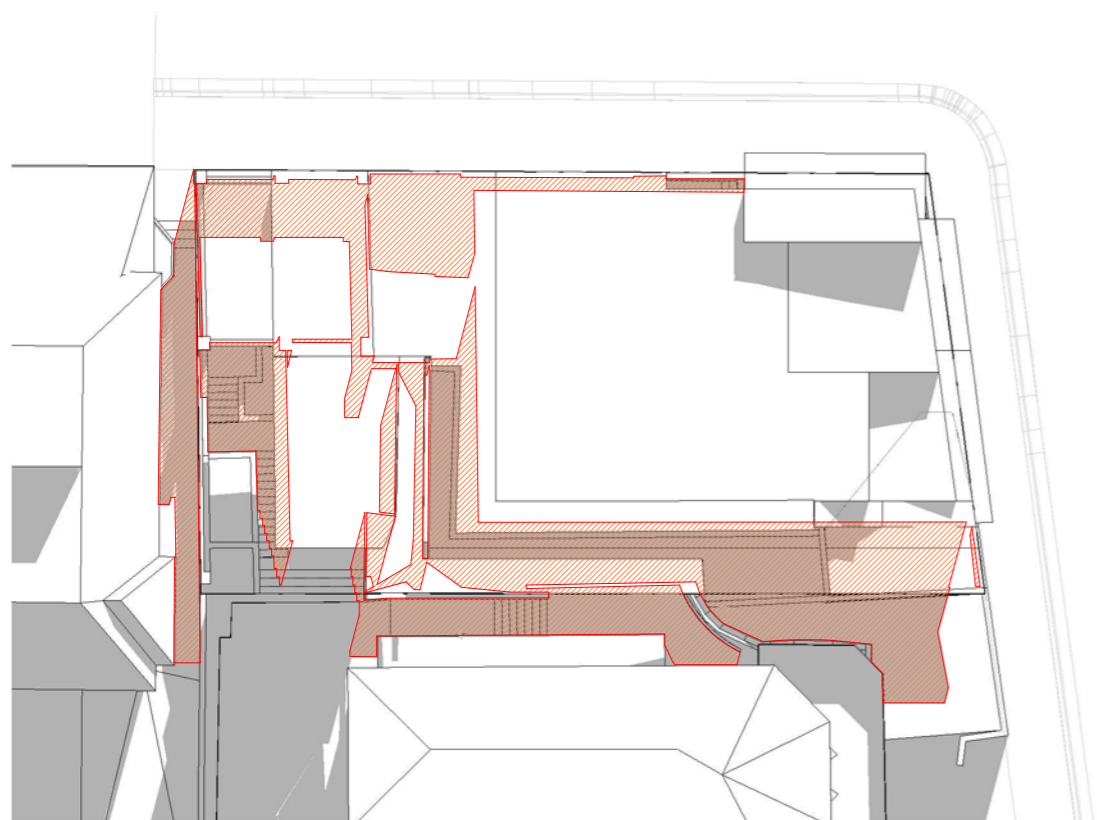


② Shadow Winter 9am Proposed  
Scale 1 : 250

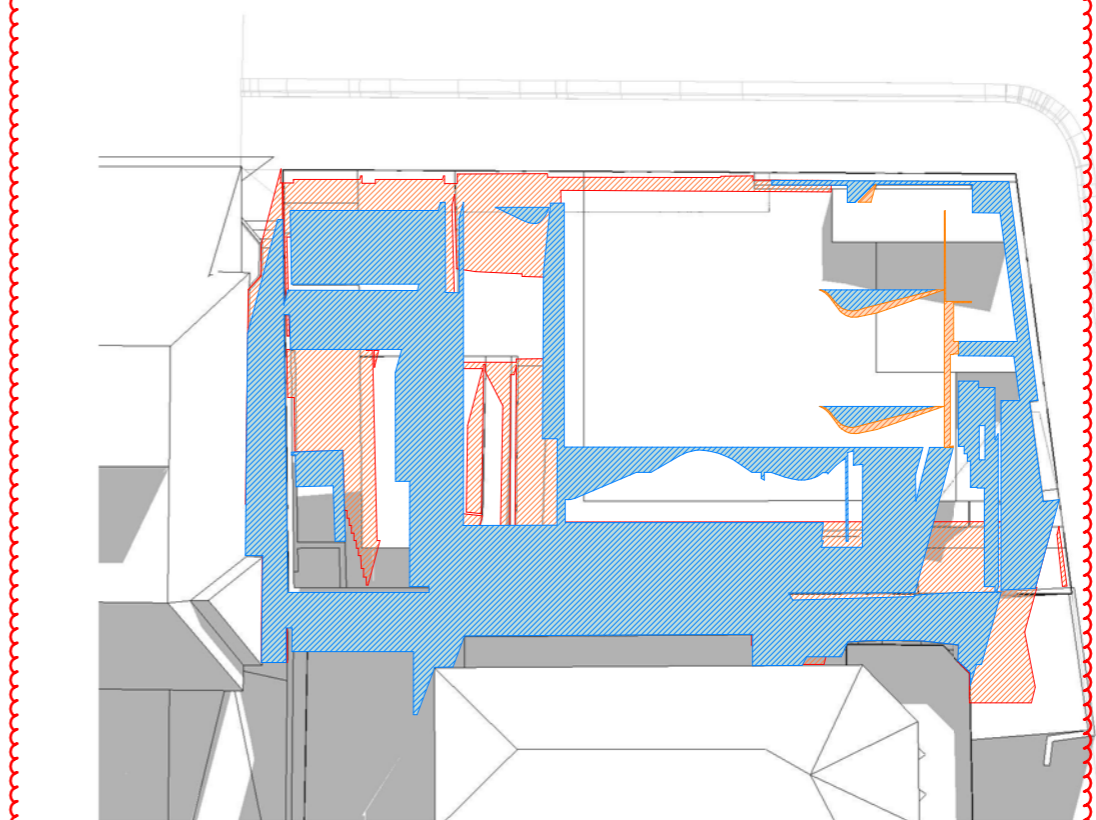
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- SHADOW BY EXISTING BUILDING
- SHADOW BY PROPOSED DESIGN
- SHADOW REDUCED BY PROPOSED DESIGN
- SHADOW BY NEIGHBOURING BUILDING
- SHADOW INCREASE BETWEEN LATEST PROPOSED AND PREVIOUSLY SUBMITTED

200mm

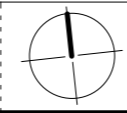


③ Shadow Winter 10am Existing  
Scale 1 : 250

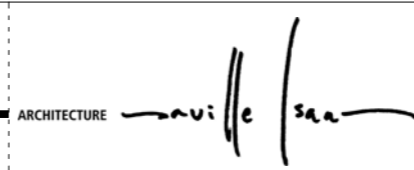


④ Shadow Winter 10am Proposed  
Scale 1 : 250

Date	Rev	Issue
03.11.2021	C	Issue for DA
13.12.2021	D	Issue for DA
10.01.2022	E	Issue for DA



CLIENT  
MB



PROJECT  
21 King George St  
LAVENDER BAY, NSW 2060  
LOT 7 DP 520996

TITLE  
Shadows\_Winter 9am-10am  
JOB No. 2024  
DRAWING No. DA-301  
REV. E

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ABN: 79 124 014 759

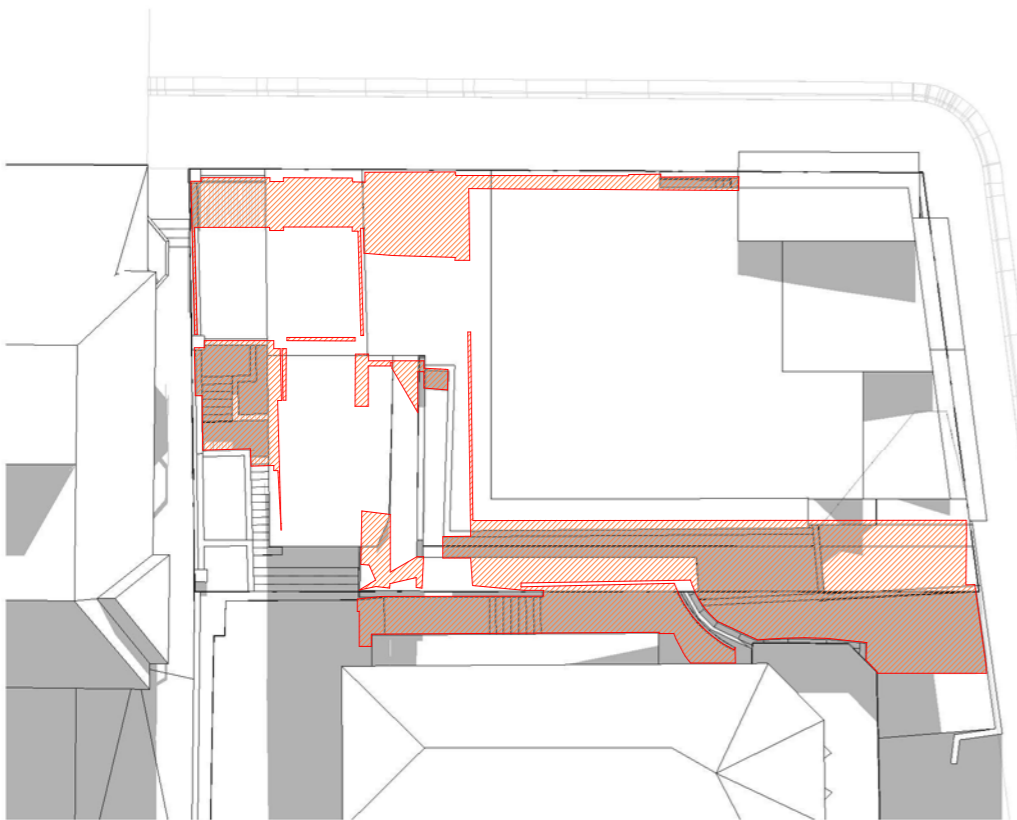
P: 02 - 9086 9000  
F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

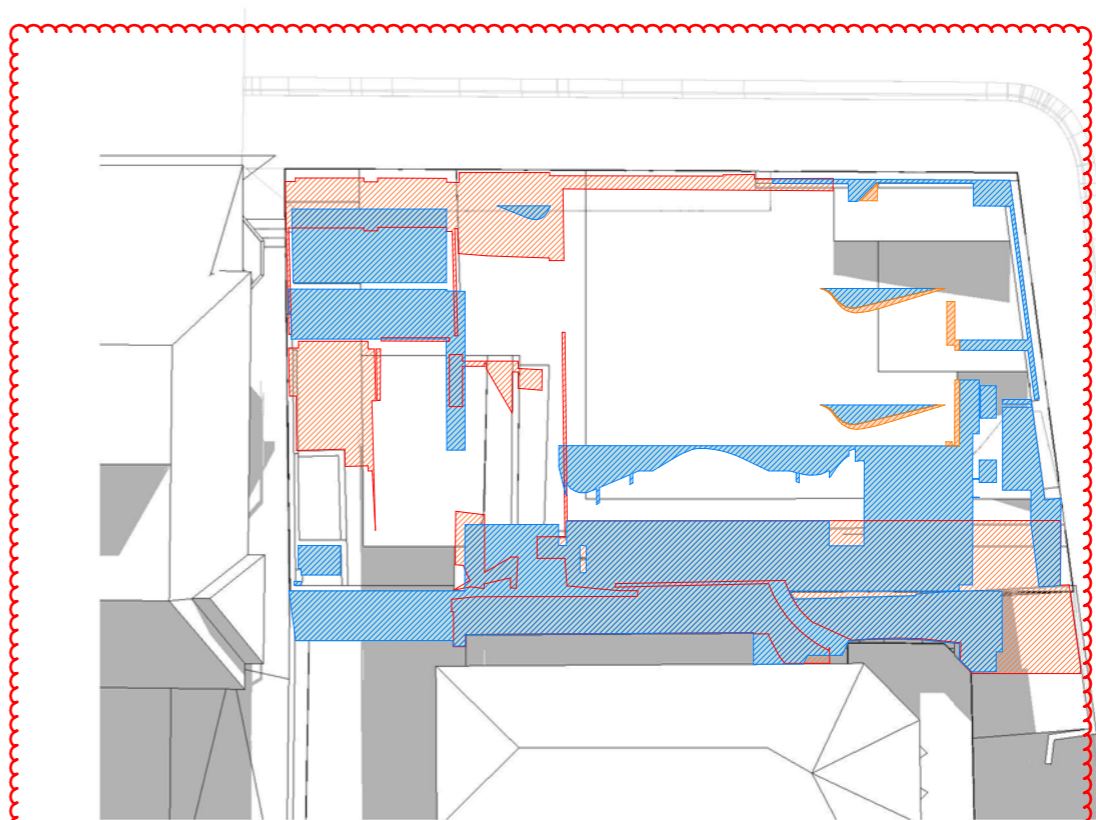
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JAN 08 10.01.2022 1 : 250

STATUS  
DA ISSUE





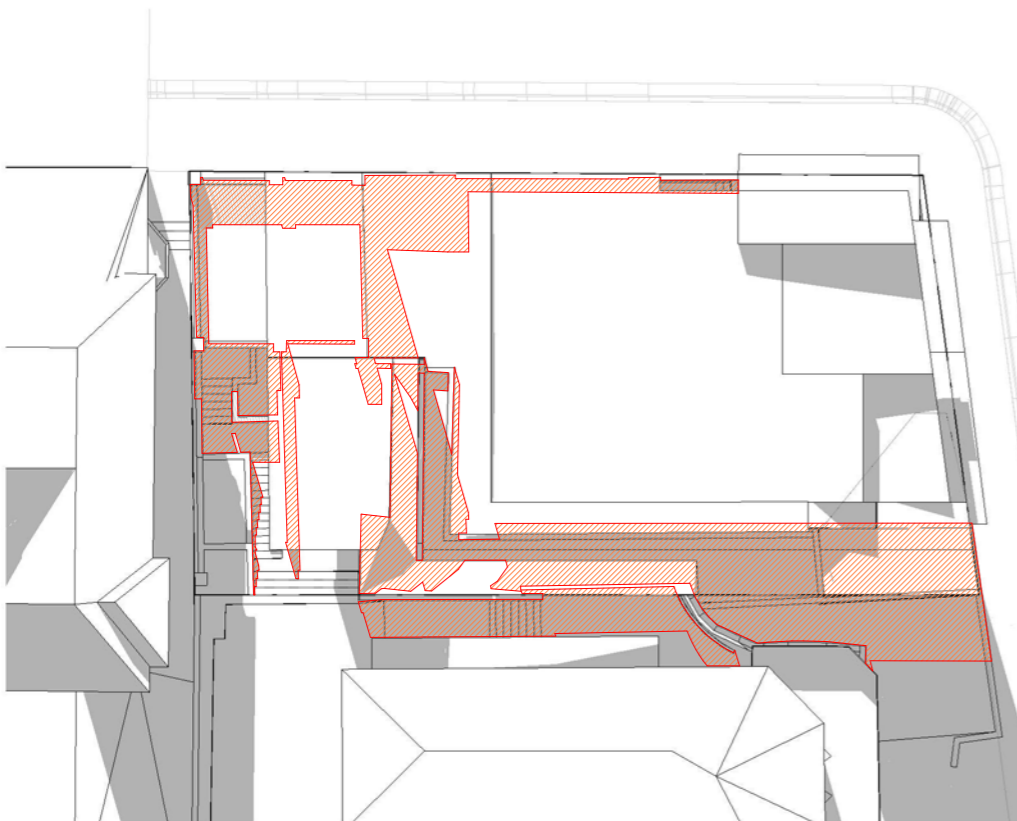
1 Shadow Winter 11am Existing  
Scale 1 : 250



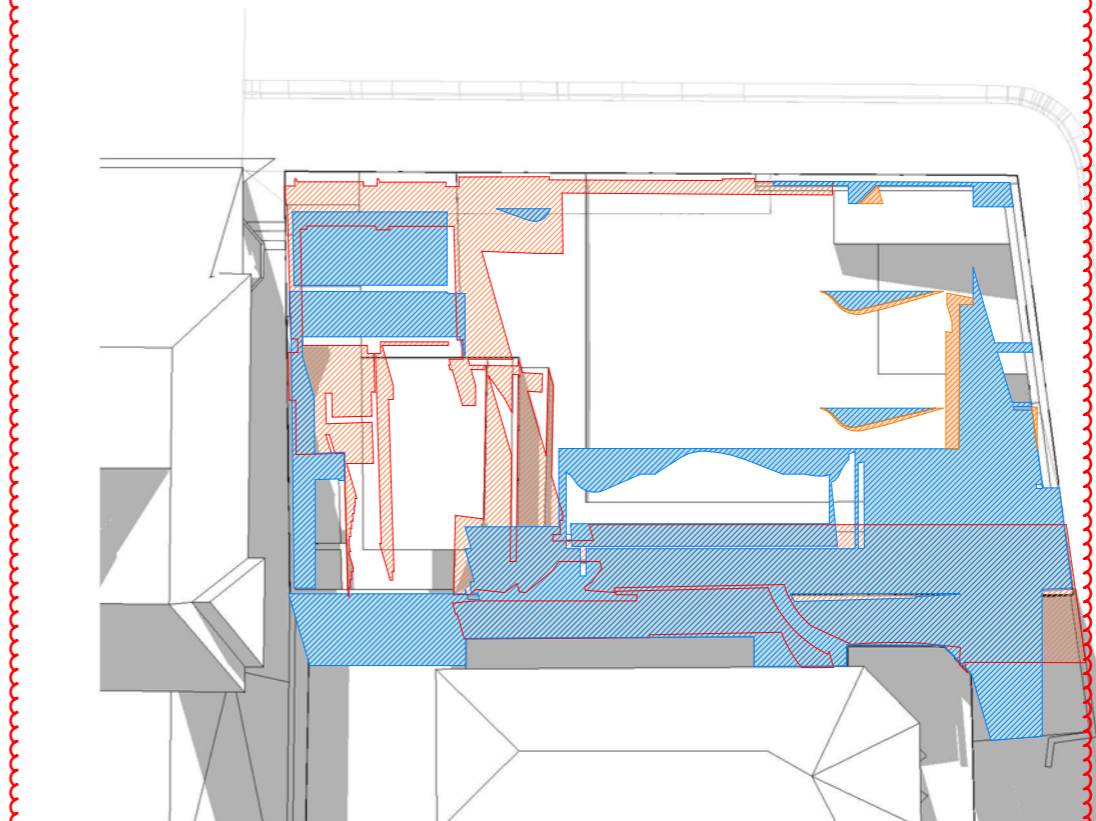
2 Shadow Winter 11am Proposed  
Scale 1 : 250

**KEY**

- SHADOW BY EXISTING BUILDING
- SHADOW BY PROPOSED DESIGN
- SHADOW REDUCED BY PROPOSED DESIGN
- SHADOW BY NEIGHBOURING BUILDING
- SHADOW INCREASE BETWEEN LATEST PROPOSED AND PREVIOUSLY SUBMITTED

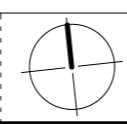


3 Shadow Winter 12pm Existing  
Scale 1 : 250

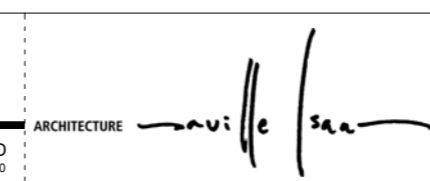


4 Shadow Winter 12pm Proposed  
Scale 1 : 250

Date	Rev	Issue
03.11.2021	C	Issue for DA
13.12.2021	D	Issue for DA
10.01.2022	E	Issue for DA



CLIENT  
MB



PROJECT  
21 King George St  
LAVENDER BAY, NSW 2060  
LOT 7 DP 520996

TITLE  
Shadows\_Winter 11am-12pm  
JOB No. 2024  
DRAWING No. DA-302  
REV. E

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ABN: 79 124 014 759

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F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT DATE  
JAN 08

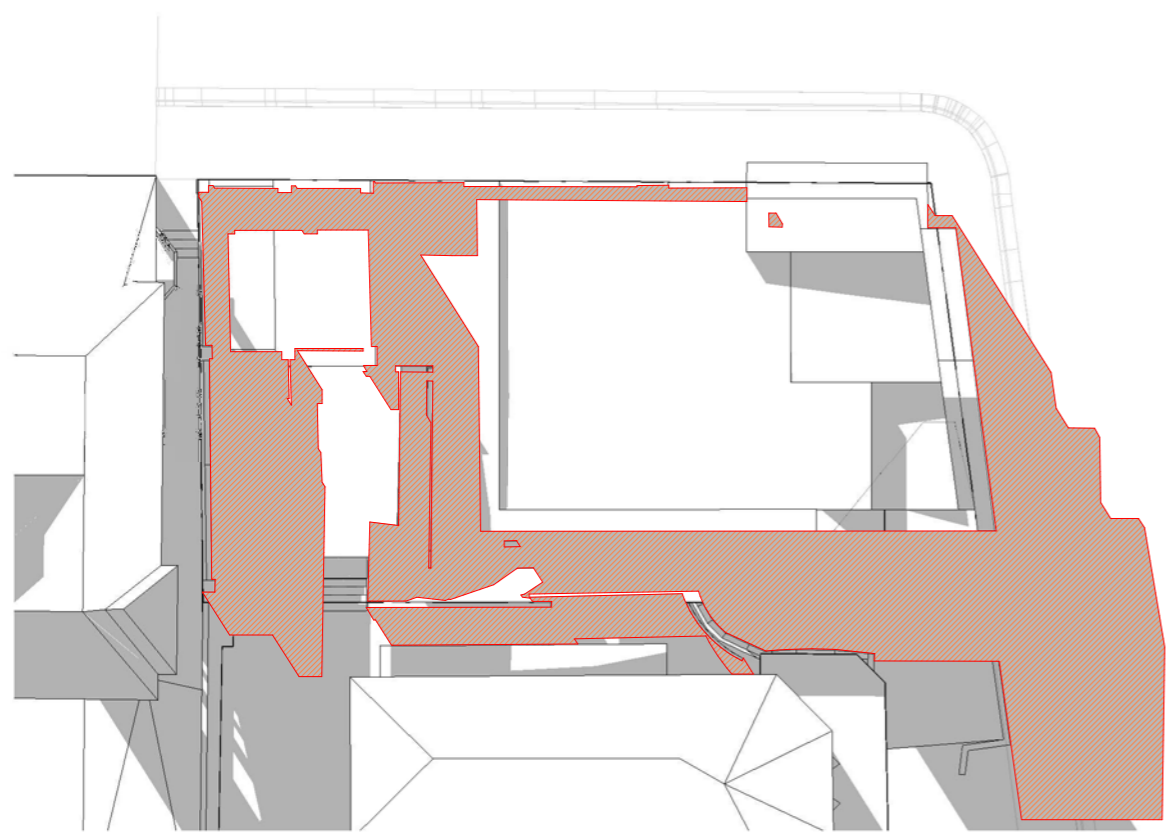
ISSUED DATE  
10.01.2022

SCALE @ A3:  
1 : 250

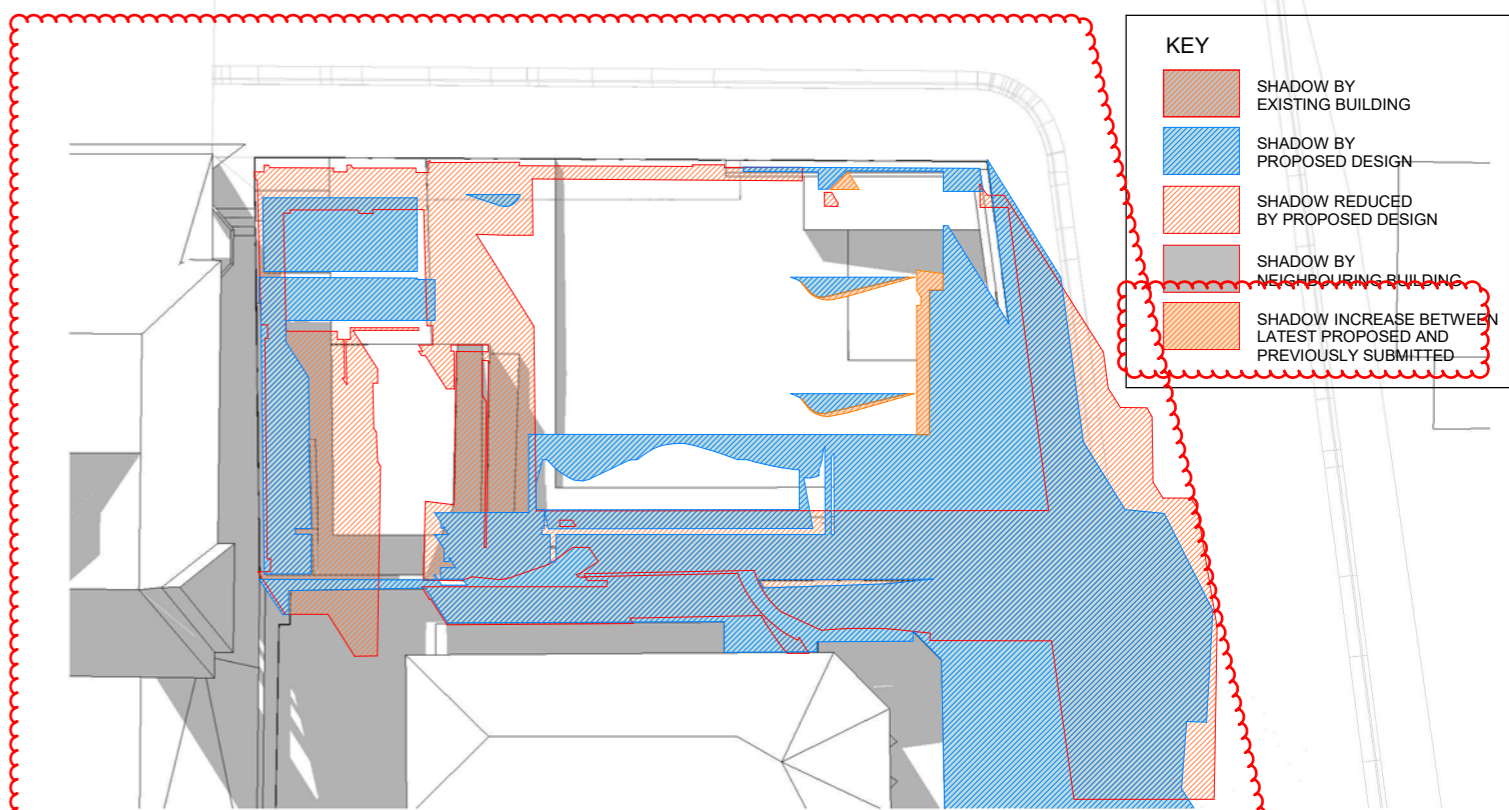
STATUS  
DA ISSUE



100mm



1 Shadow Winter 1pm Existing  
Scale 1 : 250

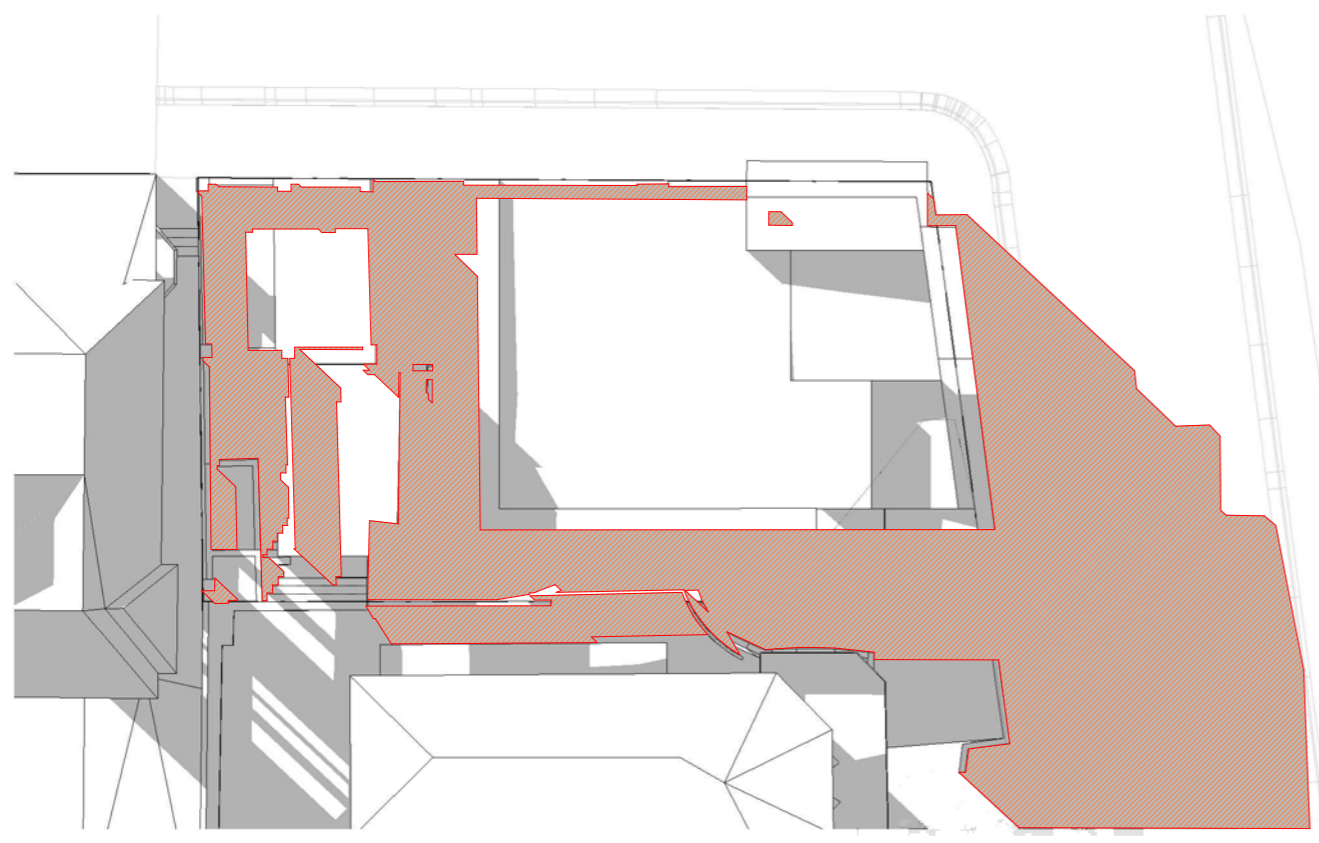


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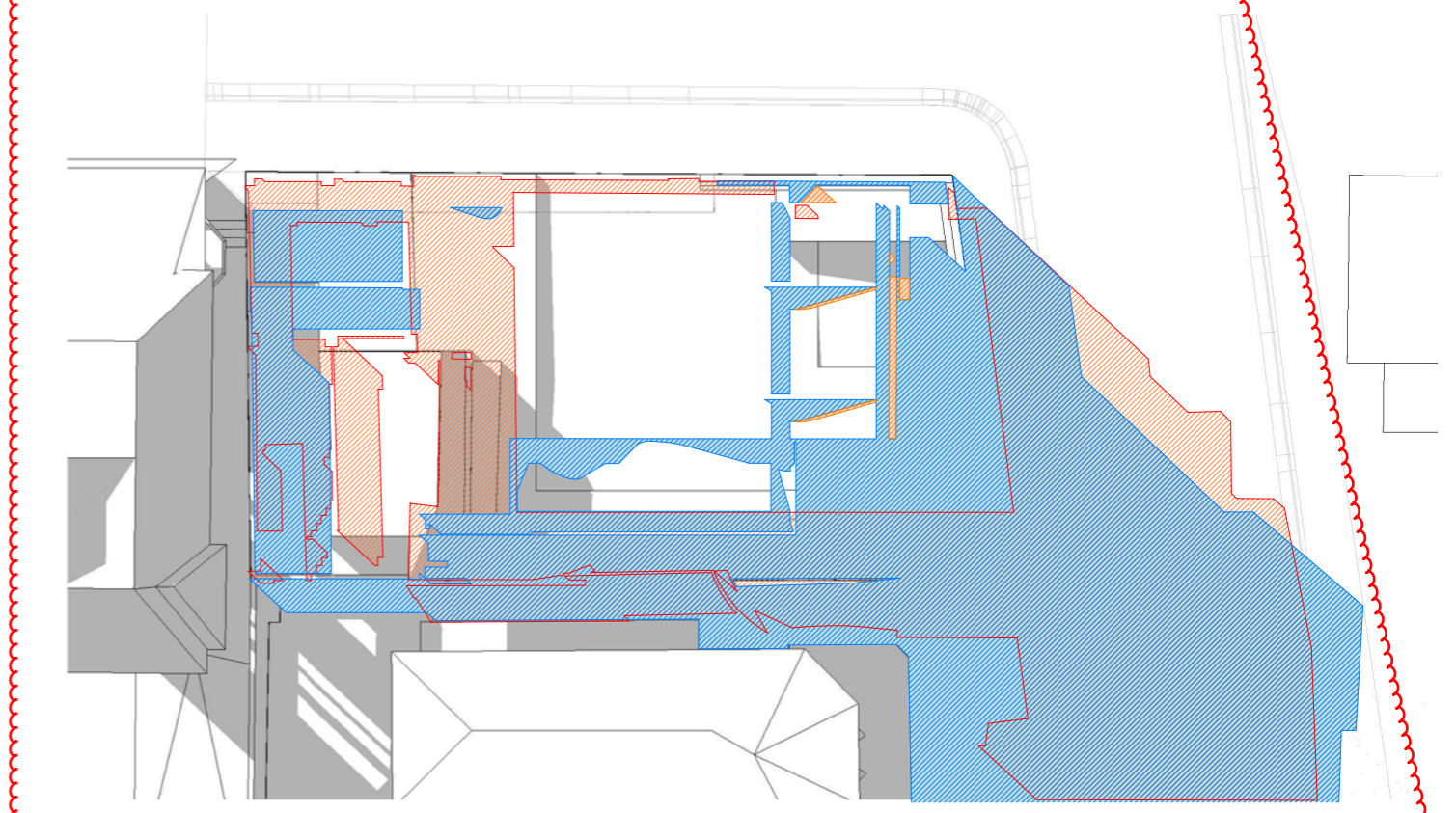
- SHADOW BY EXISTING BUILDING
- SHADOW BY PROPOSED DESIGN
- SHADOW REDUCED BY PROPOSED DESIGN
- SHADOW BY NEIGHBOURING BUILDING
- SHADOW INCREASE BETWEEN LATEST PROPOSED AND PREVIOUSLY SUBMITTED

2 Shadow Winter 1pm Proposed  
Scale 1 : 250

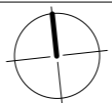
200mm



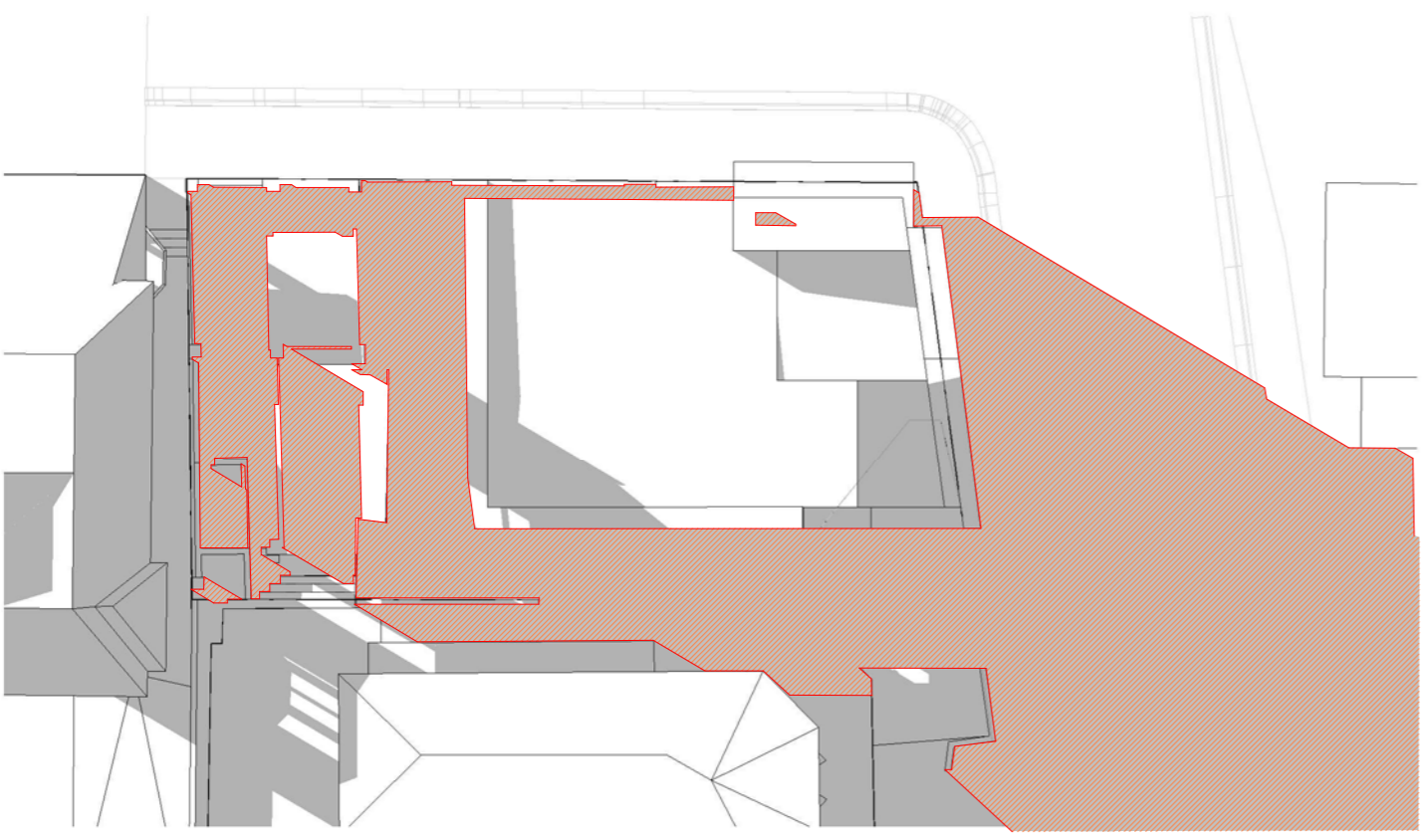
3 Shadow Winter 2pm Existing  
Scale 1 : 250



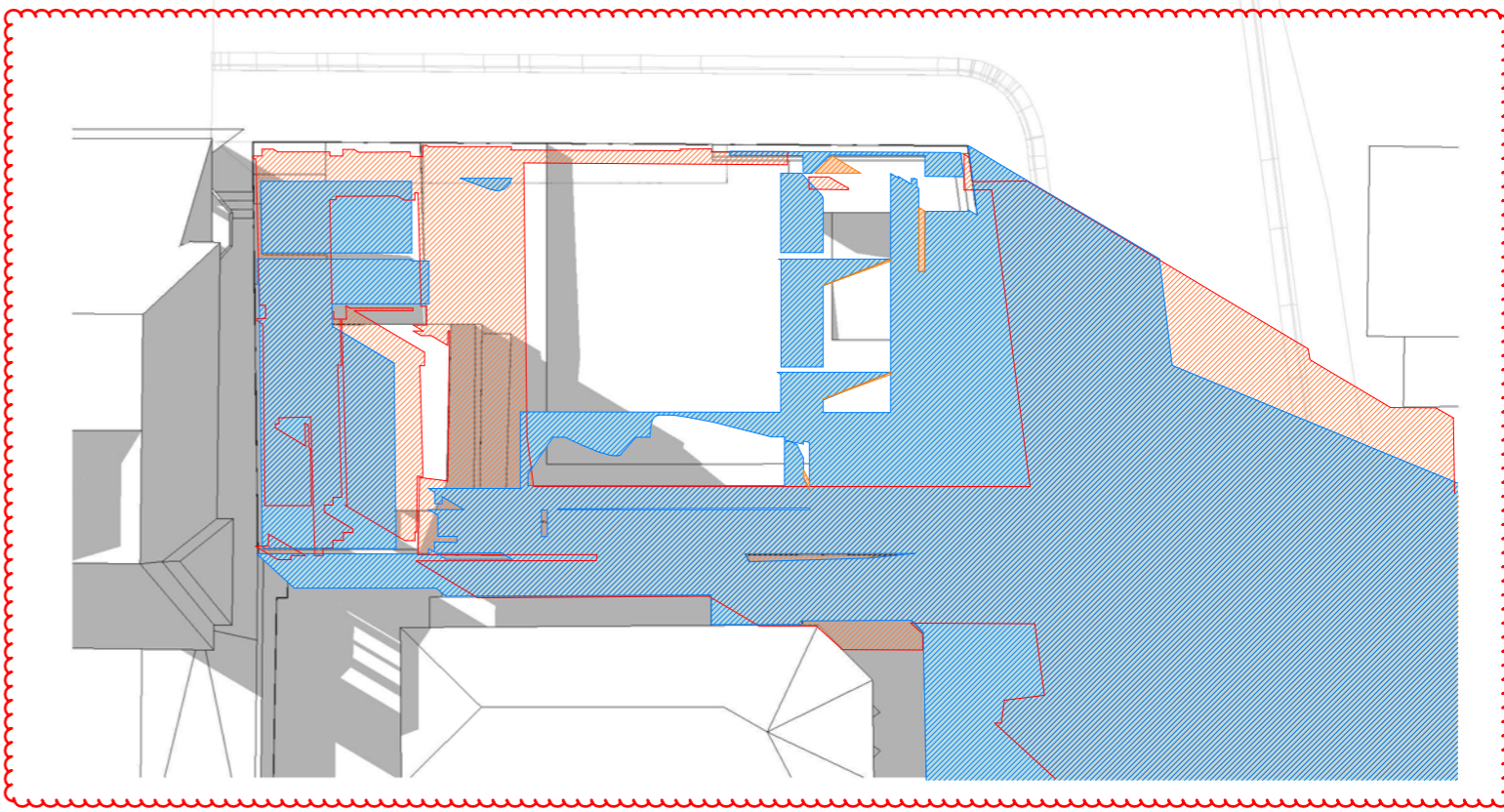
4 Shadow Winter 2pm Proposed  
Scale 1 : 250

<table border="1"> <thead> <tr> <th>Date</th> <th>Rev</th> <th>Issue</th> </tr> </thead> <tbody> <tr> <td>03.11.2021</td> <td>C</td> <td>Issue for DA</td> </tr> <tr> <td>13.12.2021</td> <td>D</td> <td>Issue for DA</td> </tr> <tr> <td>10.01.2022</td> <td>E</td> <td>Issue for DA</td> </tr> </tbody> </table>			Date	Rev	Issue	03.11.2021	C	Issue for DA	13.12.2021	D	Issue for DA	10.01.2022	E	Issue for DA			CLIENT <b>MB</b>	ARCHITECTURE <i>Saville Isaacs</i>			PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996			TITLE Shadows_Winter 1pm-2pm JOB No. DRAWING No. 2024 DA-303			REV. <b>E</b>
Date	Rev	Issue																									
03.11.2021	C	Issue for DA																									
13.12.2021	D	Issue for DA																									
10.01.2022	E	Issue for DA																									
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>		<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>		<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>			<small>PROJECT DATE ISSUED DATE SCALE @ A3: STATUS JAN 08 10.01.2022 1 : 250 DA ISSUE</small>																	

100mm



1 Shadow Winter 3pm Existing  
Scale 1 : 250



2 Shadow Winter 3pm Proposed  
Scale 1 : 250

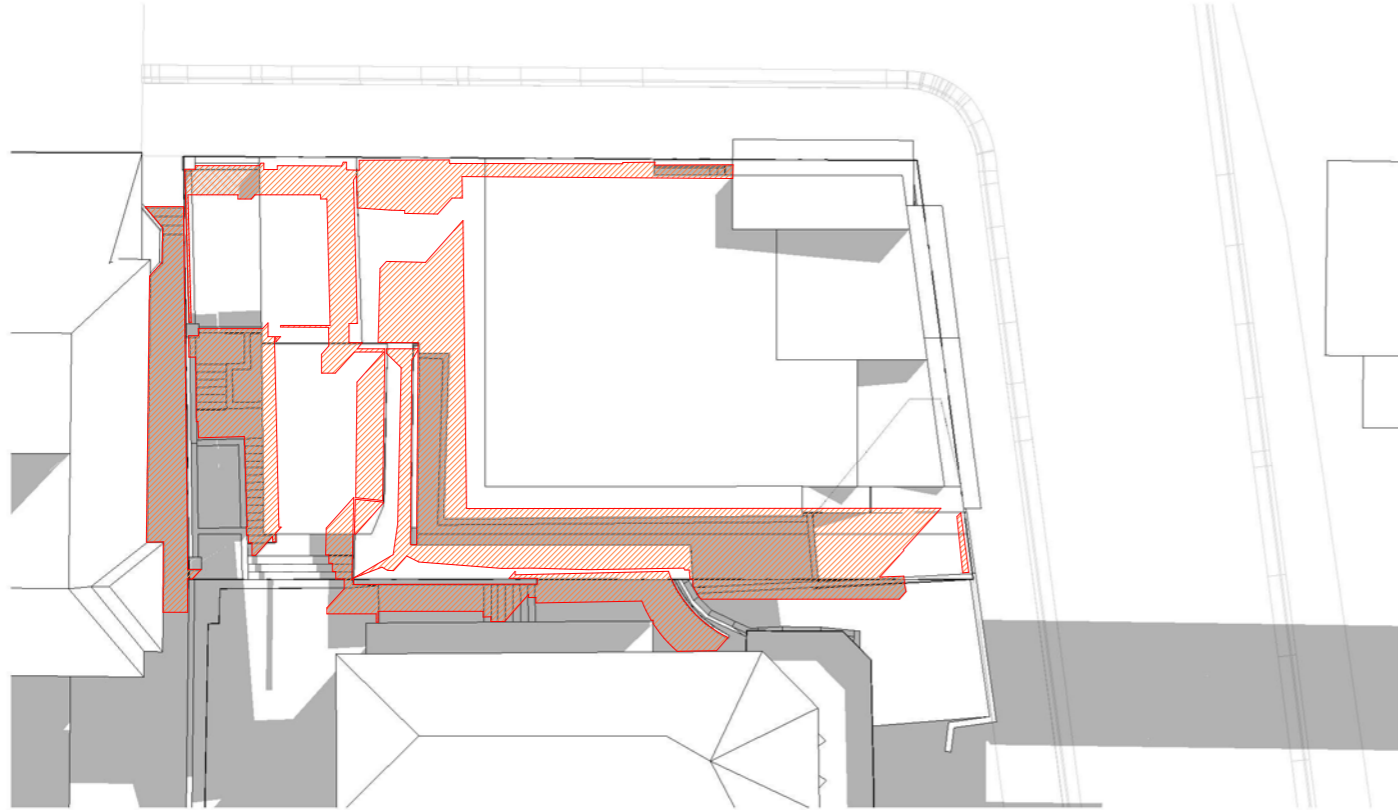
**KEY**

- SHADOW BY EXISTING BUILDING
- SHADOW BY PROPOSED DESIGN
- SHADOW REDUCED BY PROPOSED DESIGN
- SHADOW BY NEIGHBOURING BUILDING
- SHADOW INCREASE BETWEEN LATEST PROPOSED AND PREVIOUSLY SUBMITTED

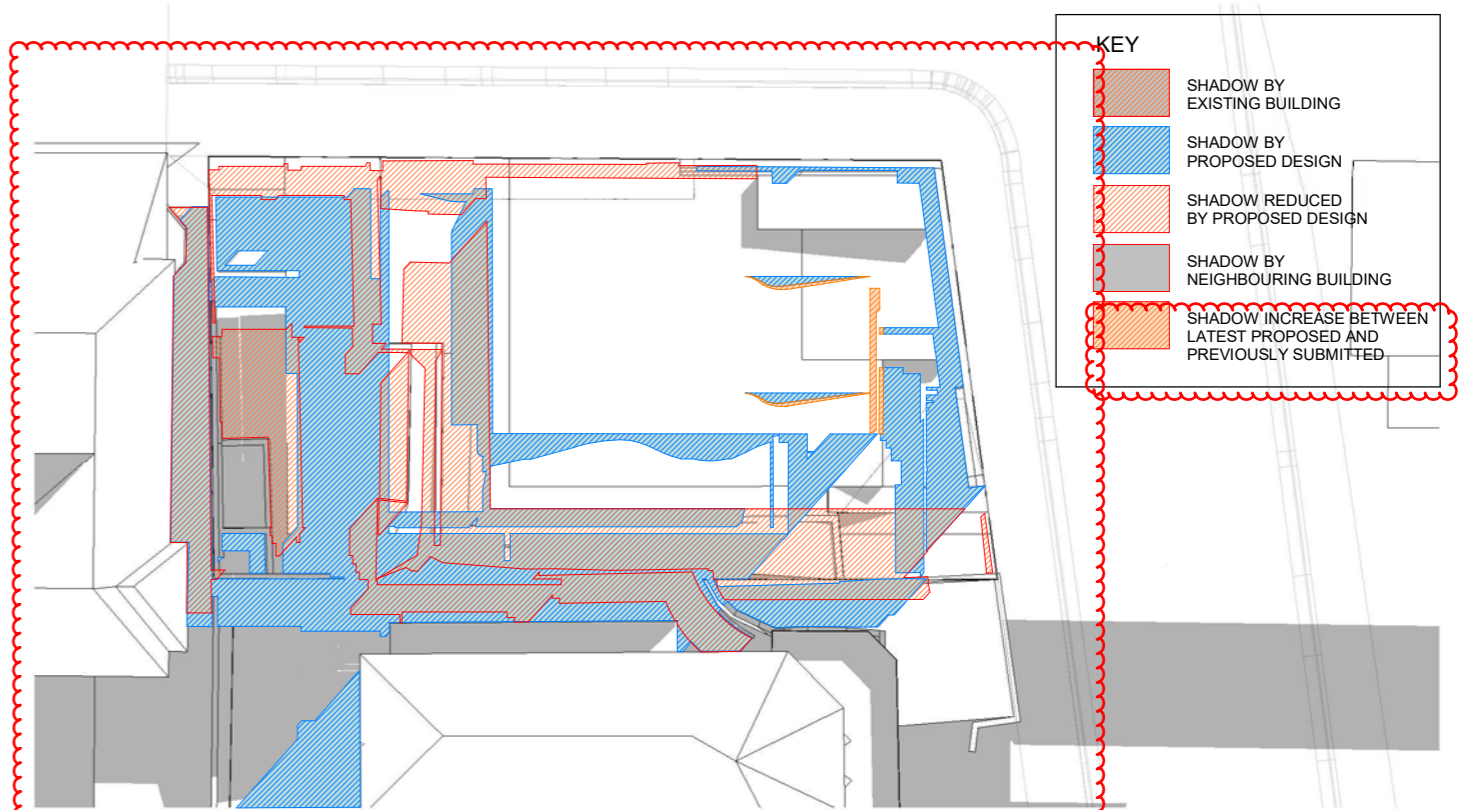
200mm

<b>Date</b>	<b>Rev</b>	<b>Issue</b>			<b>CLIENT</b>		<b>PROJECT</b>	<b>TITLE</b>		
03.11.2021	C	Issue for DA			MB		21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	Shadows_Winter 3pm		
13.12.2021	D	Issue for DA						JOB No. 2024		
10.01.2022	E	Issue for DA						DRAWING No. DA-304		
							PROJECT DATE	ISSUED DATE	SCALE @ A3:	STATUS
							JAN 08	10.01.2022	1 : 250	DA ISSUE
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>					










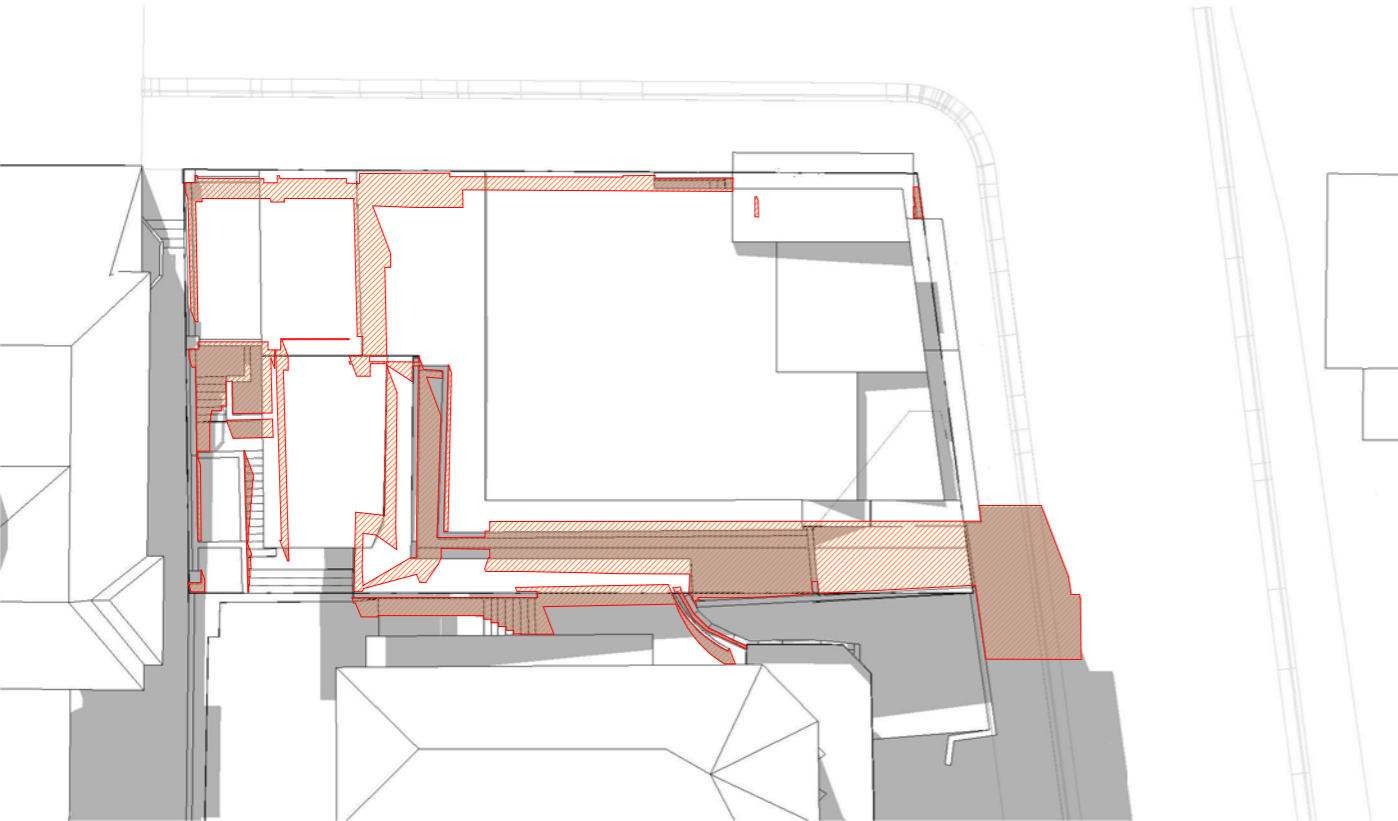
1 Shadow Equinox 9am Existing  
Scale 1 : 250



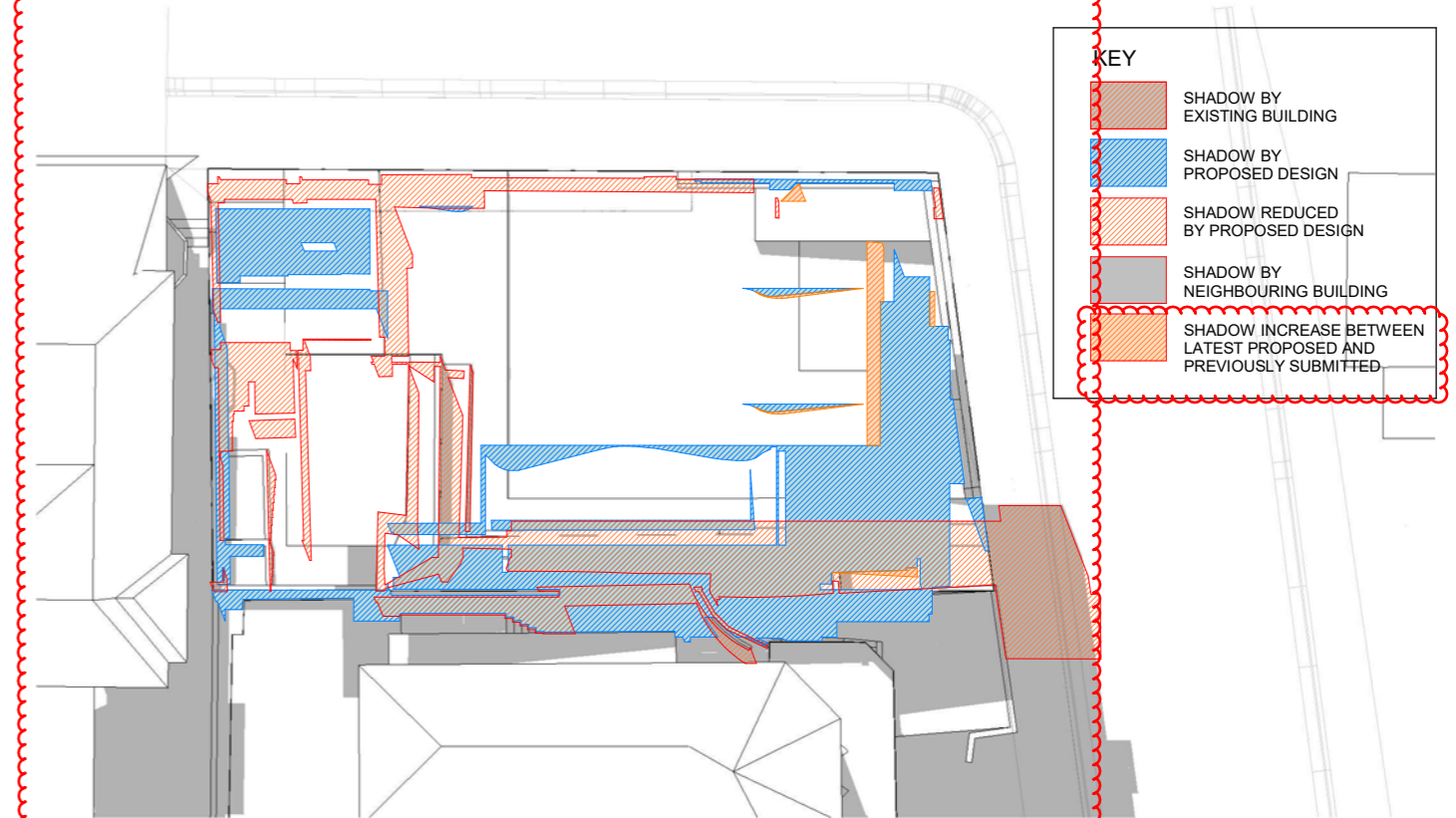
2 Shadow Equinox 9am Proposed  
Scale 1 : 250

**KEY**

-  SHADOW BY EXISTING BUILDING
-  SHADOW BY PROPOSED DESIGN
-  SHADOW REDUCED BY PROPOSED DESIGN
-  SHADOW BY NEIGHBOURING BUILDING
-  SHADOW INCREASE BETWEEN LATEST PROPOSED AND PREVIOUSLY SUBMITTED








3 Shadow Equinox 12pm Existing  
Scale 1 : 250

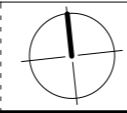


4 Shadow Equinox 12pm Proposed  
Scale 1 : 250

**KEY**

-  SHADOW BY EXISTING BUILDING
-  SHADOW BY PROPOSED DESIGN
-  SHADOW REDUCED BY PROPOSED DESIGN
-  SHADOW BY NEIGHBOURING BUILDING
-  SHADOW INCREASE BETWEEN LATEST PROPOSED AND PREVIOUSLY SUBMITTED

Date	Rev	Issue
03.11.2021	C	Issue for DA
13.12.2021	D	Issue for DA
10.01.2022	E	Issue for DA



CLIENT  
MB

ARCHITECTURE *Saville Isaacs*

PROJECT  
21 King George St  
LAVENDER BAY, NSW 2060  
LOT 7 DP 520996

TITLE  
Shadows\_Equinox 9am / 12pm  
JOB No. 2024  
DRAWING No. DA-305  
REV. E

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23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT DATE  
JAN 08

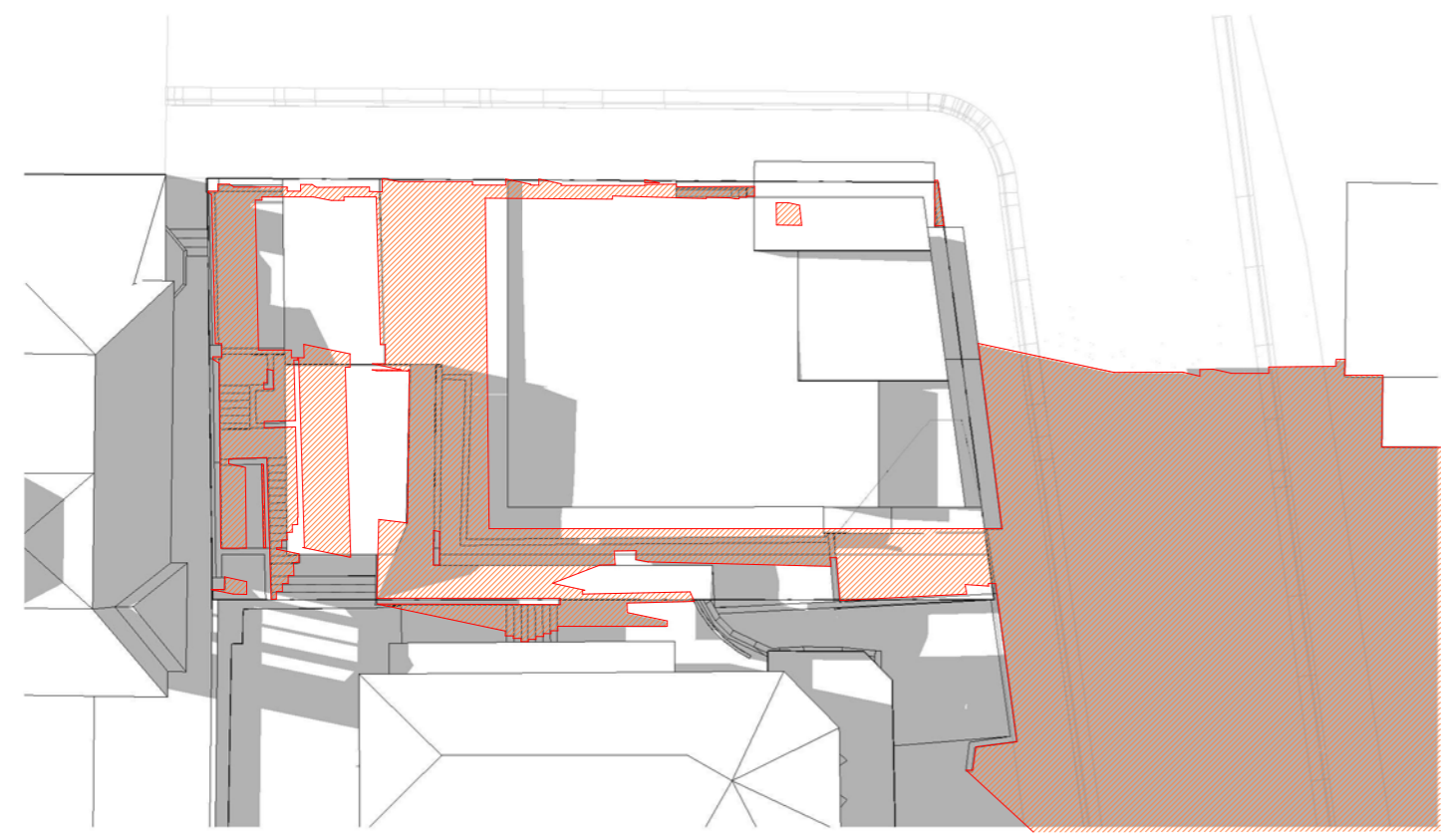
ISSUED DATE  
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SCALE @ A3:  
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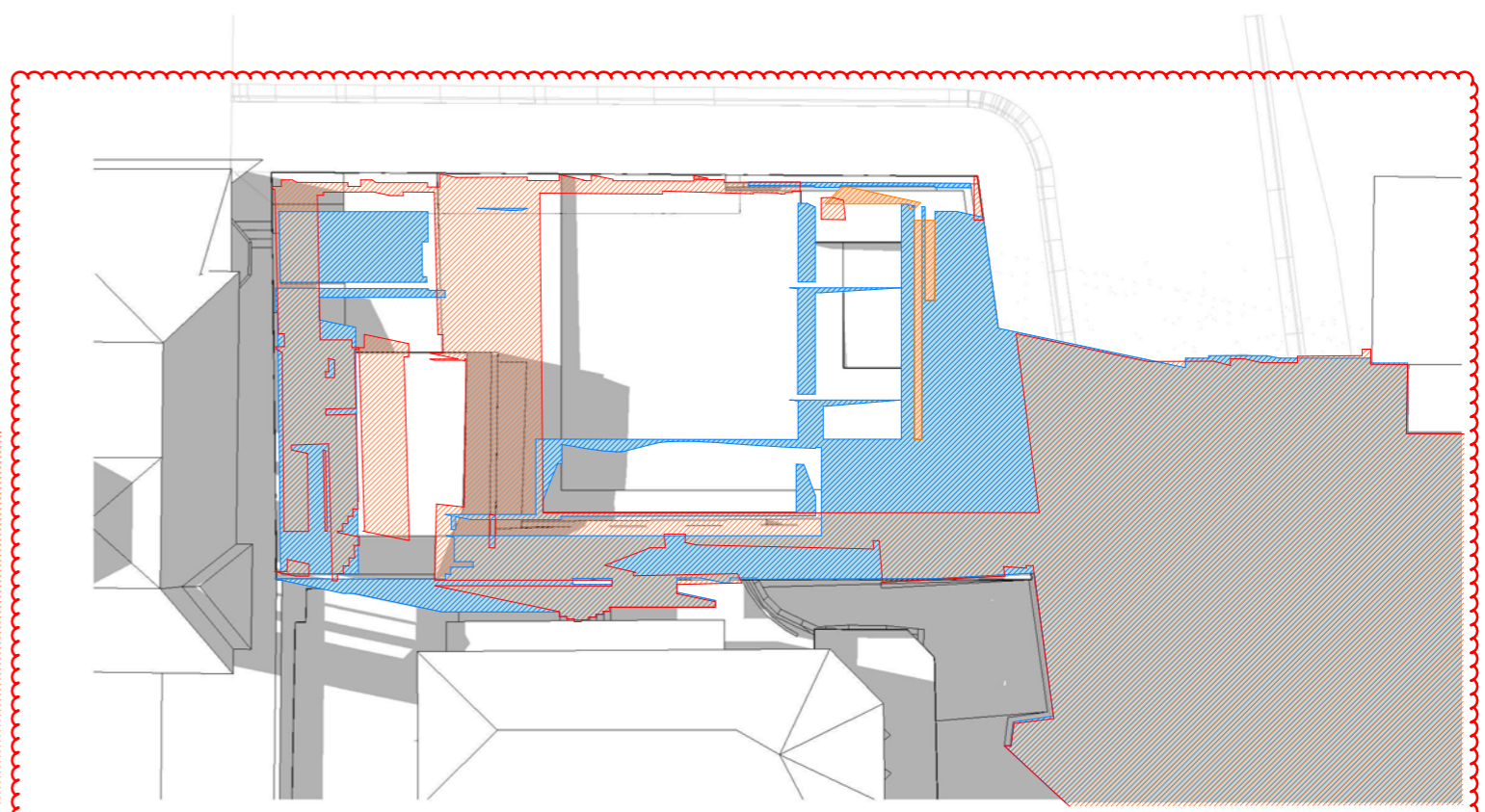
STATUS  
DA ISSUE



100mm








① **Shadow Equinox 3pm Existing**  
Scale 1 : 250

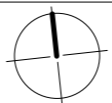
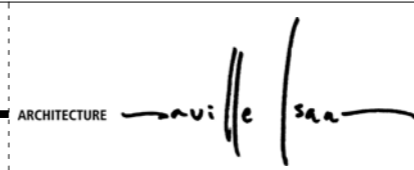


② **Shadow Equinox 3pm Proposed**  
Scale 1 : 250

**KEY**

-  SHADOW BY EXISTING BUILDING
-  SHADOW BY PROPOSED DESIGN
-  SHADOW REDUCED BY PROPOSED DESIGN
-  SHADOW BY NEIGHBOURING BUILDING
-  SHADOW INCREASE BETWEEN LATEST PROPOSED AND PREVIOUSLY SUBMITTED

200mm

<table border="1"> <thead> <tr> <th>Date</th> <th>Rev</th> <th>Issue</th> </tr> </thead> <tbody> <tr> <td>03.11.2021</td> <td>C</td> <td>Issue for DA</td> </tr> <tr> <td>13.12.2021</td> <td>D</td> <td>Issue for DA</td> </tr> <tr> <td>10.01.2022</td> <td>E</td> <td>Issue for DA</td> </tr> </tbody> </table>			Date	Rev	Issue	03.11.2021	C	Issue for DA	13.12.2021	D	Issue for DA	10.01.2022	E	Issue for DA			<p>CLIENT <b>MB</b></p>				<p>PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996</p>		<p>TITLE <b>Shadows_Equinox 3pm</b> JOB No. <b>2024</b> DRAWING No. <b>DA-306</b> REV. <b>E</b></p>	
Date	Rev	Issue																						
03.11.2021	C	Issue for DA																						
13.12.2021	D	Issue for DA																						
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<p><small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small></p>			<p>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</p>		<p>P: 02 - 9086 9000 F: 02 - 9086 9001</p>		<p>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</p>		<p>PROJECT DATE <b>JAN 08</b> ISSUED DATE <b>10.01.2022</b> SCALE @ A3: <b>1 : 250</b></p>		<p>STATUS <b>DA ISSUE</b></p>													



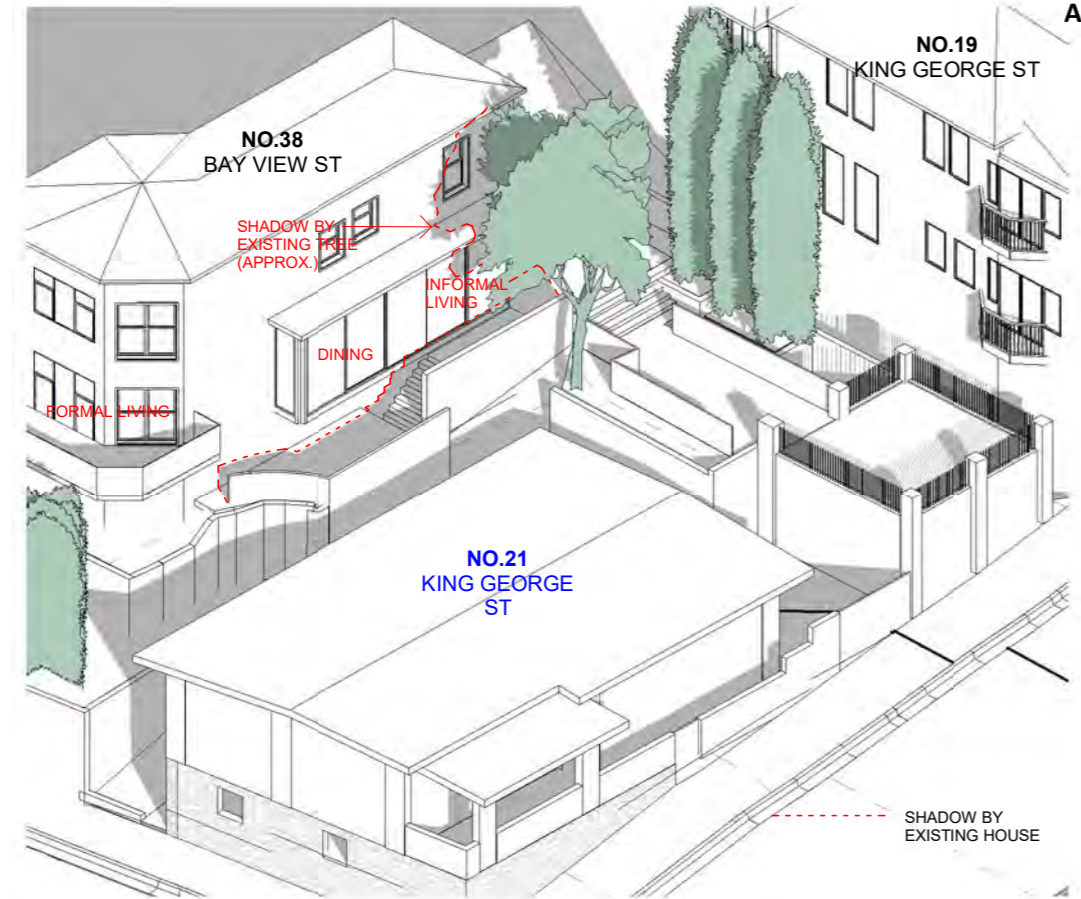
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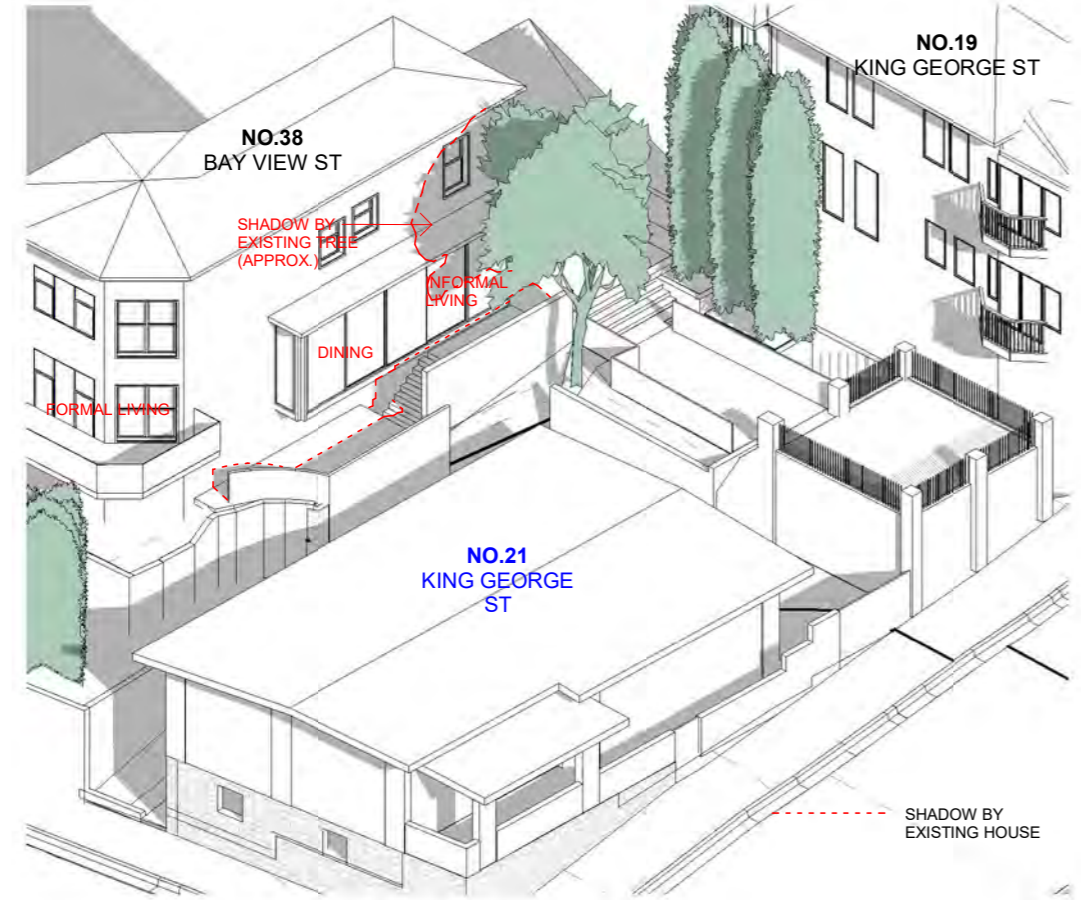
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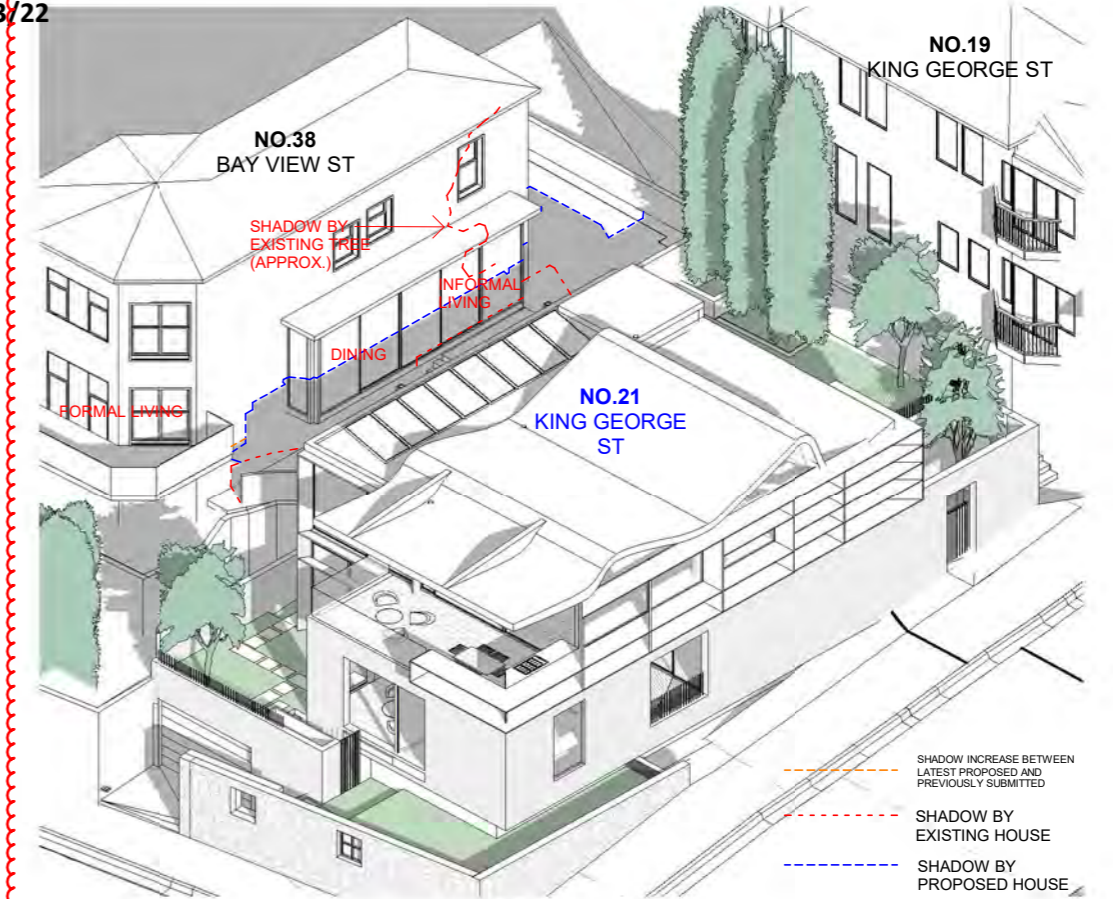
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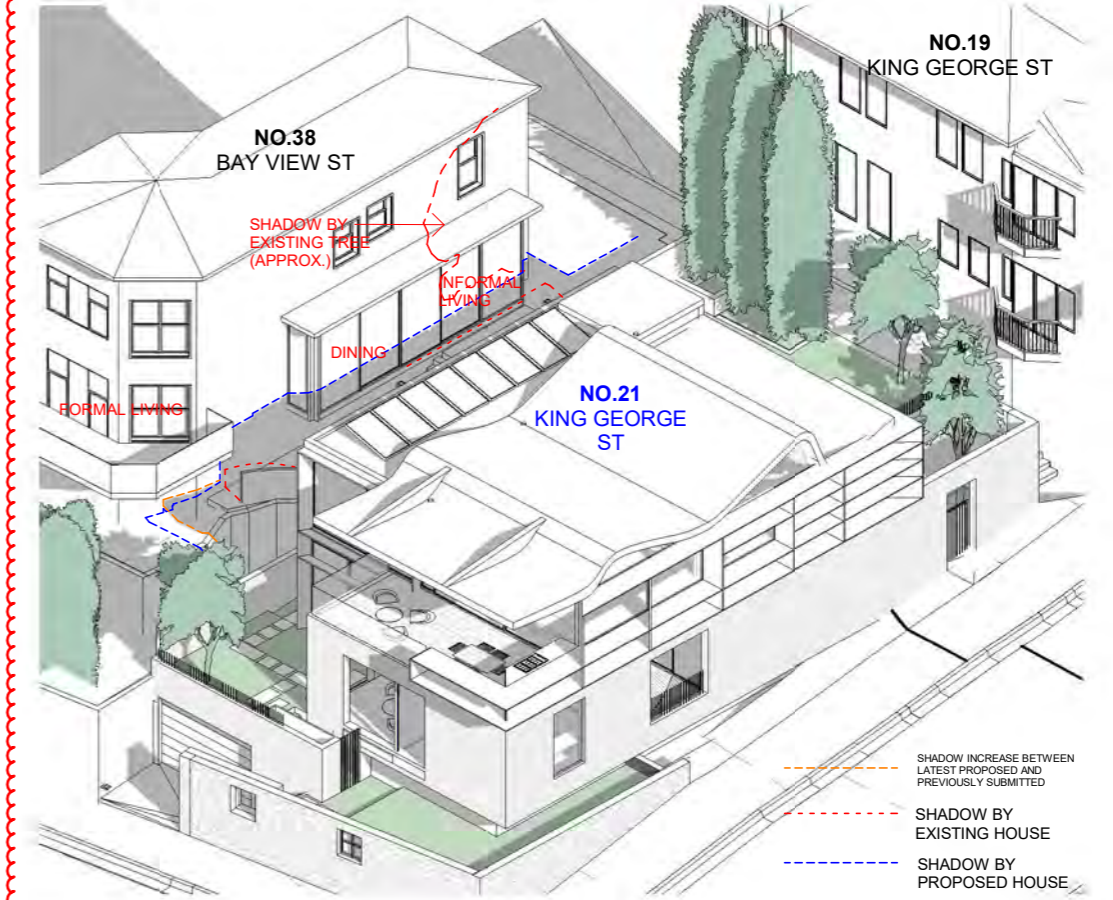
1 Shadow Impact Winter 9am Existing  
Scale



3 Shadow Impact Winter 10am Existing  
Scale



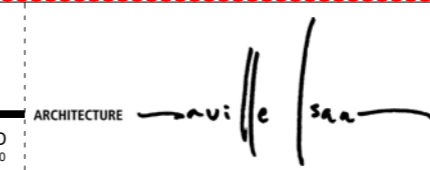
2 Shadow Impact Winter 9am Proposed  
Scale



4 Shadow Impact Winter 10am Proposed  
Scale

Date	Rev	Issue
29.10.2021	B	Issue for DA
13.12.2021	C	Issue for DA
10.01.2022	D	Issue for DA

CLIENT  
MB



PROJECT  
21 King George St  
LAVENDER BAY, NSW 2060  
LOT 7 DP 520996

TITLE  
Shadows\_Impact\_9am-10am  
JOB No. 2024  
DRAWING No. DA-310  
REV. D

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ABN: 79 124 014 759

P: 02 - 9086 9000  
F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

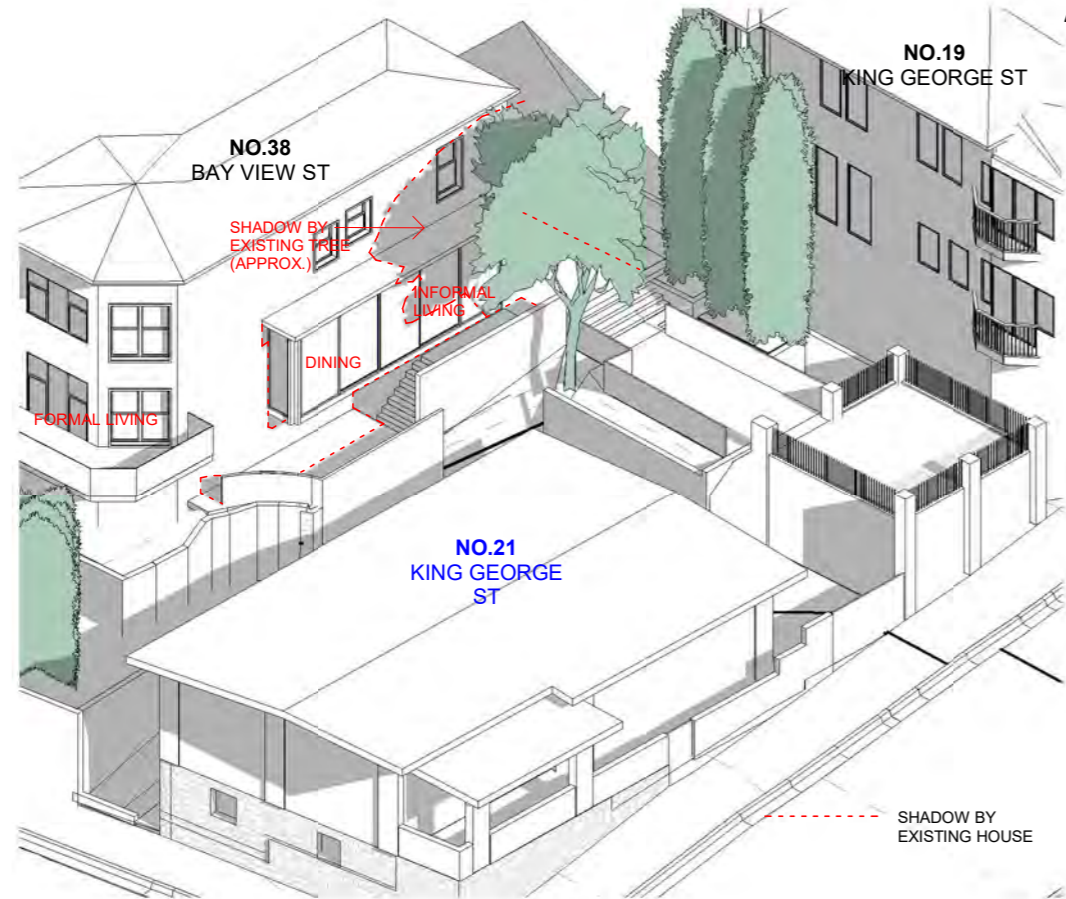
PROJECT DATE  
JAN 08

ISSUED DATE  
10.01.2022

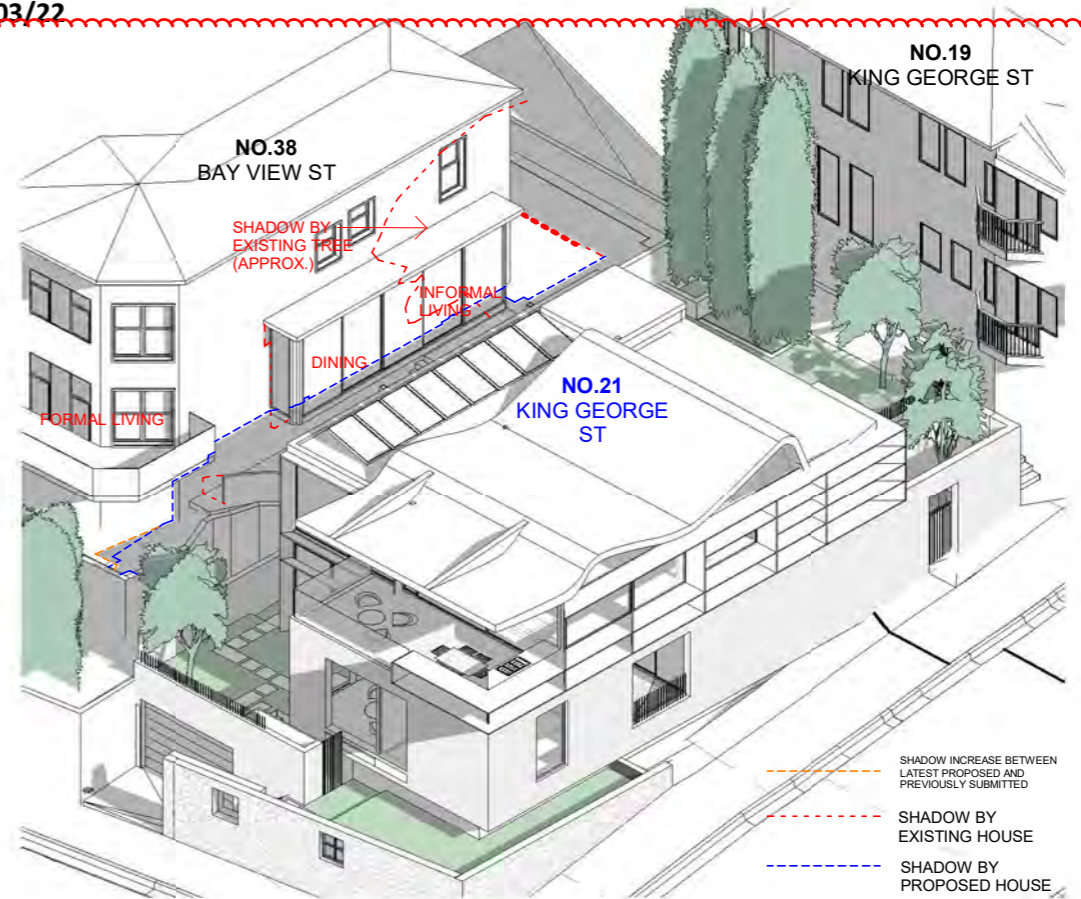
SCALE @ A3:  
1 : 250

STATUS  
DA ISSUE

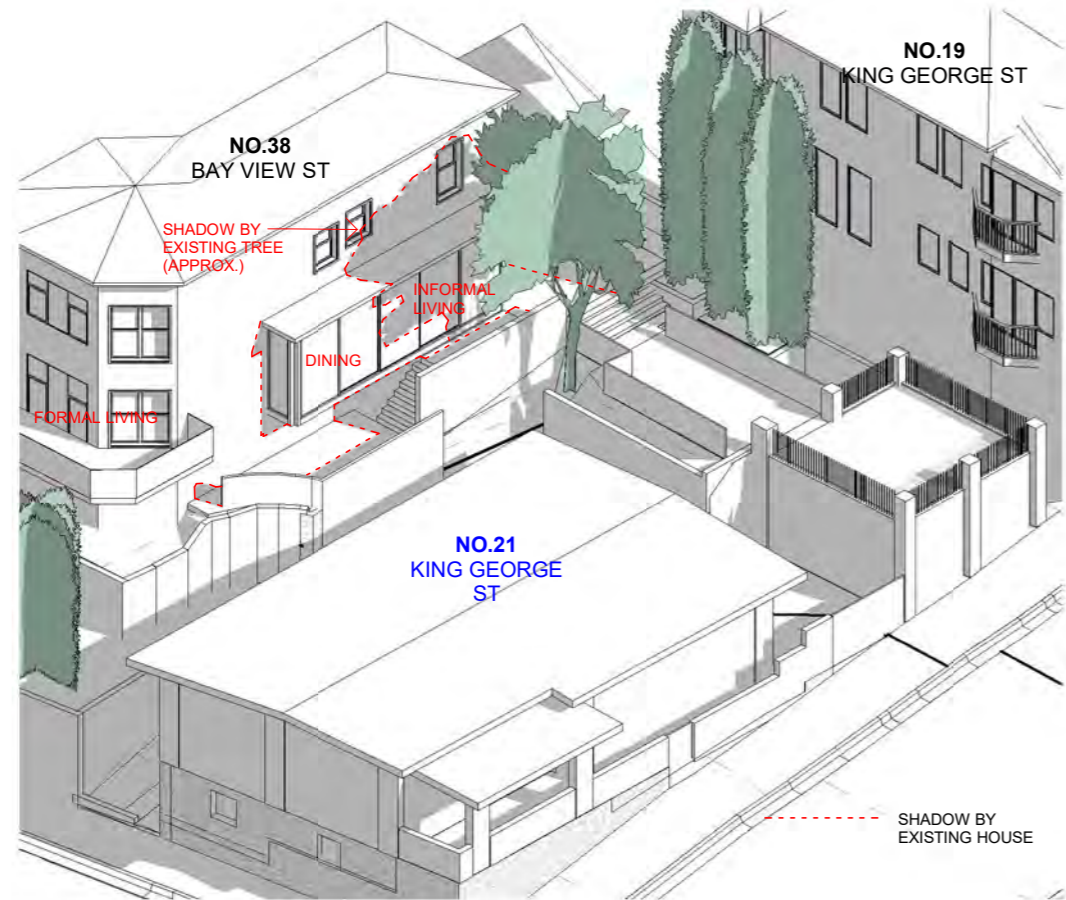




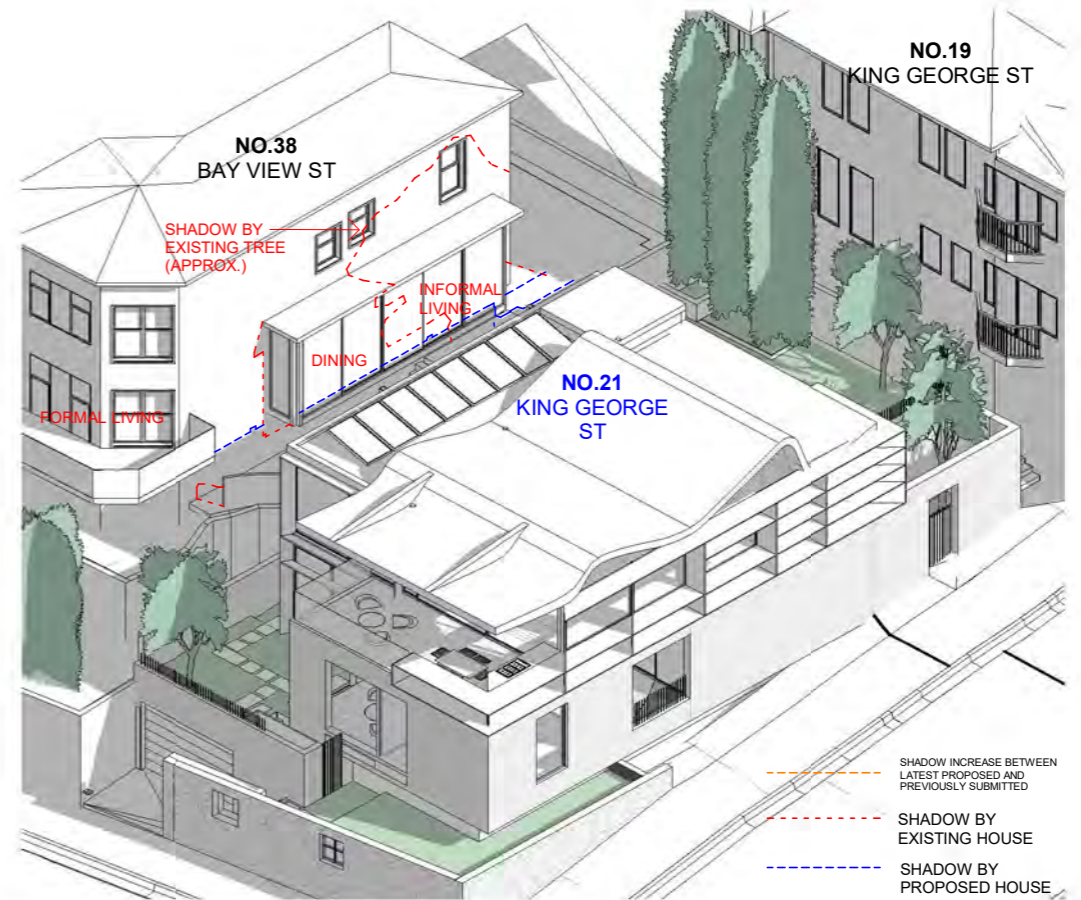
1 Shadow Impact Winter 11am Existing  
Scale



2 Shadow Impact Winter 11am Proposed  
Scale



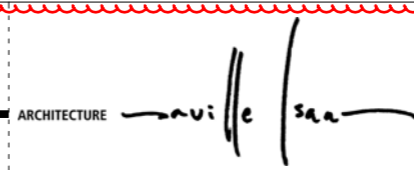
3 Shadow Impact Winter 12pm Existing  
Scale



4 Shadow Impact Winter 12pm Proposed  
Scale

Date	Rev	Issue
29.10.2021	B	Issue for DA
13.12.2021	C	Issue for DA
10.01.2022	D	Issue for DA

CLIENT  
MB



PROJECT  
21 King George St  
LAVENDER BAY, NSW 2060  
LOT 7 DP 520996

TITLE  
Shadows\_Impact\_11am-12pm  
JOB No. 2024  
DRAWING No. DA-311  
REV. D

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F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

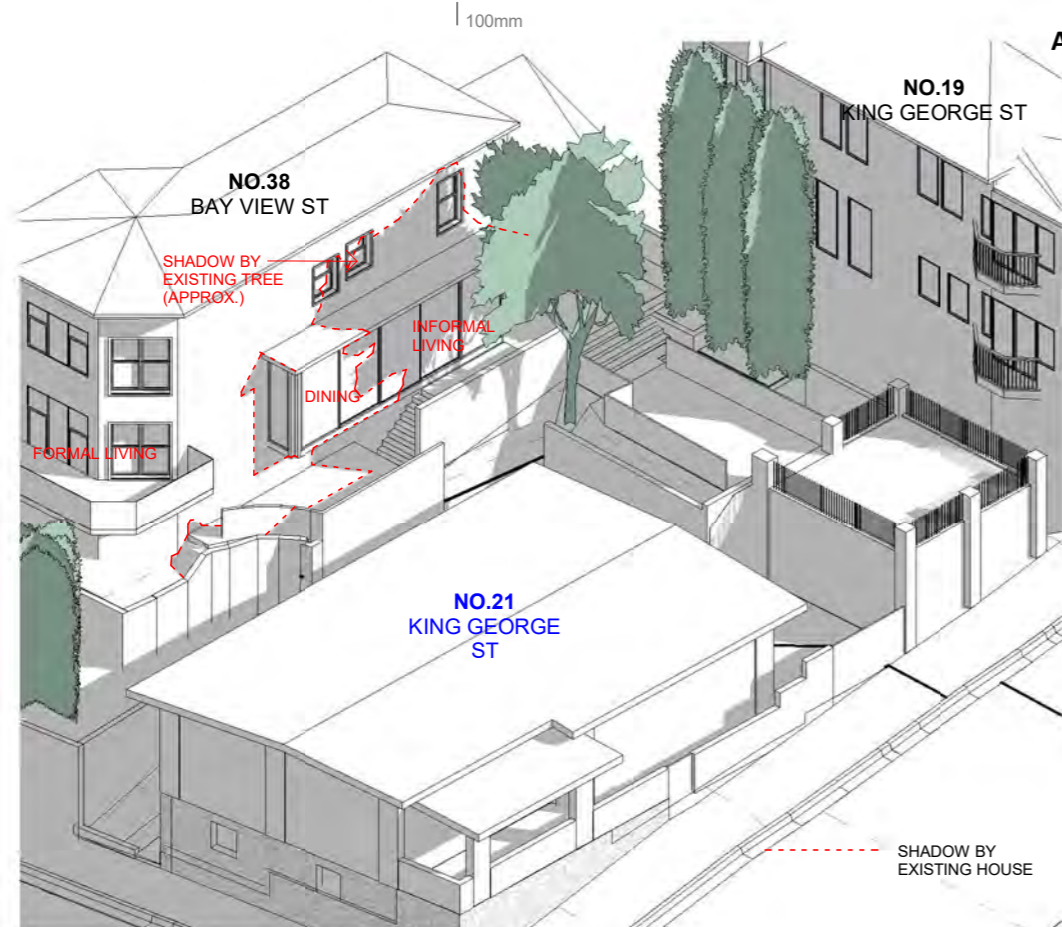
PROJECT DATE  
JAN 08

ISSUED DATE  
10.01.2022

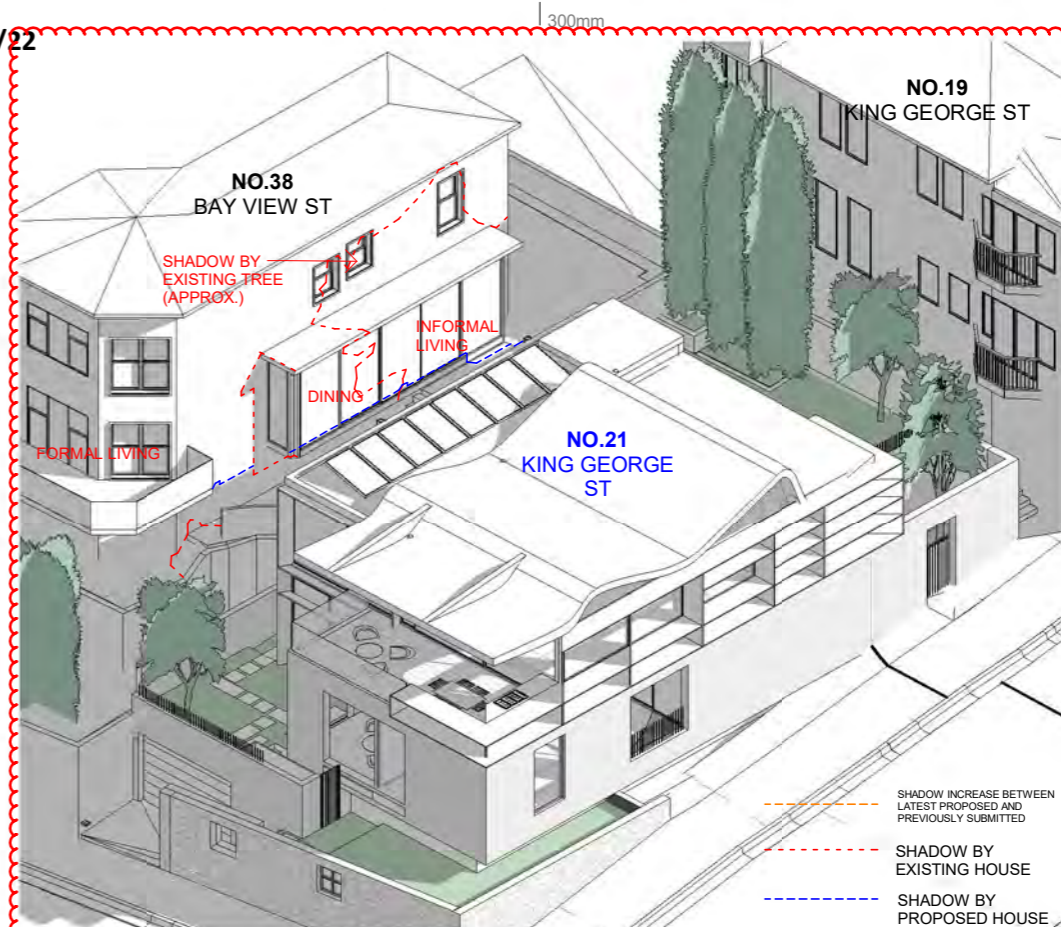
SCALE @ A3:  
1 : 250

STATUS  
DA ISSUE

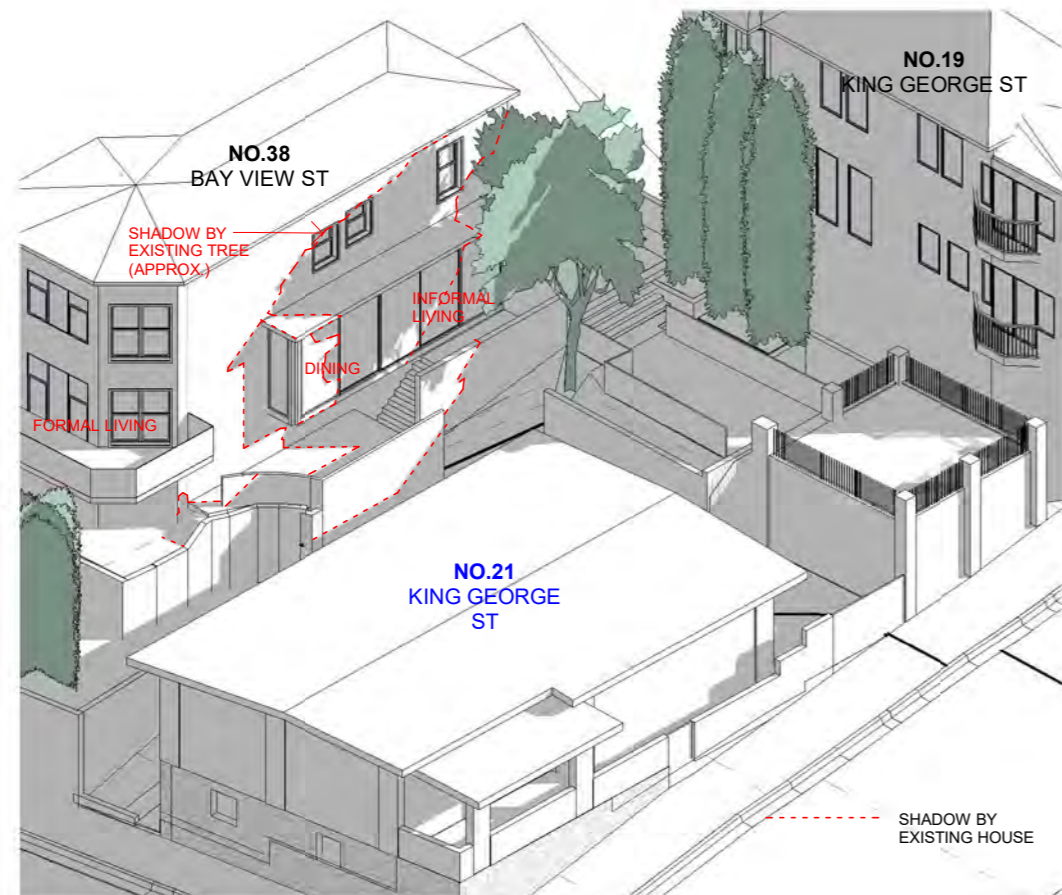




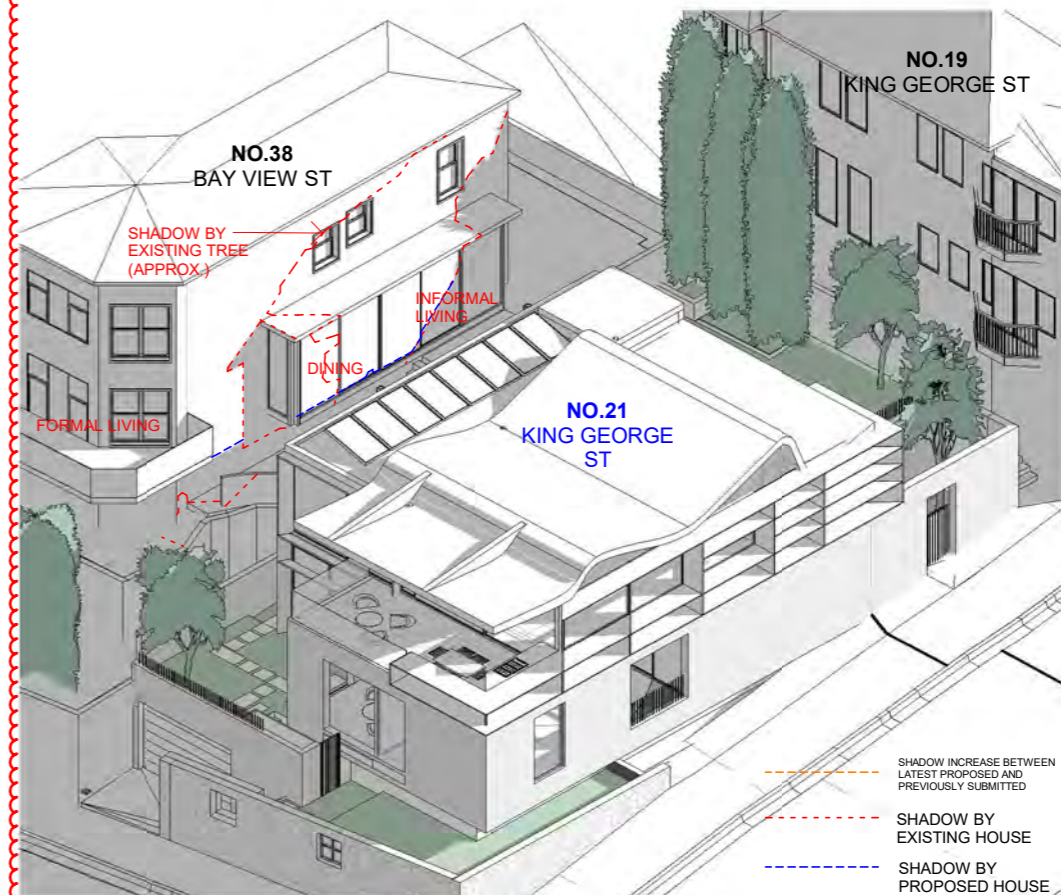
1 Shadow Impact Winter 1pm Existing  
Scale



2 Shadow Impact Winter 1pm Proposed  
Scale



3 Shadow Impact Winter 2pm Existing  
Scale



4 Shadow Impact Winter 2pm Proposed  
Scale

Date	Rev	Issue
29.10.2021	B	Issue for DA
13.12.2021	C	Issue for DA
10.01.2022	D	Issue for DA

CLIENT  
MB

ARCHITECTURE *Saville Isaacs*

PROJECT  
21 King George St  
LAVENDER BAY, NSW 2060  
LOT 7 DP 520996

TITLE  
Shadows\_Impact\_1pm-2pm  
JOB No. 2024  
DRAWING No. DA-312  
REV. D

The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project

NSW Nominated Architects: S. ISAACS #7929  
ABN: 79 124 014 759

P: 02 - 9086 9000  
F: 02 - 9086 9001

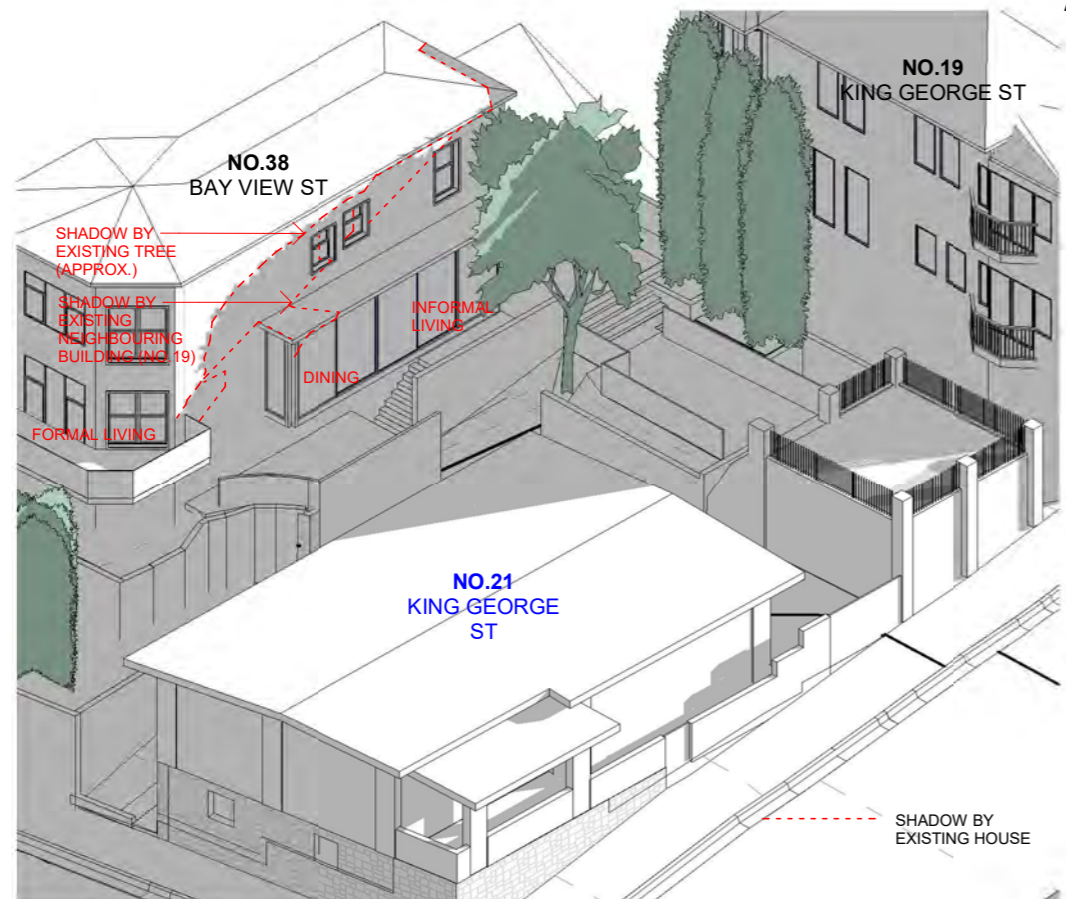
ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT DATE JAN 08  
ISSUED DATE 10.01.2022

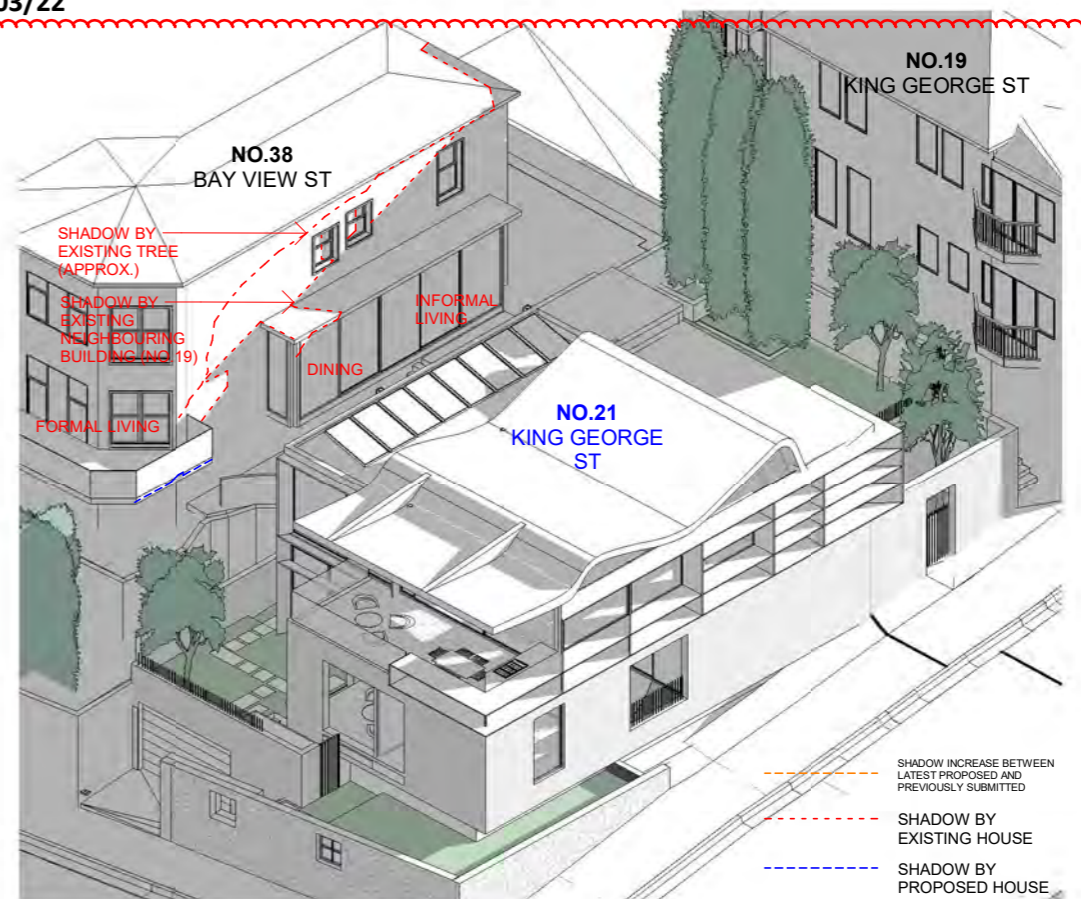
SCALE @ A3:  
1 : 250

STATUS  
DA ISSUE





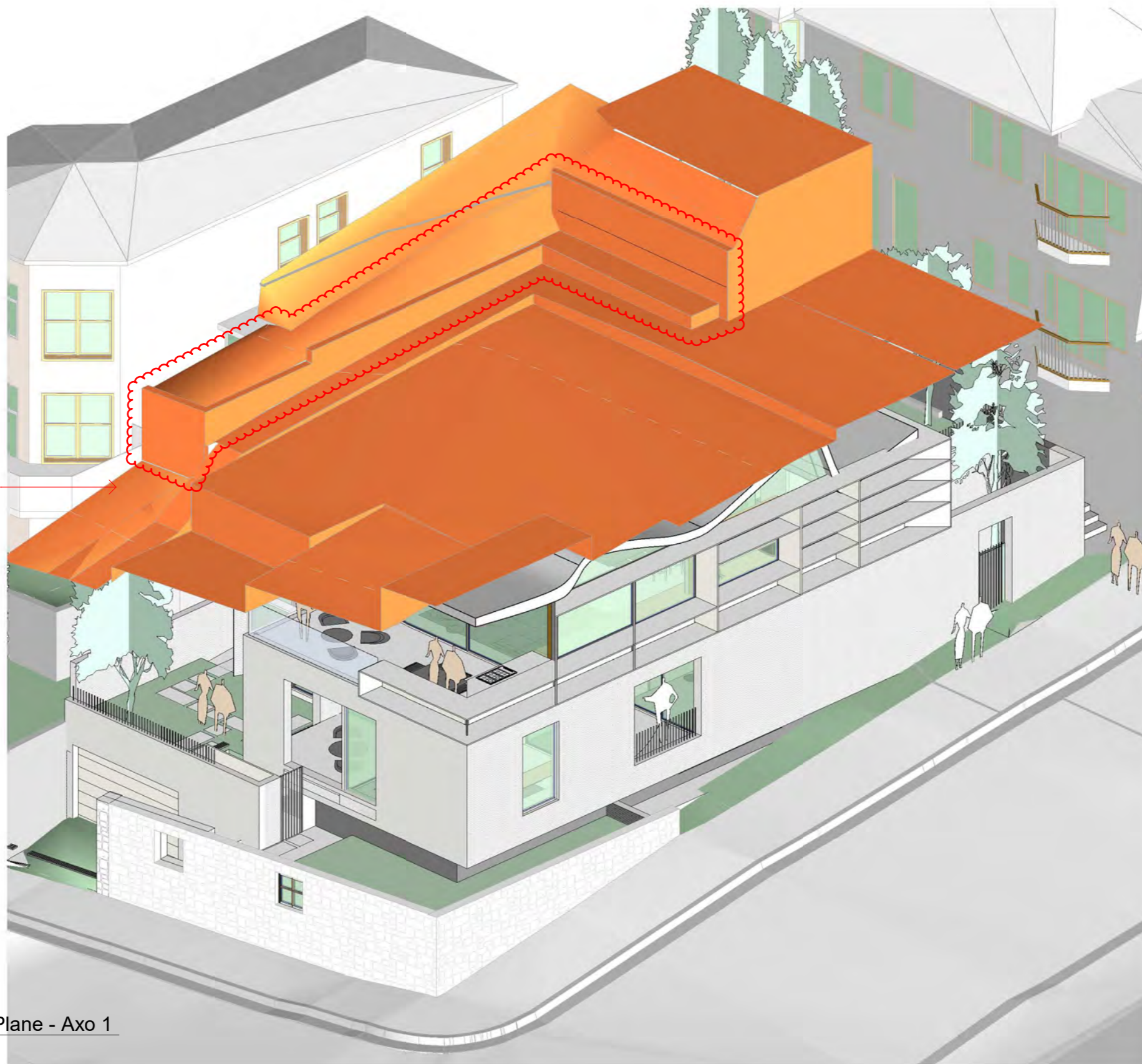
1 Shadow Impact Winter 3pm Existing  
Scale



2 Shadow Impact Winter 3pm Proposed  
Scale

Date	Rev	Issue	CLIENT	PROJECT	TITLE				
09.06.2021	A	Issue for DA	MB	21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	Shadows_Impact_3pm				
29.10.2021	B	Issue for DA			JOB No. 2024	DRAWING No. DA-313			
10.01.2022	C	Issue for DA			ARCHITECTURE <i>Saville Isaacs</i>	STATUS DA ISSUE			
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>PROJECT DATE JAN 08</small>	<small>ISSUED DATE 10.01.2022</small>	<small>SCALE @ A3: 1 : 250</small>	<small>REV. C</small>



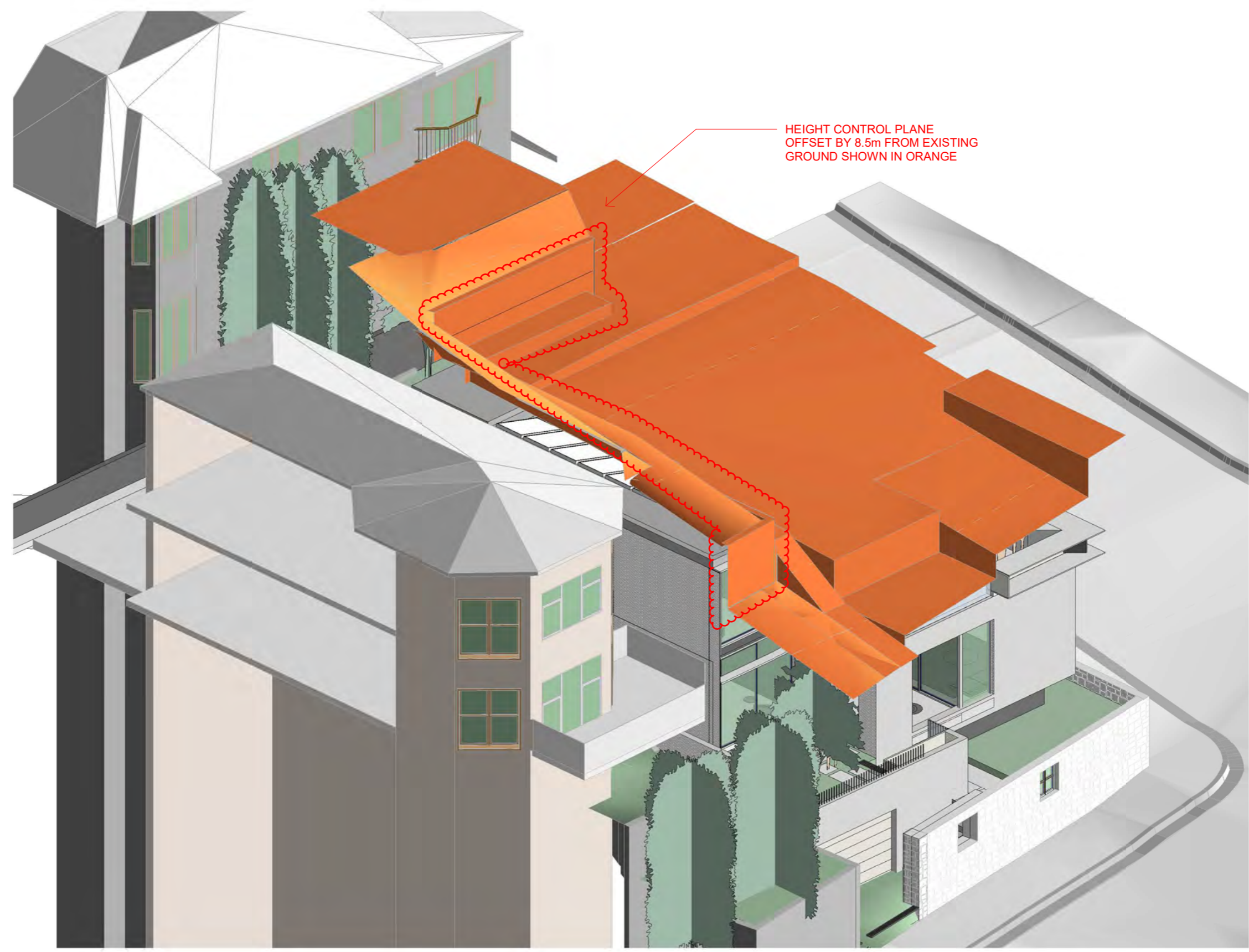


HEIGHT CONTROL PLANE  
OFFSET BY 8.5m FROM EXISTING  
GROUND SHOWN IN ORANGE

1 Building Height Plane - Axo 1  
Scale

<table border="1"> <thead> <tr> <th>Date</th> <th>Rev</th> <th>Issue</th> </tr> </thead> <tbody> <tr> <td>09.06.2021</td> <td>A</td> <td>Issue for DA</td> </tr> <tr> <td>13.12.2021</td> <td>B</td> <td>Issue for DA</td> </tr> <tr> <td>16.02.2022</td> <td>C</td> <td>Issue for DA</td> </tr> </tbody> </table>			Date	Rev	Issue	09.06.2021	A	Issue for DA	13.12.2021	B	Issue for DA	16.02.2022	C	Issue for DA	CLIENT MB		ARCHITECTURE <i>Saville Isaacs</i>			PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996		TITLE Max. 8.5m Height Plane Diagram 1	
Date	Rev	Issue																					
09.06.2021	A	Issue for DA																					
13.12.2021	B	Issue for DA																					
16.02.2022	C	Issue for DA																					
NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759			P: 02 - 9086 9000 F: 02 - 9086 9001		ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060			PROJECT DATE JAN 08		ISSUED DATE 16.02.2022		SCALE @ A3: STATUS DA ISSUE											
The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project																							

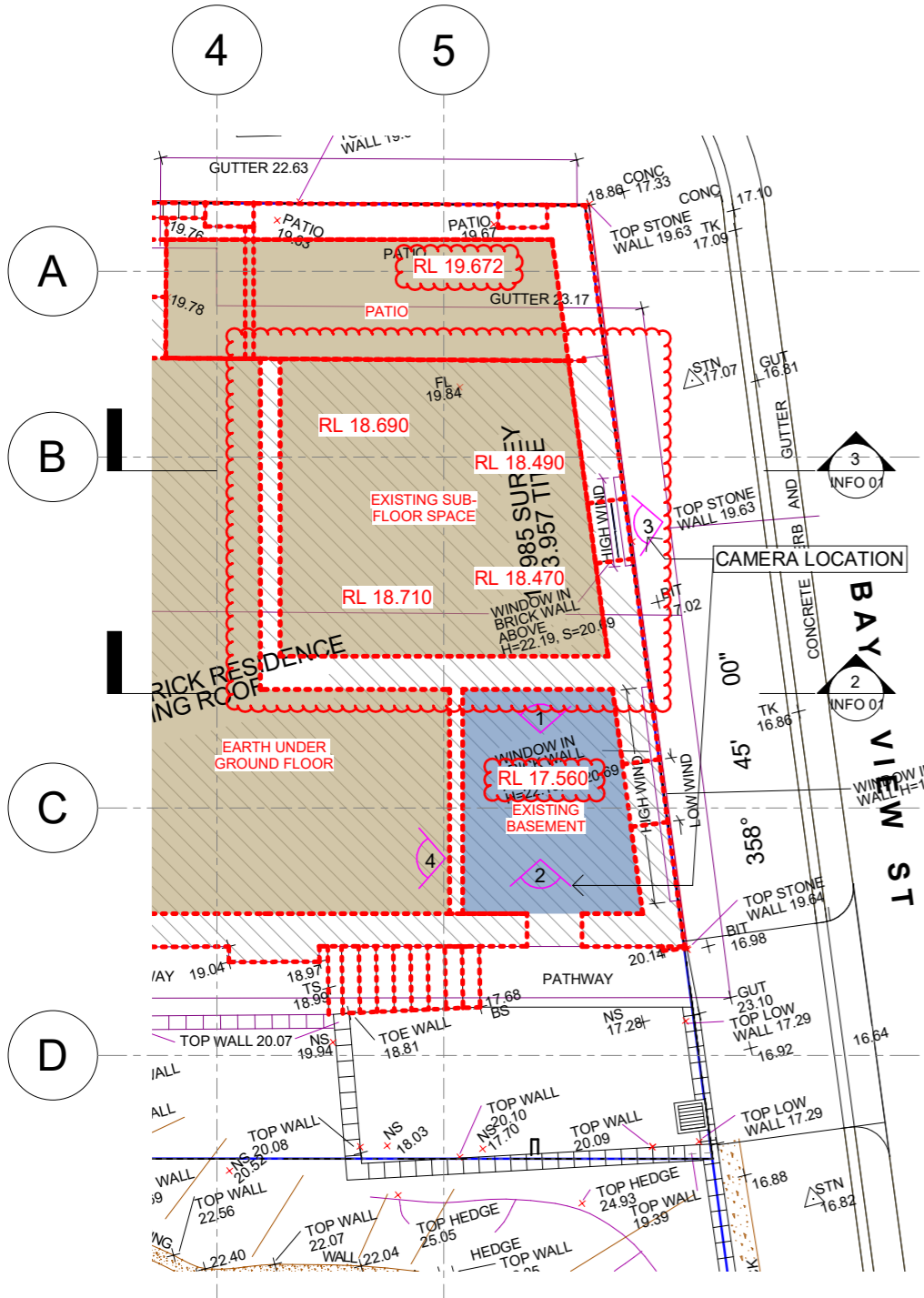




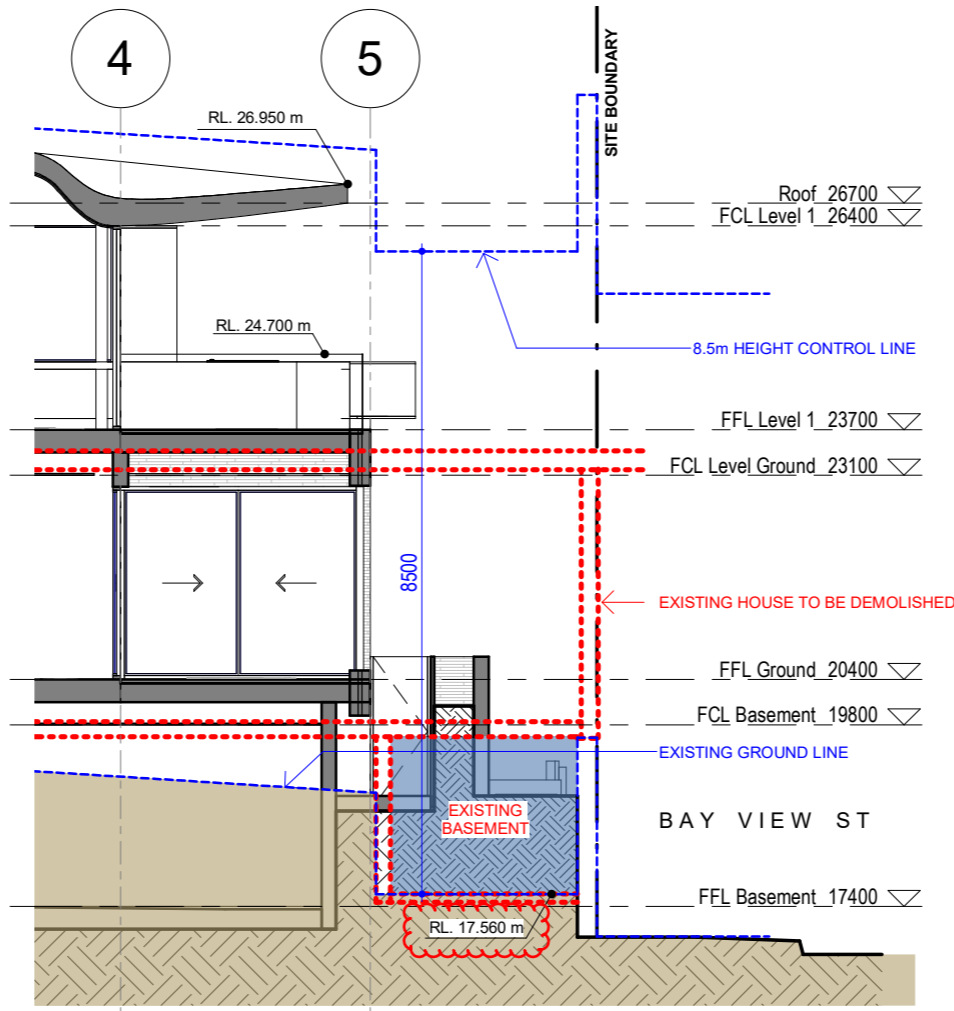
1 Building Height Plane - Axo 2  
Scale

<table border="1"> <thead> <tr> <th>Date</th> <th>Rev</th> <th>Issue</th> </tr> </thead> <tbody> <tr> <td>09.06.2021</td> <td>A</td> <td>Issue for DA</td> </tr> <tr> <td>13.12.2021</td> <td>B</td> <td>Issue for DA</td> </tr> <tr> <td>16.02.2022</td> <td>C</td> <td>Issue for DA</td> </tr> </tbody> </table>			Date	Rev	Issue	09.06.2021	A	Issue for DA	13.12.2021	B	Issue for DA	16.02.2022	C	Issue for DA	<p>CLIENT MB</p>		<p>PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996</p>			<p>TITLE Max. 8.5m Height Plane Diagram 2</p>		
Date	Rev	Issue																				
09.06.2021	A	Issue for DA																				
13.12.2021	B	Issue for DA																				
16.02.2022	C	Issue for DA																				
<p>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</p>			<p>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</p>		<p>P: 02 - 9086 9000 F: 02 - 9086 9001</p>		<p>ARCHITECTURE <i>Saville Isaacs</i></p>			<p>PROJECT DATE JAN 08</p>			<p>ISSUED DATE 16.02.2022</p>			<p>SCALE @ A3:</p>			<p>STATUS DA ISSUE</p>			
<p>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</p>						<p>JOB No. 2024</p>			<p>DRAWING No. DA-353</p>			<p>REV. C</p>										

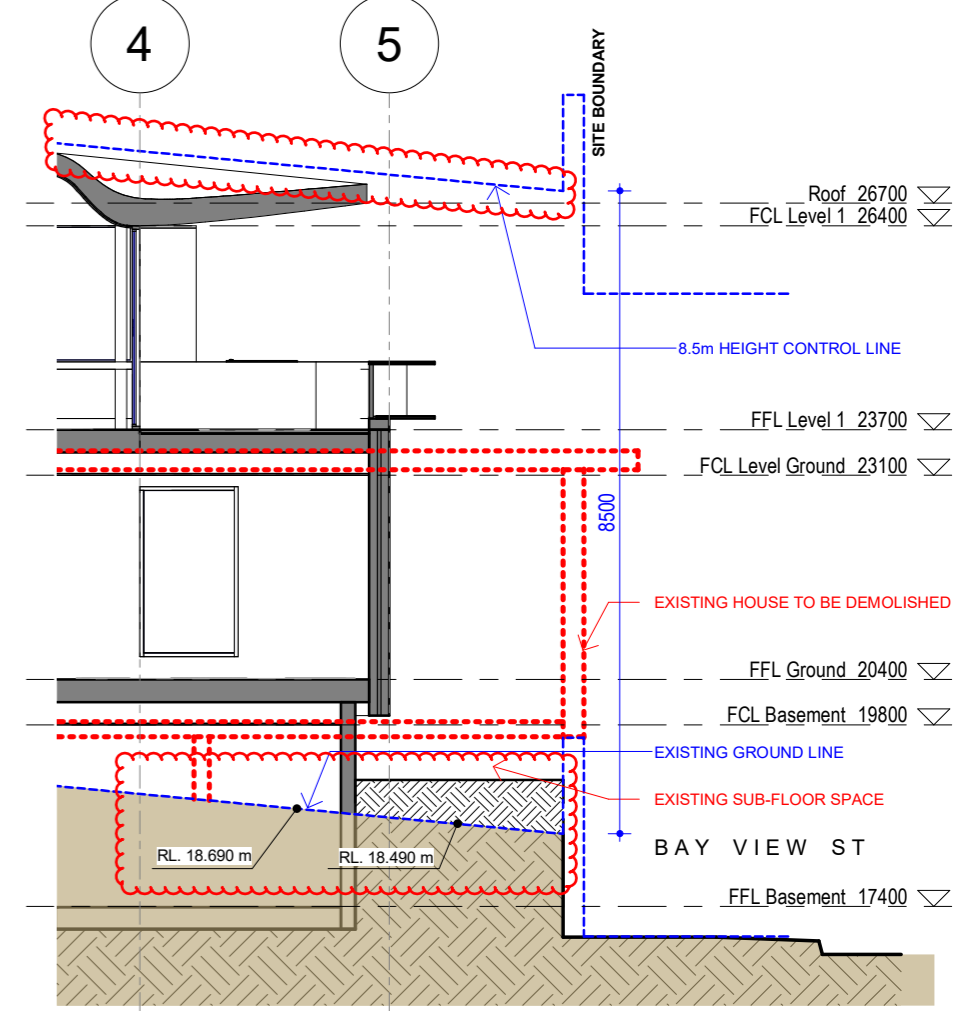
0mm 100mm 200mm 300mm 400mm



1 Plan\_Basement Levels  
Scale 1:100



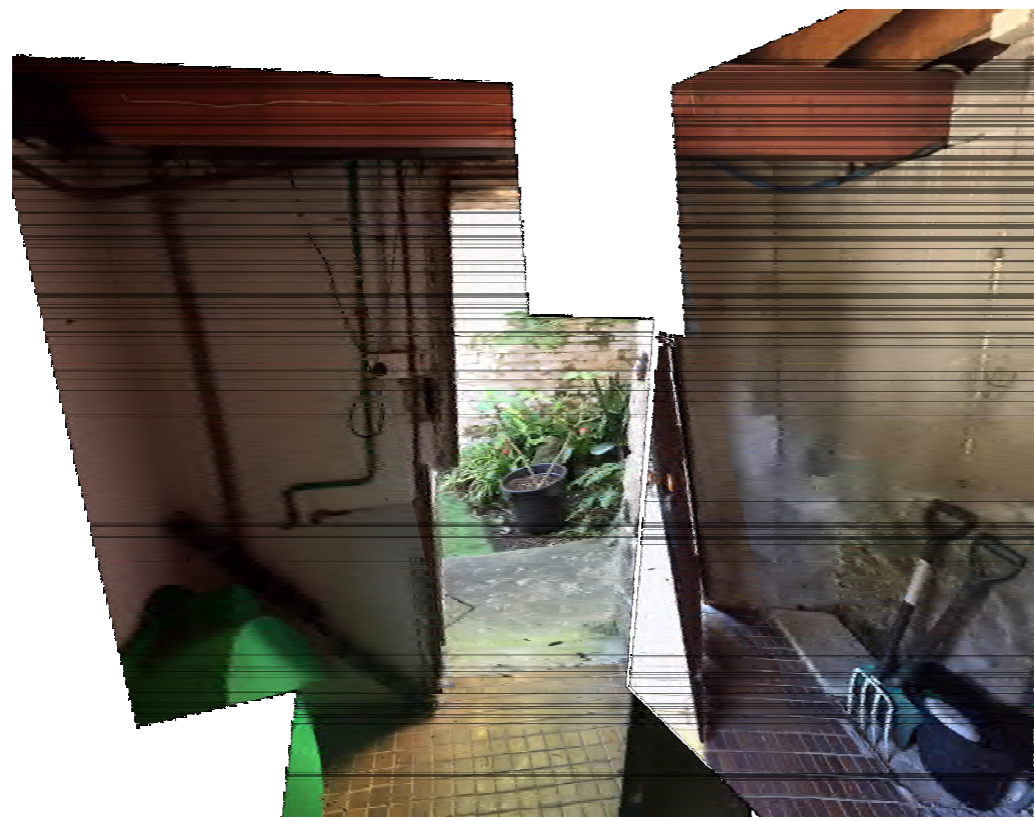
2 Longitudinal Section DD  
Scale 1:100



3 Longitudinal Section EE  
Scale 1:100

Date 13.12.2021 16.02.2022	Rev A B	Issue Additional Info Issue for DA	<b>LEGEND</b> 		CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	TITLE Basement Plan + Elevations JOB No. 2024 DRAWING No. INFO 01 REV. B	
The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project.			NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759	P: 02 - 9086 9000 F: 02 - 9086 9001	ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	PROJECT DATE JAN 08	ISSUED DATE 16.02.2022	SCALE @ A3: 1:100	STATUS DA ISSUE





1 - BASEMENT - FACING SOUTH



3 - EXISTING SUB-FLOOR SPACE (THROUGH NORTHERN HERITAGE WALL WINDOW) - EARTH AT SILL LEVEL



2 - BASEMENT - FACING NORTH



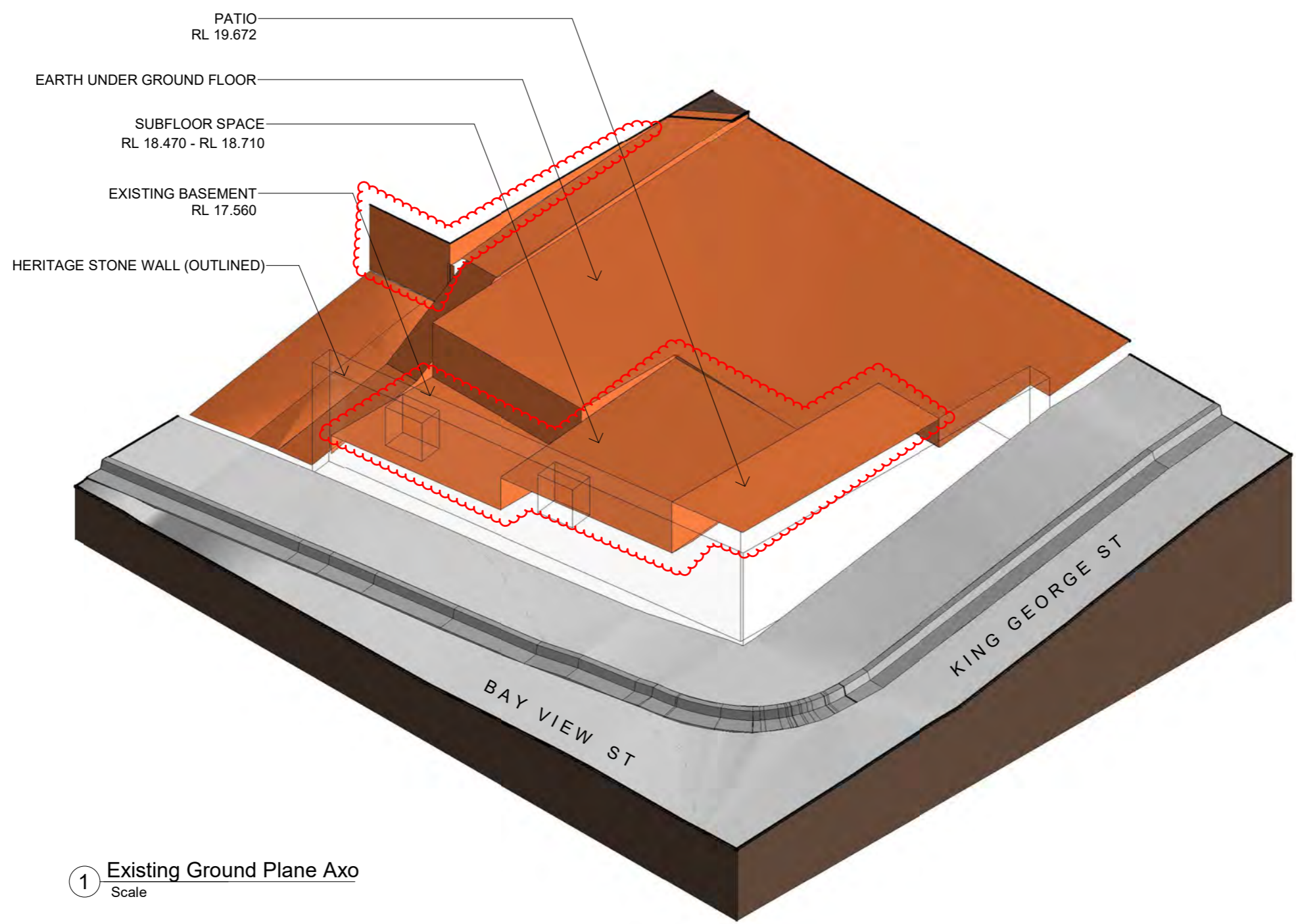
4 - VISUAL ACCESS PAST BEAM IN BASEMENT TO UNDER GROUND FLOOR



4 - EARTH UNDER FLOOR JOISTS OF GROUND FLOOR

Date 13.12.2021	Rev A	Issue Additional Info		CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	TITLE Basement Images				
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project.</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>PROJECT DATE JAN 08</small>	<small>ISSUED DATE 13.12.2021</small>	<small>SCALE @ A3: STATUS DA ISSUE</small>	<small>JOB No. 2024</small>	<small>DRAWING No. INFO 02</small>	<small>REV. A</small>





1 Existing Ground Plane Axo  
Scale

Date 13.12.2021	Rev A	Issue Additional Info		CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	TITLE Existing Ground Plane Axo	
16.02.2022	B	Issue for DA				PROJECT DATE JAN 08	ISSUED DATE 16.02.2022	SCALE @ A3: STATUS DA ISSUE
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>JOB No. 2024</small>	<small>DRAWING No. INFO 03</small>	<small>REV. B</small>





PHOTOMONTAGE - KING GEORGE ST - EXISTING



PHOTOMONTAGE - KING GEORGE ST - PROPOSED

Date 13.12.2021	Rev A	Issue Additional Info		CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	TITLE Streetscape - King George St				
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project.</small>			NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759	P: 02 - 9086 9000 F: 02 - 9086 9001	ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	PROJECT DATE JAN 08	ISSUED DATE 13.12.2021	SCALE @ A3: STATUS DA ISSUE	JOB No. 2024	DRAWING No. INFO 04	REV. A





PHOTOMONTAGE  
BAY VIEW ST - EXISTING



PHOTOMONTAGE  
BAY VIEW ST - PROPOSED

Date 13.12.2021	Rev A	Issue Additional Info		CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i> ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	PROJECT 21 King George St LAVENDER BAY, NSW 2060 LOT 7 DP 520996	TITLE Streetscape - Bay View St JOB No. 2024 DRAWING No. INFO 05 REV. A	
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project.</small>				<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>PROJECT DATE JAN 08</small>	<small>ISSUED DATE 13.12.2021</small>	<small>SCALE @ A3: STATUS DA ISSUE</small>



100mm



PREVIOUSLY SUBMITTED



LATEST PROPOSED

200mm

21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO  
 IMAGE PROVIDED BY AK PLANNING - UNIT 9 AT 21 WAIWERA ST

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA  
 ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE  
 PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

Date 13.12.20	Rev A	Issue View Analysis Comparison		CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St	TITLE View Analysis Comparison	JOB No. 2024	DRAWING No. 01	REV. B
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759	P: 02 - 9086 9000 F: 02 - 9086 9001	ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	PROJECT DATE 13.12.20	ISSUED DATE 13.12.20	SCALE @ A3:	STATUS VIEW ANALYSIS	





PREVIOUSLY SUBMITTED



LATEST PROPOSED

21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO  
IMAGE PROVIDED BY AK PLANNING - UNIT 9 AT 21 WAIWERA ST

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

Date 13.12.20	Rev A	Issue View Analysis Comparison	CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St	TITLE View Analysis Comparison		
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>JOB No. 2024</small>	<small>DRAWING No. 02</small>	<small>REV. B</small>
					<small>PROJECT DATE 13.12.20</small>	<small>ISSUED DATE 13.12.20</small>	<small>SCALE @ A3:</small>	<small>STATUS VIEW ANALYSIS</small>

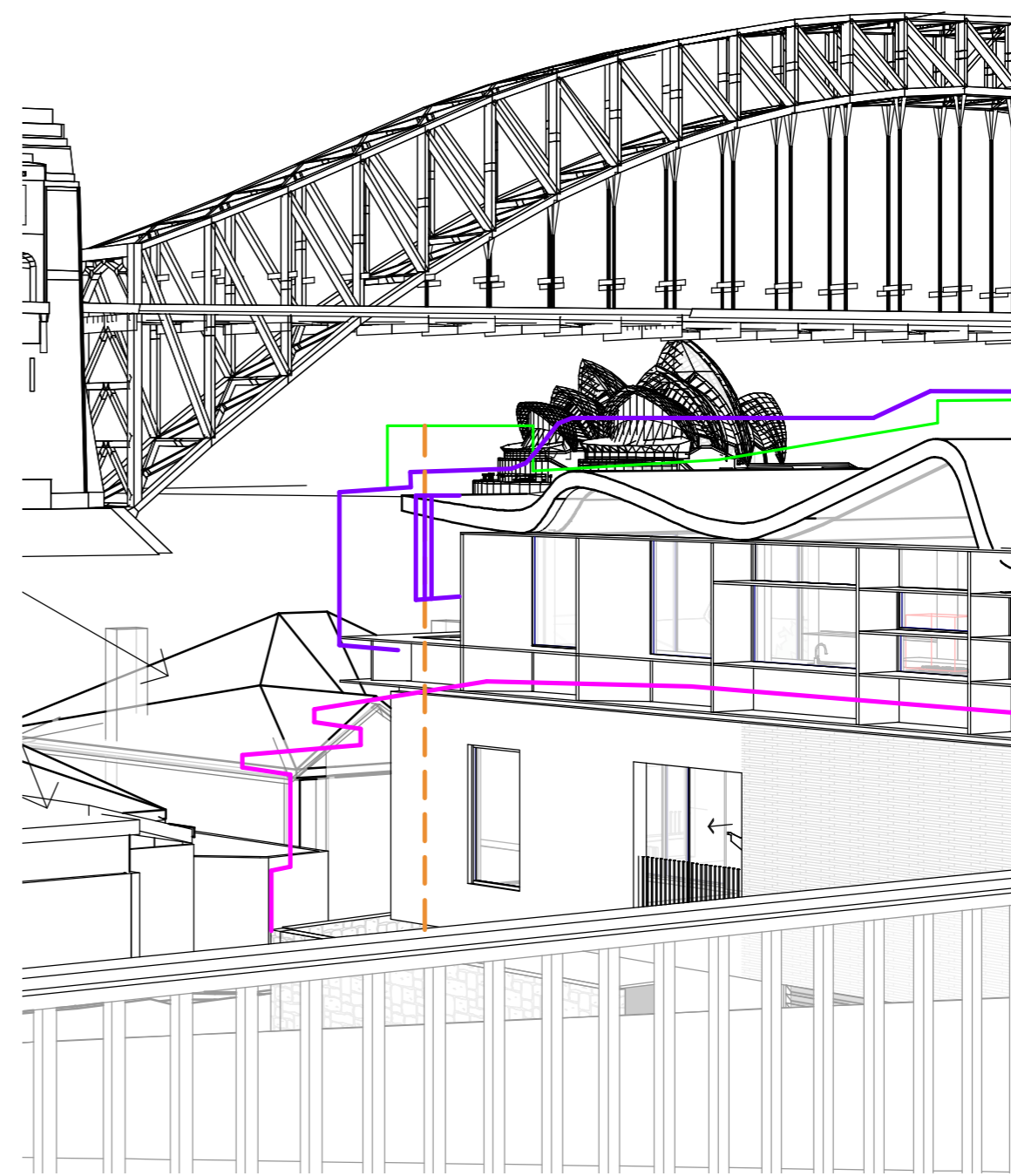


100mm

200mm



PREVIOUSLY SUBMITTED



LATEST PROPOSED

THROUGH DOUBLE DOORS TO BALCONY, **APARTMENT 10**  
 CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

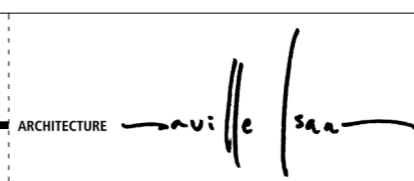
**NOTE**  
 PLEASE NOTE EXISTING LARGE TREES THAT  
 IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
13.12.20	A	View Analysis Comparison
21.12.20	B	View Analysis Comparison

LEGEND		
	8.5m HEIGHT CONTROL PLANE	
	OUTLINE EXISTING BUILDING	4.1m SETBACK FROM BAY VIEW ST
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
	OUTLINE NON-COMPLIANT SCHEME	

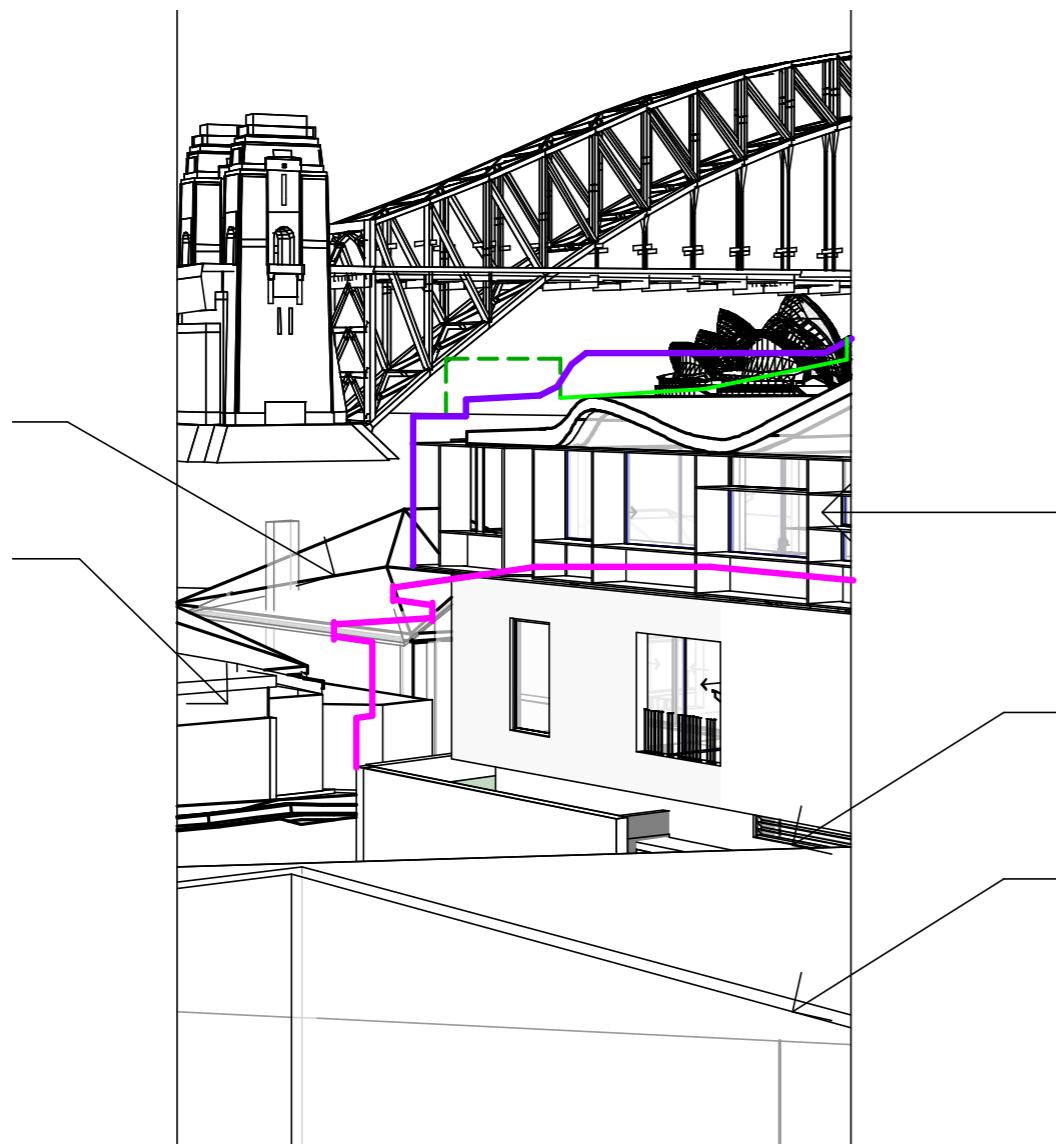
CLIENT  
 MB



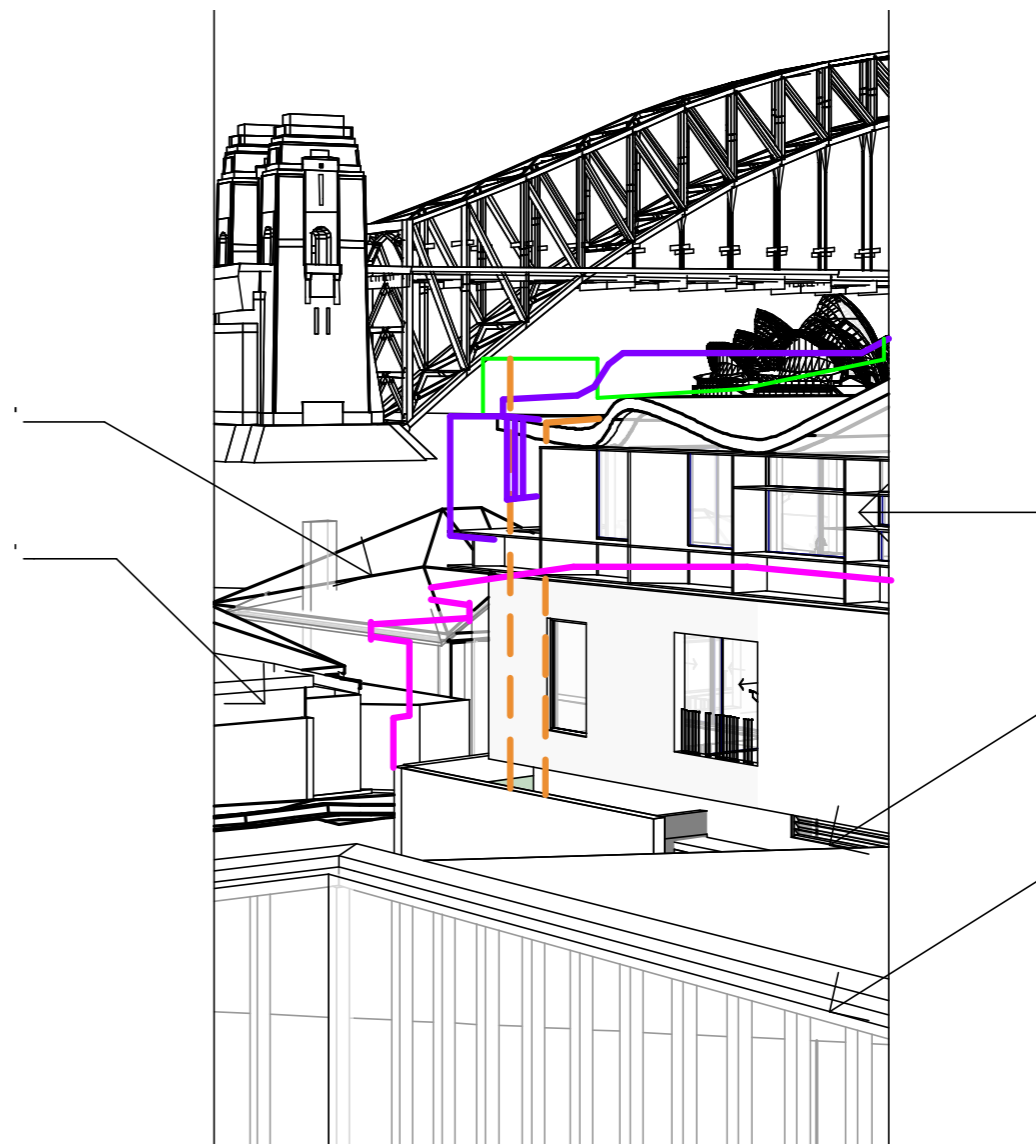
PROJECT  
 21 King George St

TITLE  
 View Analysis Comparison  
 JOB No. 2024  
 DRAWING No. 03  
 REV. B





PREVIOUSLY SUBMITTED



LATEST PROPOSED

THROUGH EAST WINDOW, **APARTMENT 10**  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

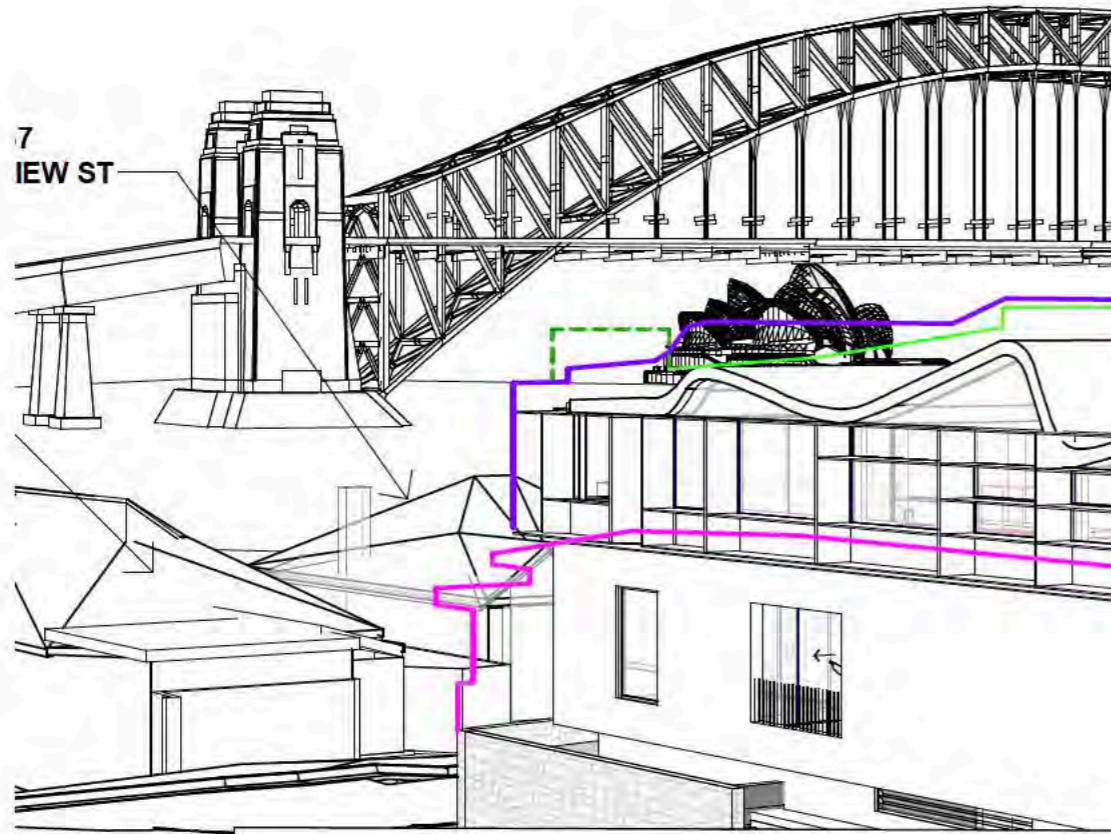
**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
13.12.20	A	View Analysis Comparison
21.12.20	B	View Analysis Comparison

LEGEND		
	8.5m HEIGHT CONTROL PLANE	
	OUTLINE EXISTING BUILDING	
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	4.1m SETBACK FROM BAY VIEW ST
	OUTLINE NON-COMPLIANT SCHEME	

CLIENT	MB
ARCHITECTURE	
PROJECT	21 King George St
TITLE	View Analysis Comparison
JOB No.	2024
DRAWING No.	04
REV.	B



PREVIOUSLY SUBMITTED



LATEST PROPOSED

**ON BALCONY, APARTMENT 10**  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
13.12.20	A	View Analysis Comparison
21.12.20	B	View Analysis Comparison

LEGEND		
	8.5m HEIGHT CONTROL PLANE	
	OUTLINE EXISTING BUILDING	
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	4.1m SETBACK FROM BAY VIEW ST
	OUTLINE NON-COMPLIANT SCHEME	

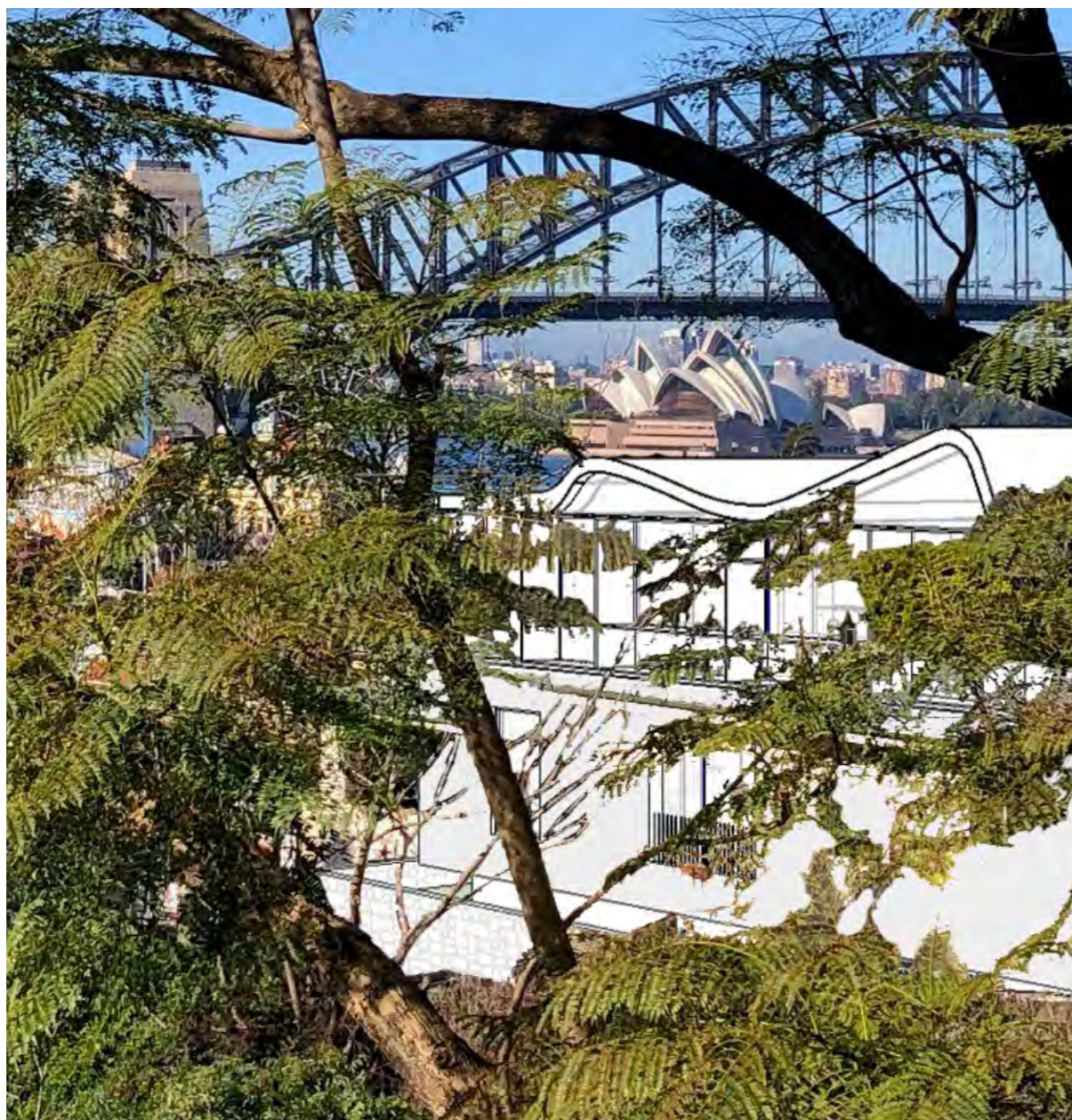
CLIENT  
MB

ARCHITECTURE

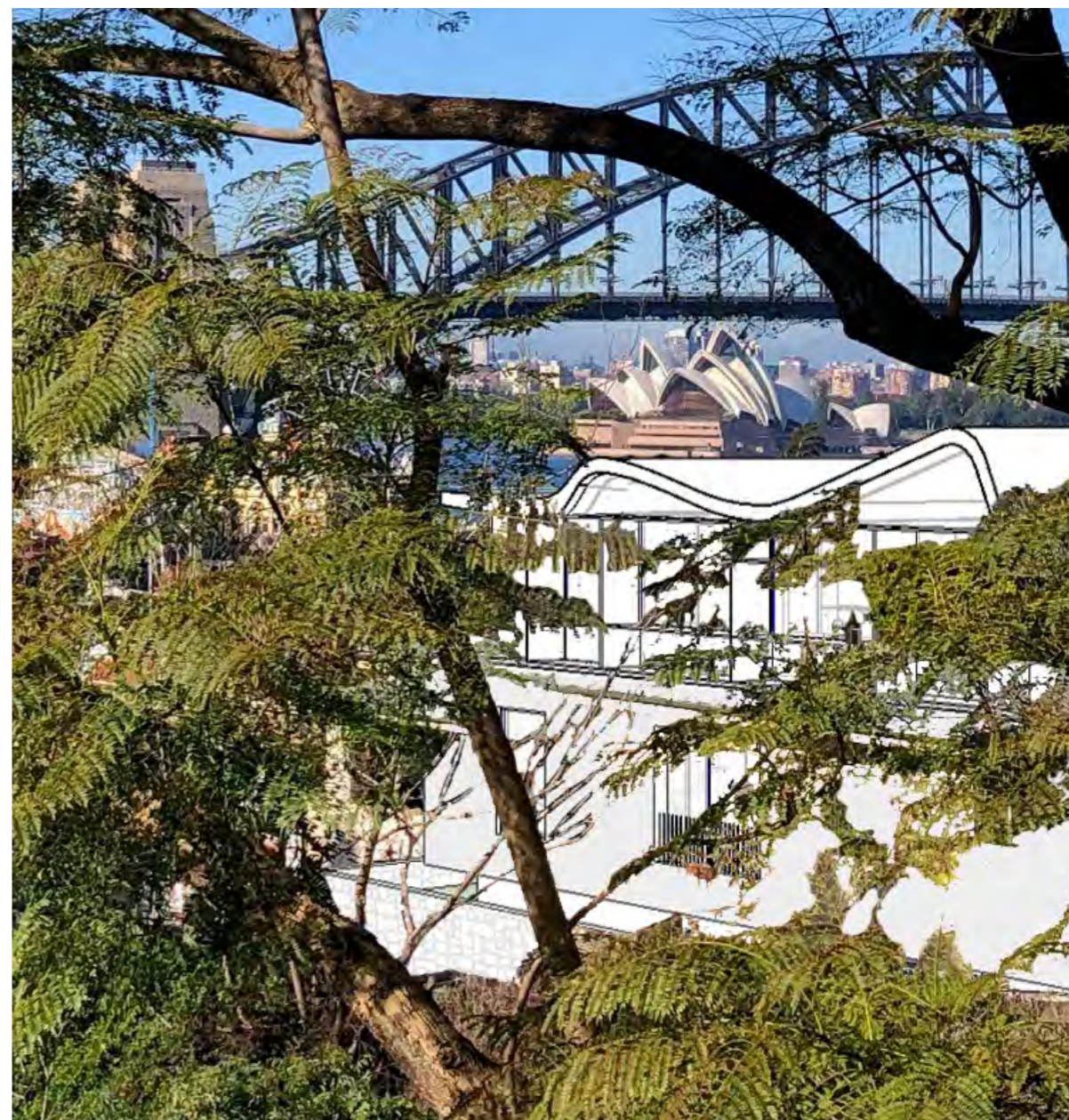
PROJECT  
21 King George St

TITLE  
View Analysis Comparison  
JOB No. 2024  
DRAWING No. 05  
REV. B





PREVIOUSLY SUBMITTED



LATEST PROPOSED

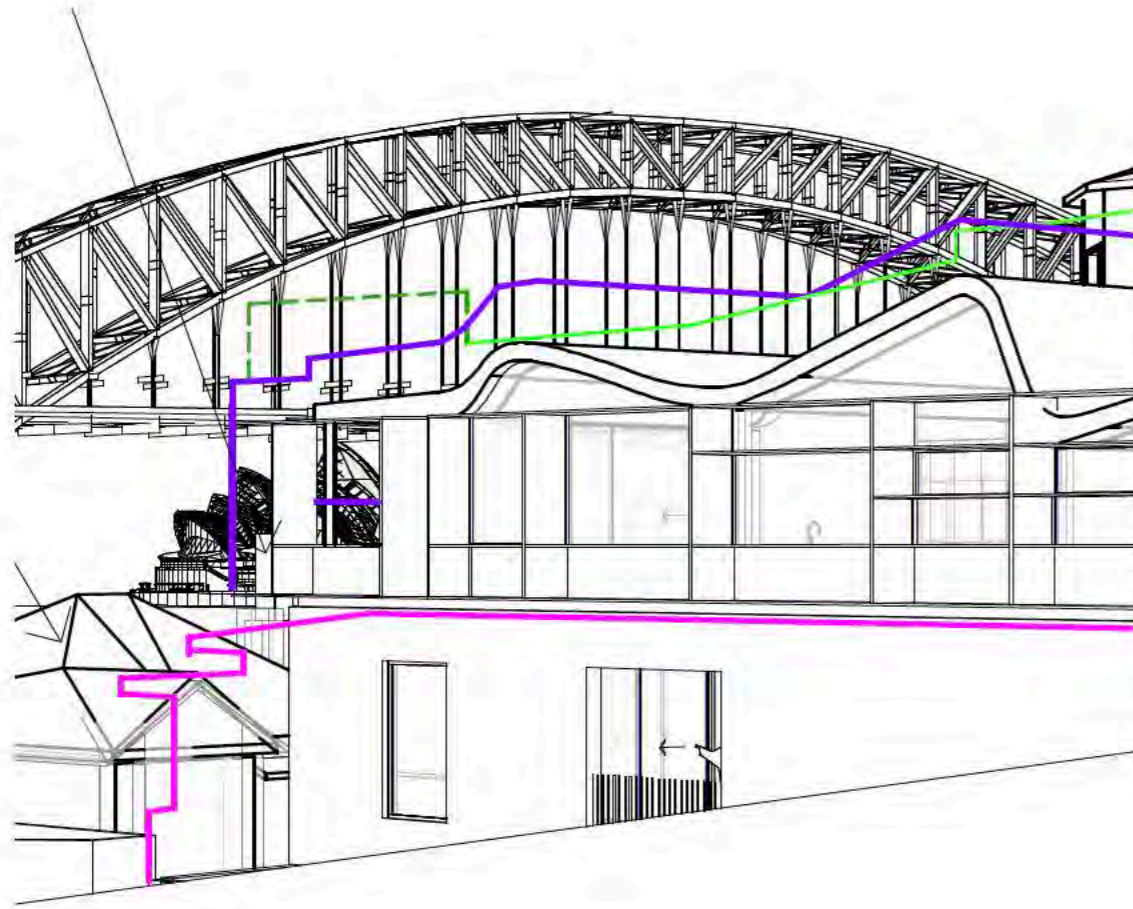
21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO PROVIDED IMAGE FROM COUNCIL SUBMISSION - ATTACHMENT 1112664 - **APARTMENT 10 AT 21 WAIWERA ST**

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

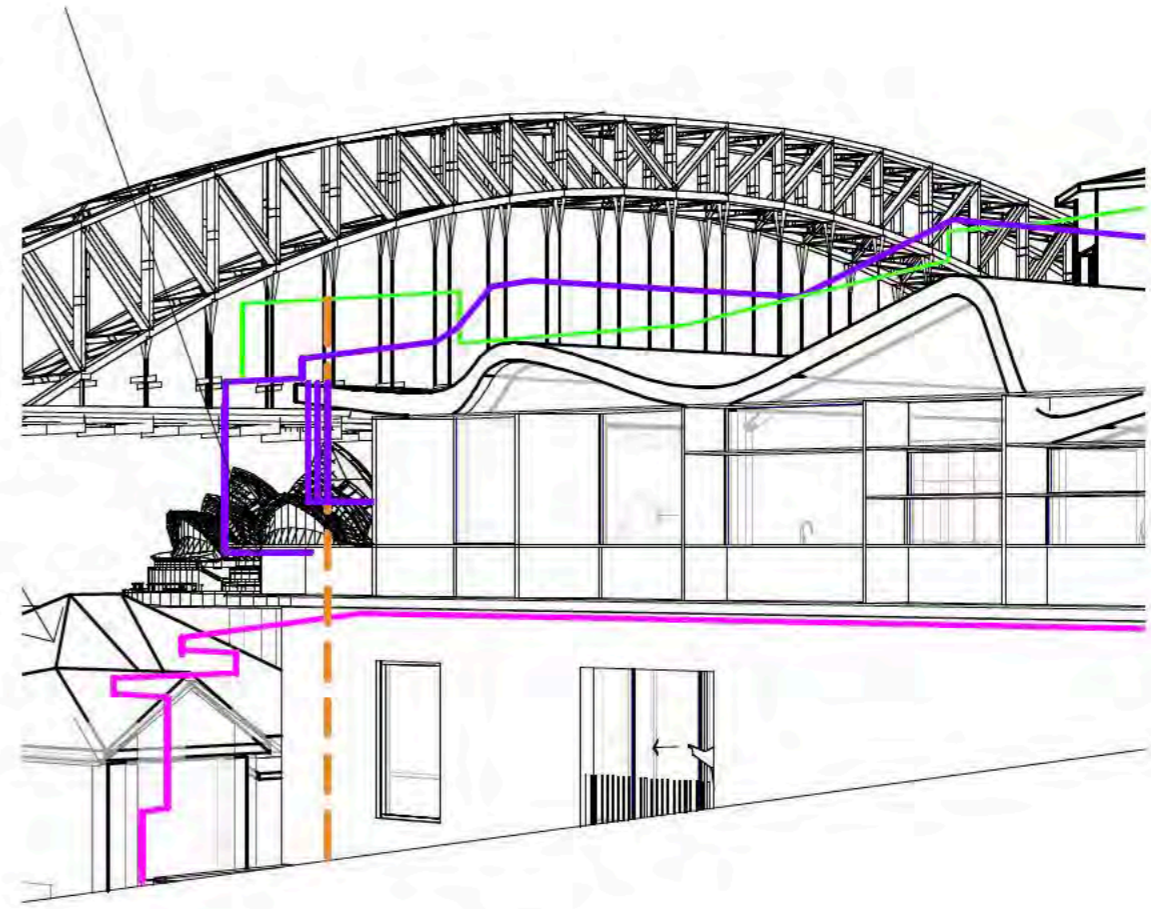
PRELIMINARY

Date 13.12.20	Rev A	Issue View Analysis Comparison	CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St	TITLE View Analysis Comparison		
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>JOB No. 2024</small>	<small>DRAWING No. 06</small>	<small>REV. B</small>
					<small>PROJECT DATE 13.12.20</small>	<small>ISSUED DATE 13.12.20</small>	<small>SCALE @ A3:</small>	<small>STATUS VIEW ANALYSIS</small>





PREVIOUSLY SUBMITTED



LATEST PROPOSED

THROUGH LEFT-HAND, SE-FACING OPENING (BALCONY), APARTMENT 14  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
13.12.20	A	View Analysis Comparison
21.12.20	B	View Analysis Comparison

LEGEND		
	8.5m HEIGHT CONTROL PLANE	
	OUTLINE EXISTING BUILDING	4.1m SETBACK FROM BAY VIEW ST
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
	OUTLINE NON-COMPLIANT SCHEME	

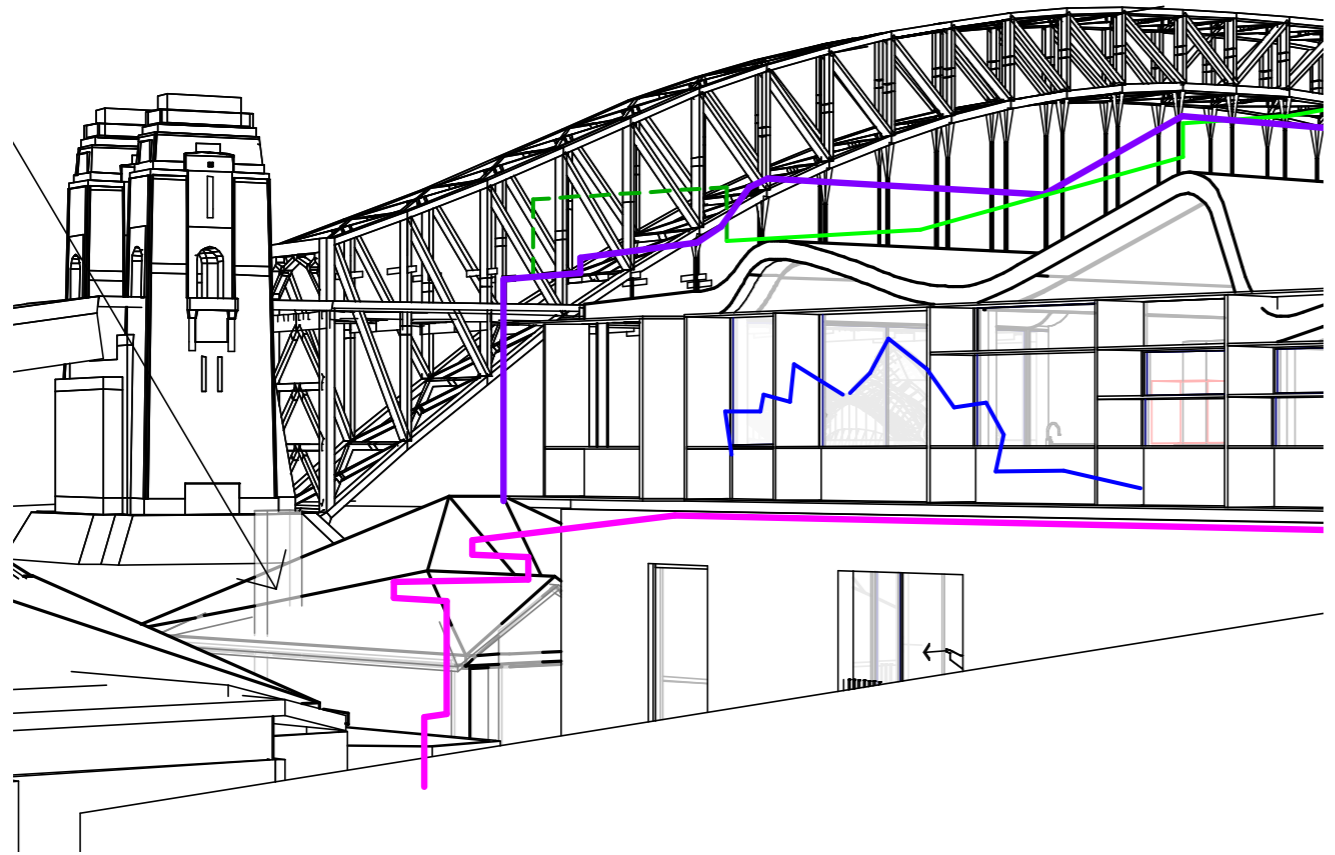
CLIENT	MB
ARCHITECTURE	SAVILLE ISAACS



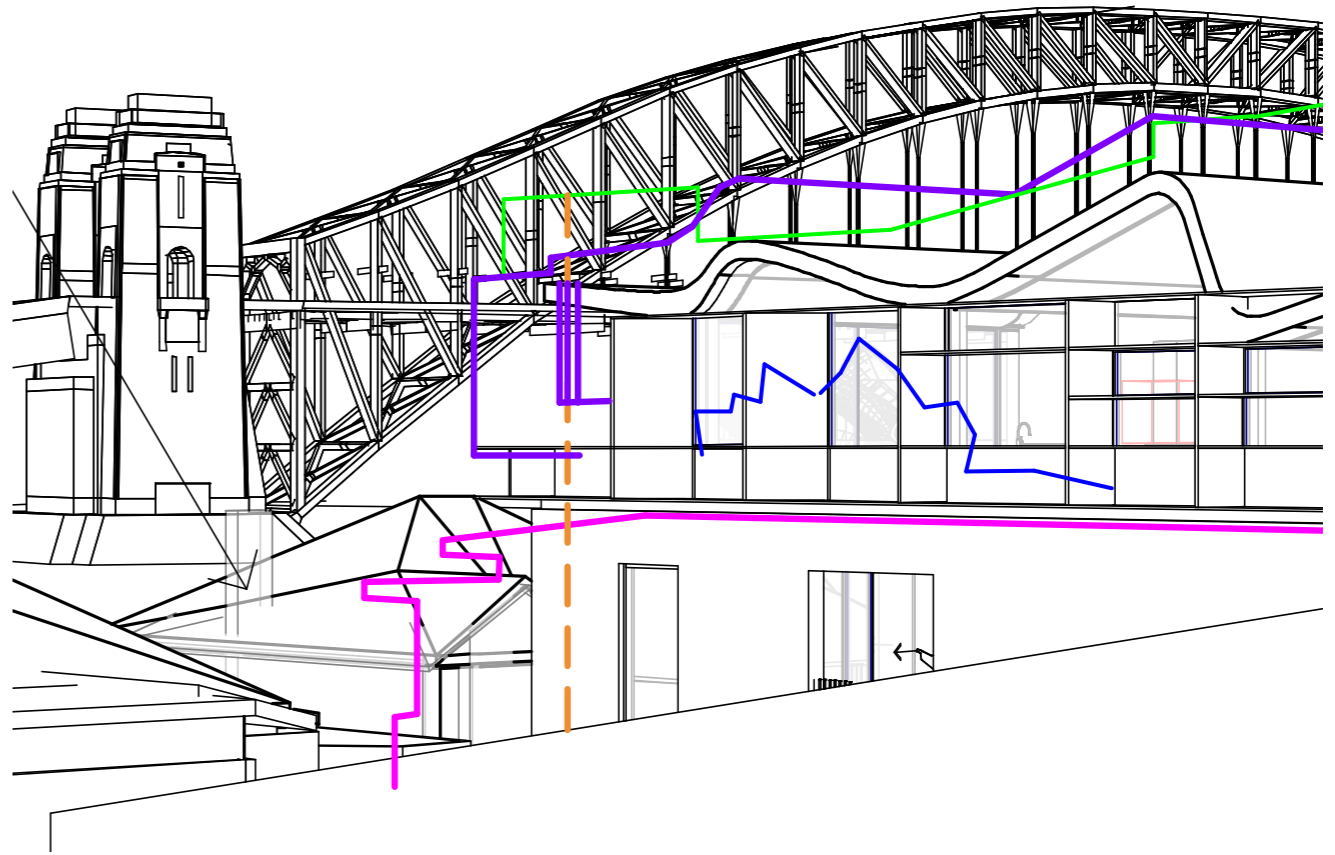
PROJECT	21 King George St
PROJECT DATE	13.12.20
ISSUED DATE	13.12.20
SCALE @ A3:	

TITLE	View Analysis Comparison
JOB No.	2024
DRAWING No.	07
REV.	B





PREVIOUSLY SUBMITTED



LATEST PROPOSED

THROUGH RIGHT-HAND, SE-FACING WINDOW, **APARTMENT 14**  
 CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

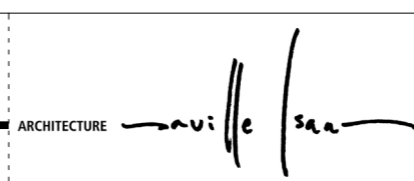
**NOTE**  
 PLEASE NOTE EXISTING LARGE TREES THAT  
 IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
13.12.20	A	View Analysis Comparison
21.12.20	B	View Analysis Comparison

LEGEND	
	8.5m HEIGHT CONTROL PLANE
	OUTLINE EXISTING BUILDING
	OUTLINE OPERA HOUSE (WHEN HIDDEN)
	OUTLINE NON-COMPLIANT SCHEME
	4.1m SETBACK FROM BAY VIEW ST

CLIENT  
 MB



PROJECT  
 21 King George St

TITLE  
 View Analysis Comparison  
 JOB No. 2024  
 DRAWING No. 08  
 REV. B





PREVIOUSLY SUBMITTED



LATEST PROPOSED

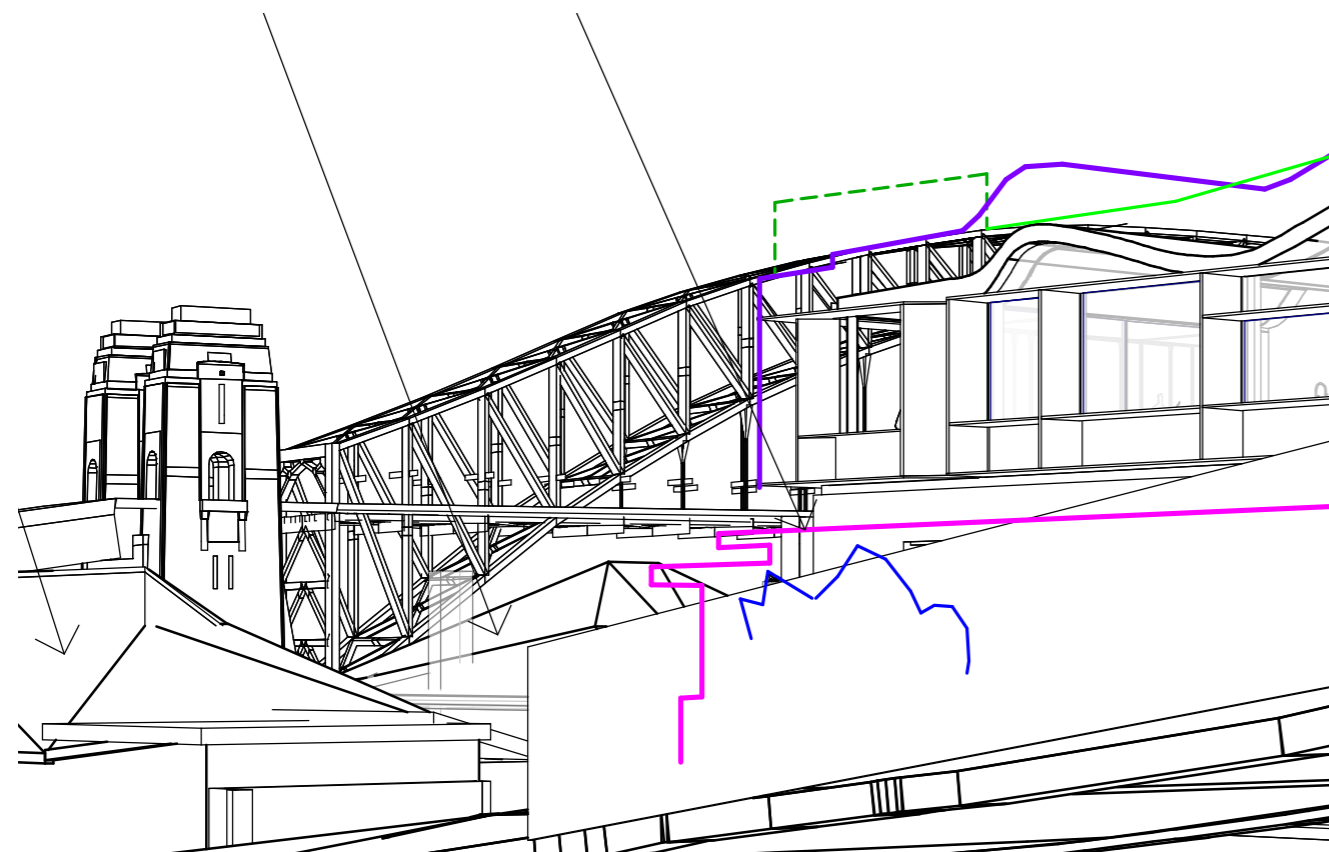
21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO PROVIDED IMAGE FROM  
 COUNCIL SUBMISSION - ATTACHMENT 1115539 - **APARTMENT 14 AT 21 WAIWERA ST**

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA  
 ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE  
 PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

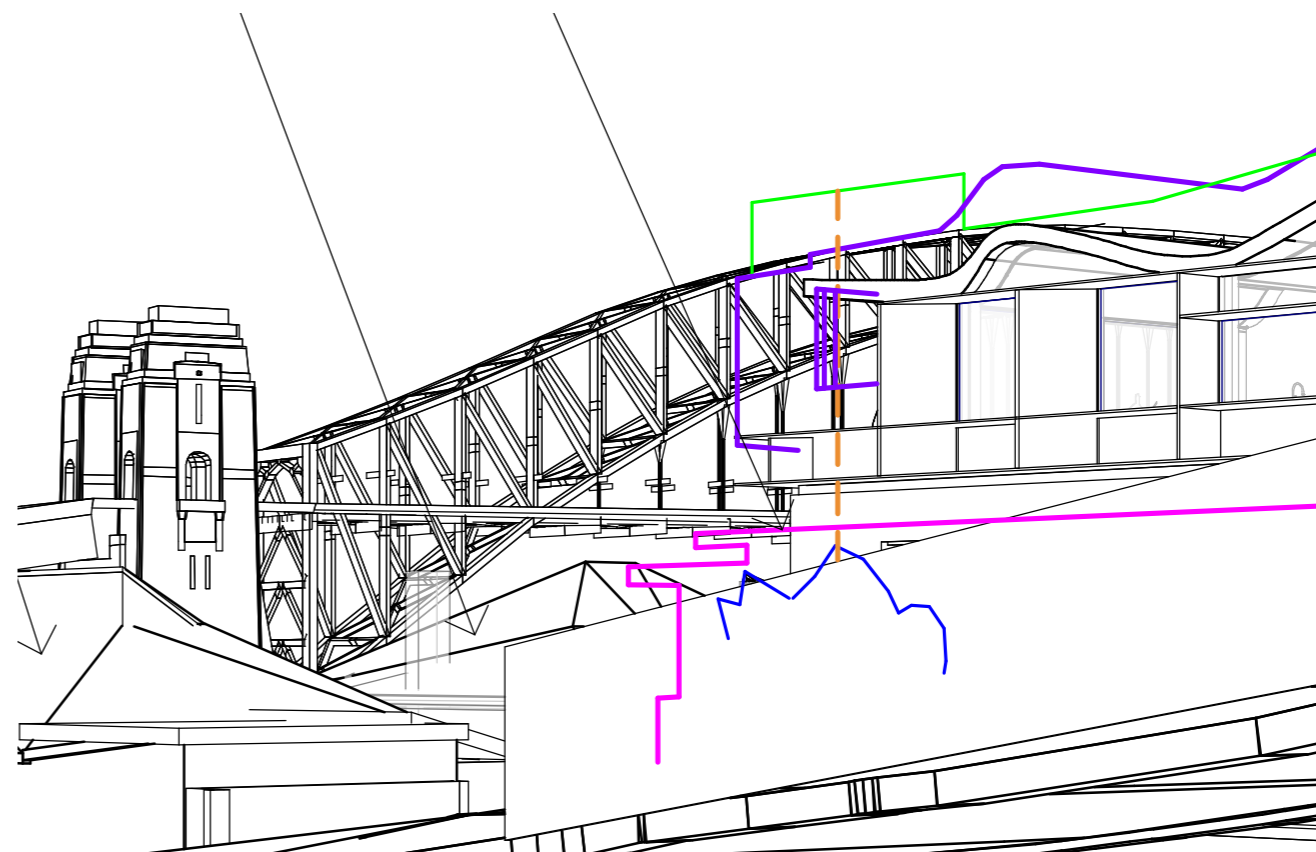
PRELIMINARY

Date 13.12.20	Rev A	Issue View Analysis Comparison	CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St	TITLE View Analysis Comparison		
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929          ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000          F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD          23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>JOB No. 2024</small>	<small>DRAWING No. 09</small>	<small>REV. B</small>
					<small>PROJECT DATE 13.12.20</small>	<small>ISSUED DATE 13.12.20</small>	<small>SCALE @ A3:</small>	<small>STATUS VIEW ANALYSIS</small>





PREVIOUSLY SUBMITTED



LATEST PROPOSED

THROUGH LEFT-HAND, SE-FACING WINDOW, **APARTMENT 17**  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
13.12.20	A	View Analysis Comparison
21.12.20	B	View Analysis Comparison

LEGEND		
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE	<span style="color: orange;">- - -</span> 4.1m SETBACK FROM BAY VIEW ST
<span style="color: magenta;">—</span>	OUTLINE EXISTING BUILDING	
<span style="color: blue;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
<span style="color: purple;">—</span>	OUTLINE NON-COMPLIANT SCHEME	

CLIENT  
MB

ARCHITECTURE *Saville Isaacs*

PROJECT  
21 King George St

TITLE  
View Analysis Comparison  
JOB No. 2024 DRAWING No. 010 REV. B

PROJECT DATE 13.12.20

SCALE @ A3:

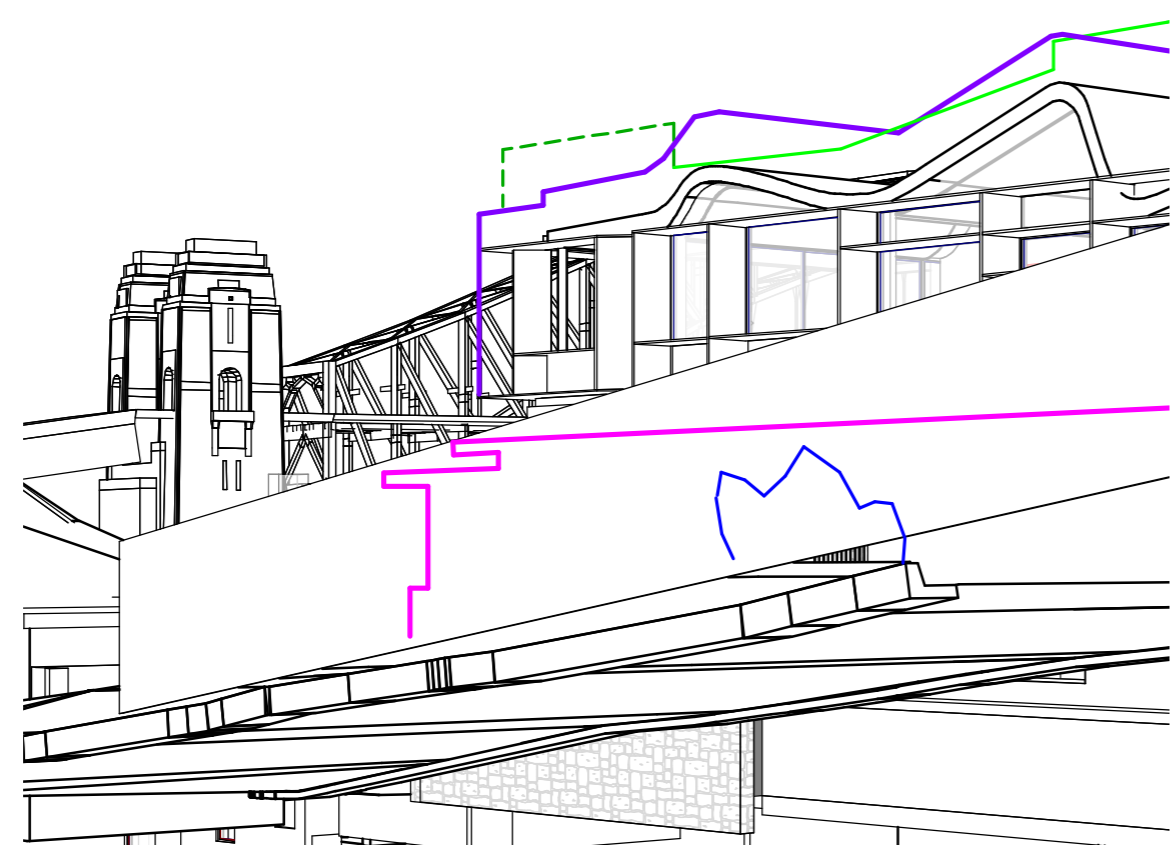
STATUS  
VIEW ANALYSIS

The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project

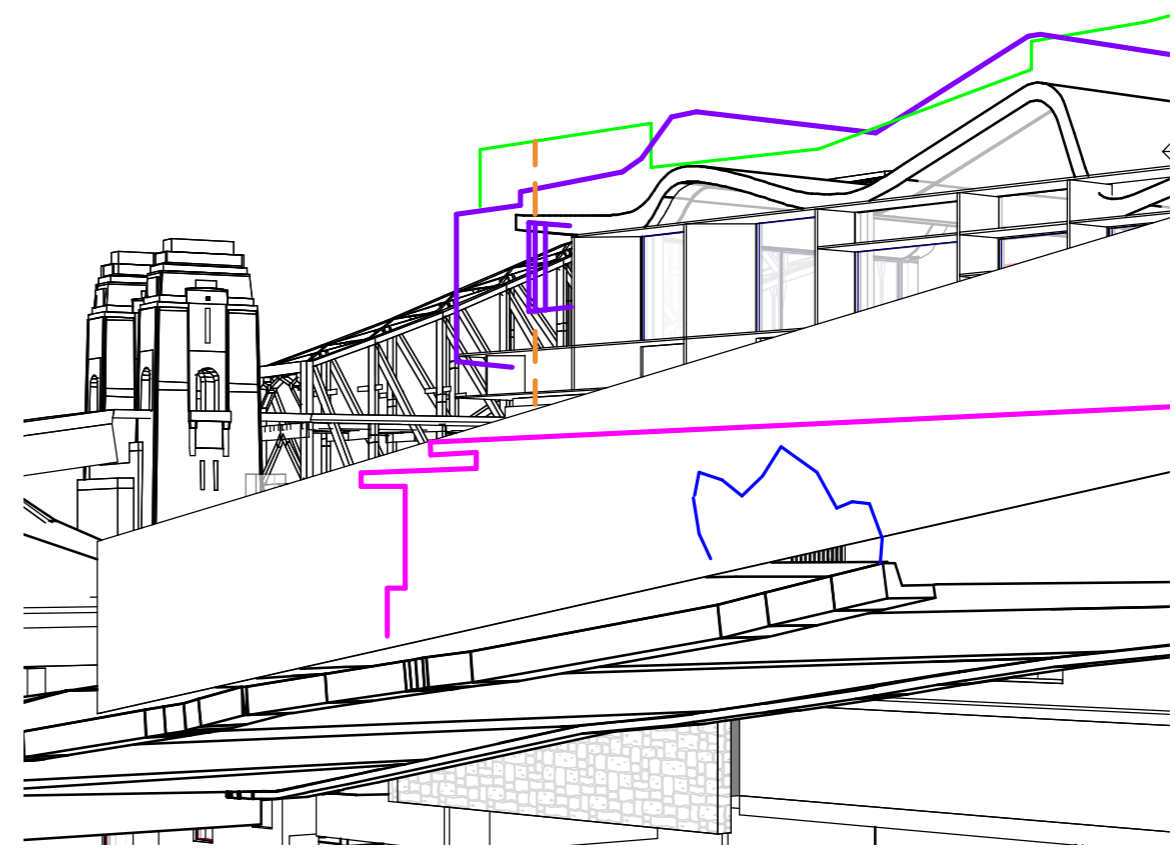
NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759

P: 02 - 9086 9000 F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060



PREVIOUSLY SUBMITTED



LATEST PROPOSED

THROUGH RIGHT-HAND, SE-FACING WINDOW, APARTMENT 17  
 CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

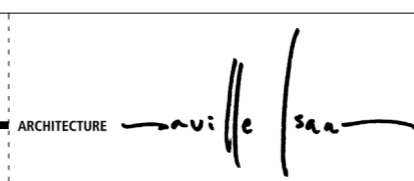
**NOTE**  
 PLEASE NOTE EXISTING LARGE TREES THAT  
 IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
13.12.20	A	View Analysis Comparison
21.12.20	B	View Analysis Comparison

LEGEND		
	8.5m HEIGHT CONTROL PLANE	
	OUTLINE EXISTING BUILDING	
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	4.1m SETBACK FROM BAY VIEW ST
	OUTLINE NON-COMPLIANT SCHEME	

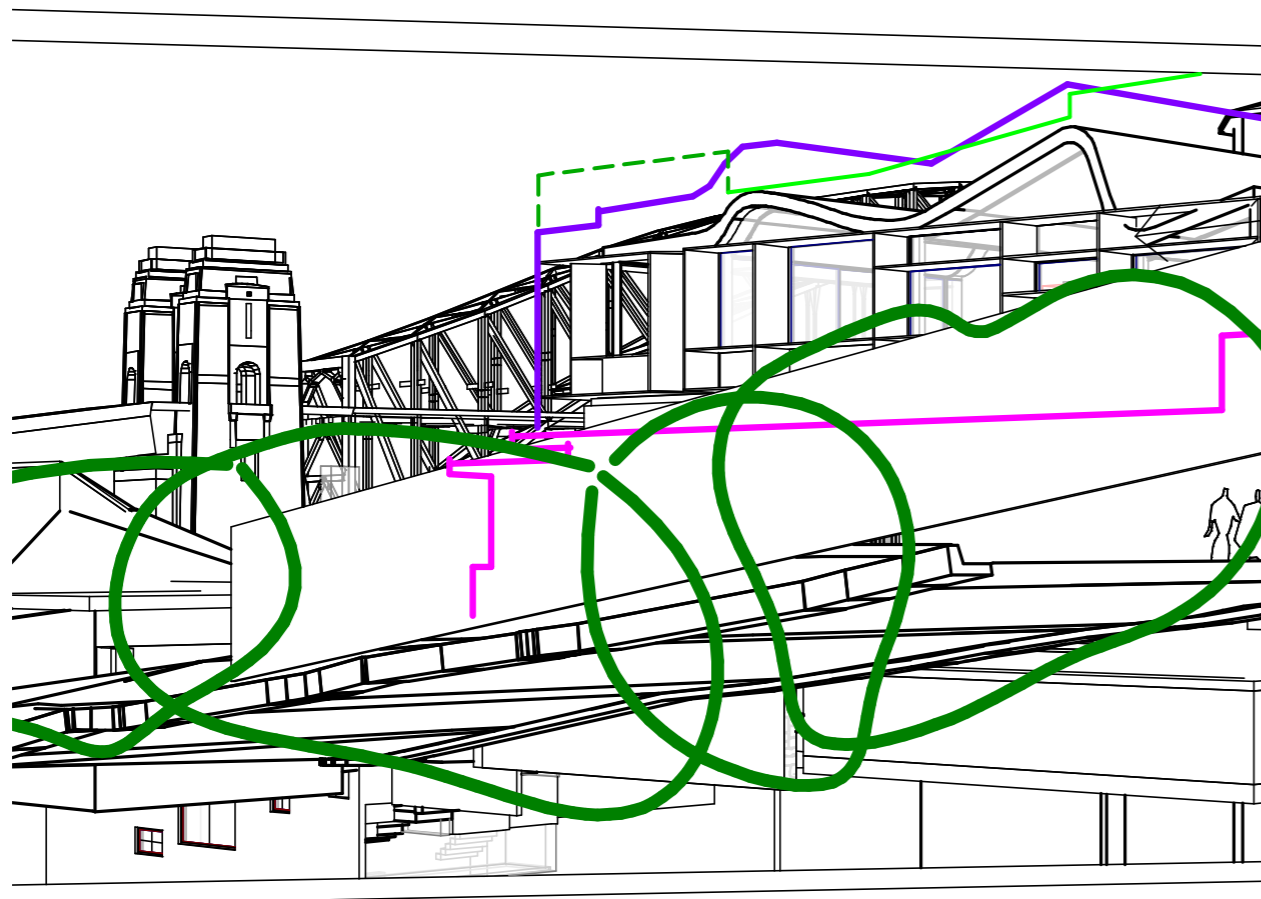
CLIENT  
 MB



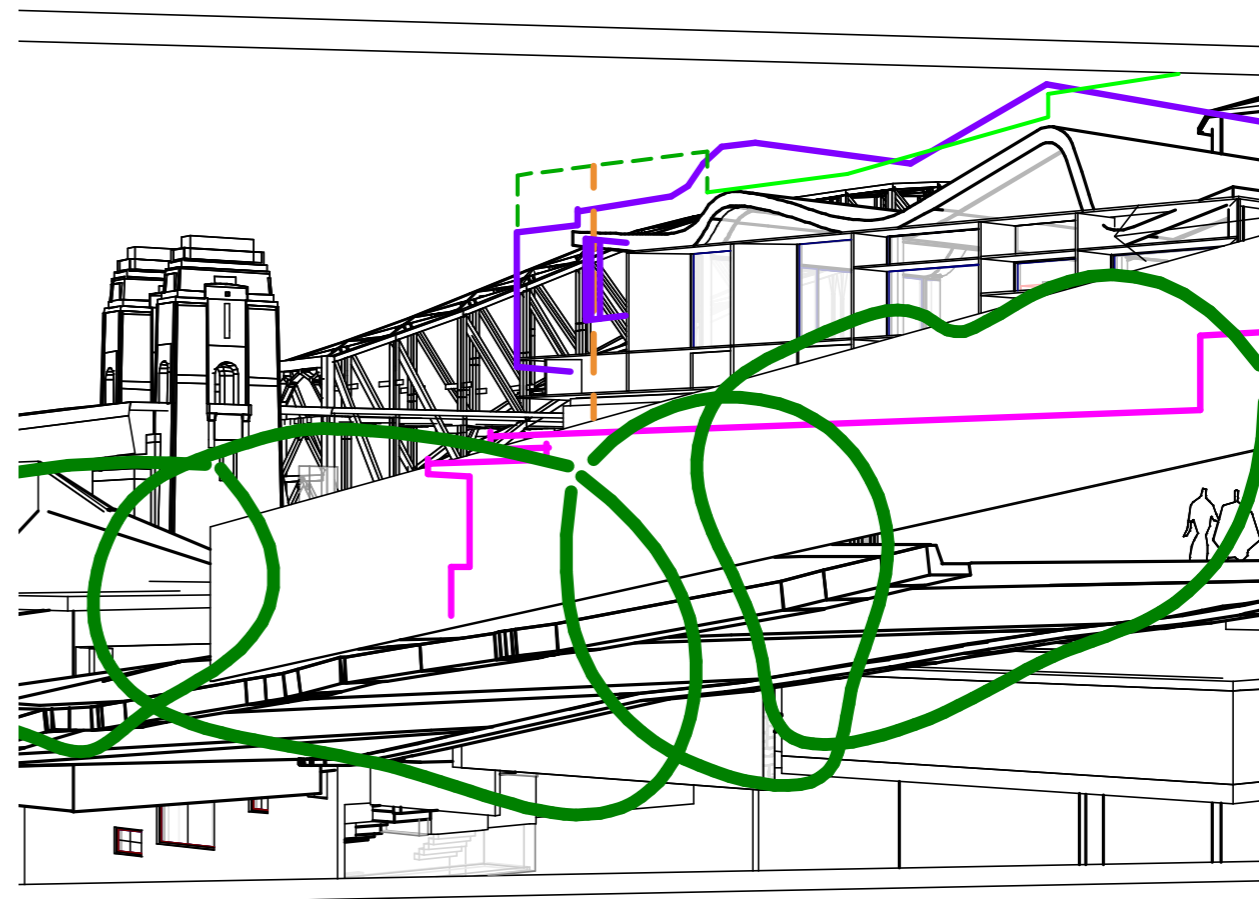
PROJECT  
 21 King George St

TITLE  
 View Analysis Comparison  
 JOB No. 2024  
 DRAWING No. 011  
 REV. B





PREVIOUSLY SUBMITTED



LATEST PROPOSED

THROUGH RIGHT-HAND, SE-FACING WINDOW, APARTMENT 17  
 LOCATED TO MATCH VIEW SEEN IN OBJECTED IMAGE

**NOTE**  
 PLEASE NOTE EXISTING LARGE TREES THAT  
 IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
13.12.20	A	View Analysis Comparison
21.12.20	B	View Analysis Comparison

LEGEND		
	8.5m HEIGHT CONTROL PLANE	
	OUTLINE EXISTING BUILDING	4.1m SETBACK FROM BAY VIEW ST
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
	OUTLINE NON-COMPLIANT SCHEME	

CLIENT  
 MB

ARCHITECTURE

PROJECT  
 21 King George St

TITLE  
 View Analysis Comparison  
 JOB No. 2024  
 DRAWING No. 012  
 REV. B





PREVIOUSLY SUBMITTED



LATEST PROPOSED

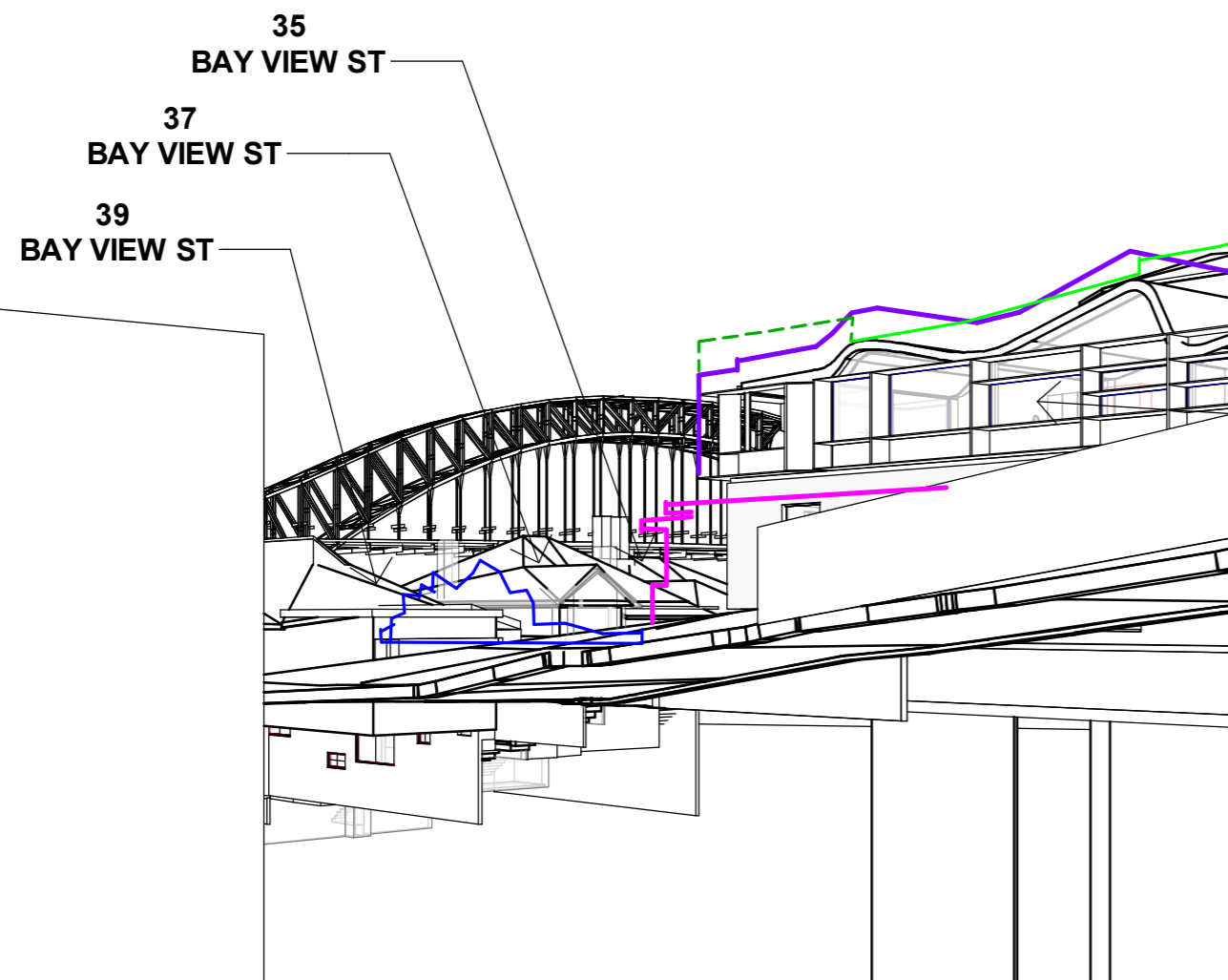
21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO PROVIDED IMAGE FROM COUNCIL SUBMISSION - ATTACHMENT 1115754 - UNIT 17 AT 21 WAIWERA ST

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

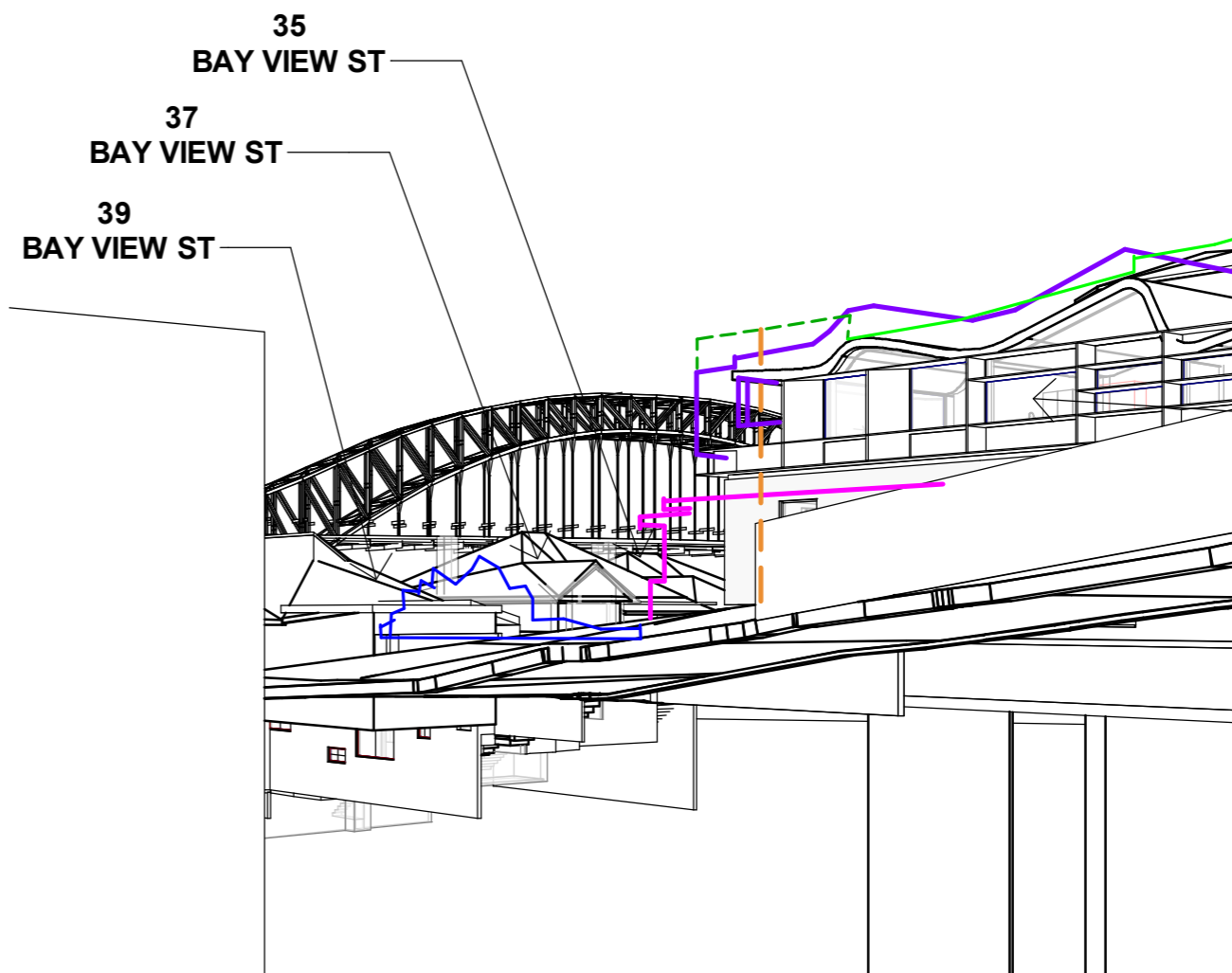
PRELIMINARY

Date 13.12.20	Rev A	Issue View Analysis Comparison	CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St	TITLE View Analysis Comparison		
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>JOB No. 2024</small>	<small>DRAWING No. 013</small>	<small>REV. B</small>
				PROJECT DATE 13.12.20	ISSUED DATE 13.12.20	SCALE @ A3: STATUS VIEW ANALYSIS		





PREVIOUSLY SUBMITTED



LATEST PROPOSED

VIEW FROM **MAIN GARDEN**, REAR OF 21 WAIWERA ST  
LOCATED 4m BEHIND REAR BRICK WALL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT  
IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

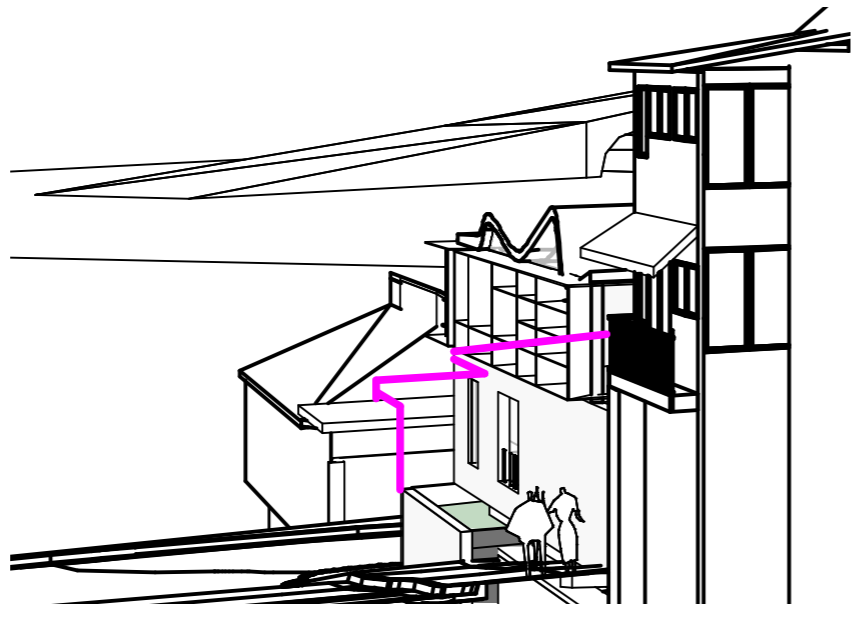
Date	Rev	Issue
13.12.20	A	View Analysis Comparison
21.12.20	B	View Analysis Comparison

LEGEND	
	8.5m HEIGHT CONTROL PLANE
	OUTLINE EXISTING BUILDING
	OUTLINE OPERA HOUSE (WHEN HIDDEN)
	OUTLINE NON-COMPLIANT SCHEME
	4.1m SETBACK FROM BAY VIEW ST

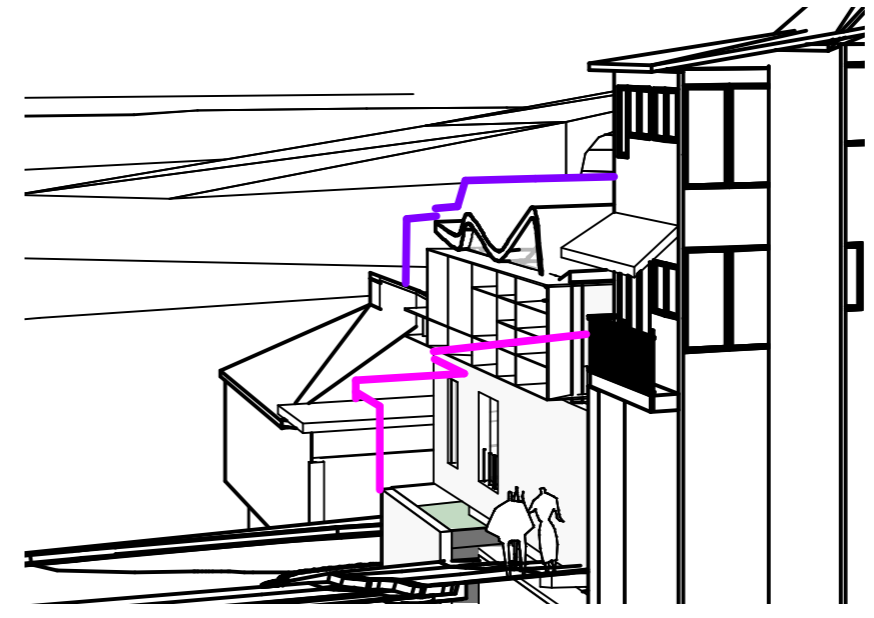
CLIENT	MB
ARCHITECTURE	

PROJECT	21 King George St
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TITLE	View Analysis Comparison
JOB No.	2024
DRAWING No.	014
REV.	B

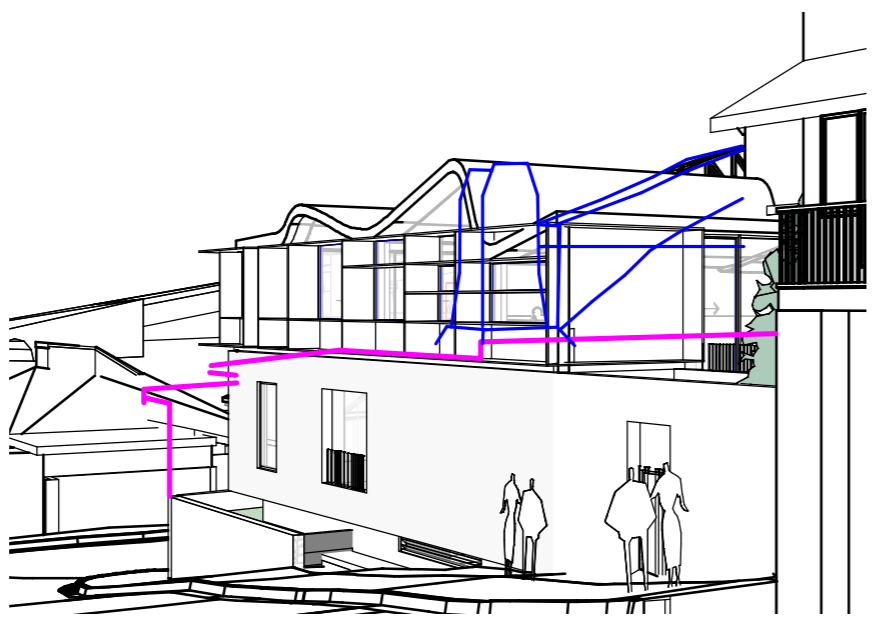


PREVIOUSLY SUBMITTED

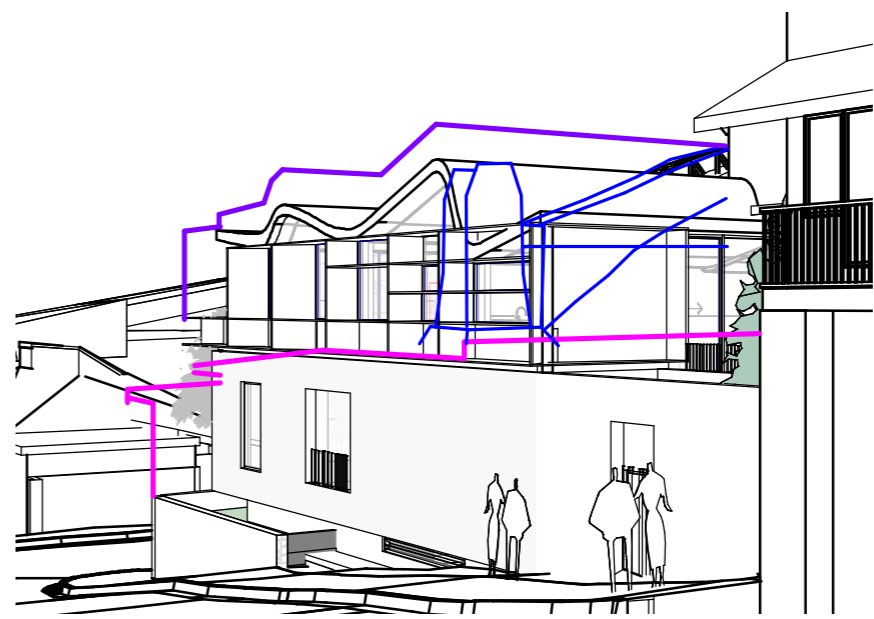


LATEST PROPOSED

### King George St - View 01



PREVIOUSLY SUBMITTED



LATEST PROPOSED

### King George St - View 02

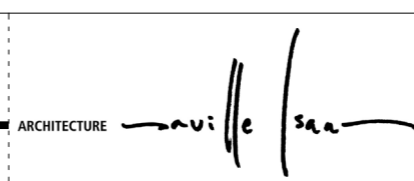
**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
13.12.20	A	View Analysis Comparison
21.12.20	B	View Analysis Comparison

LEGEND	
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE
<span style="color: magenta;">—</span>	OUTLINE EXISTING BUILDING
<span style="color: blue;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)
<span style="color: purple;">—</span>	OUTLINE NON-COMPLIANT SCHEME
<span style="color: orange;">- - -</span>	4.1m SETBACK FROM BAY VIEW ST

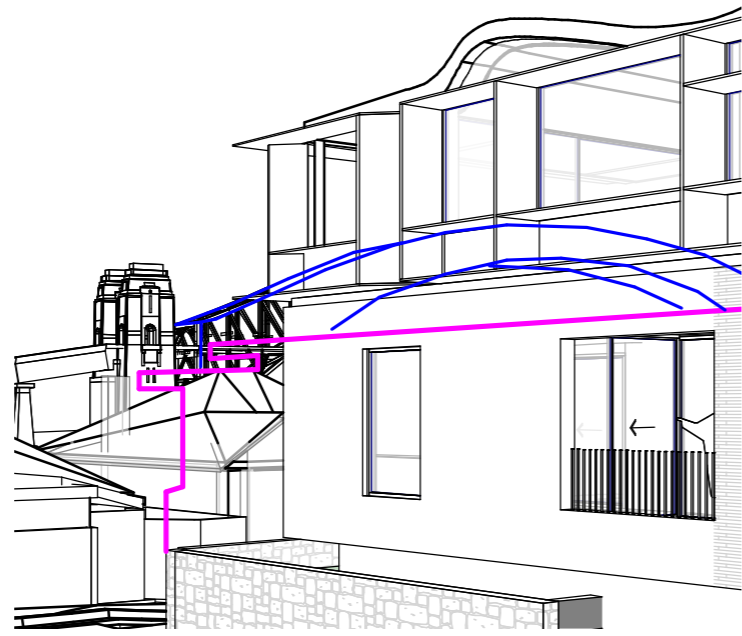
CLIENT  
MB



PROJECT  
21 King George St

TITLE  
View Analysis Comparison  
JOB No. 2024  
DRAWING No. 015  
REV. B



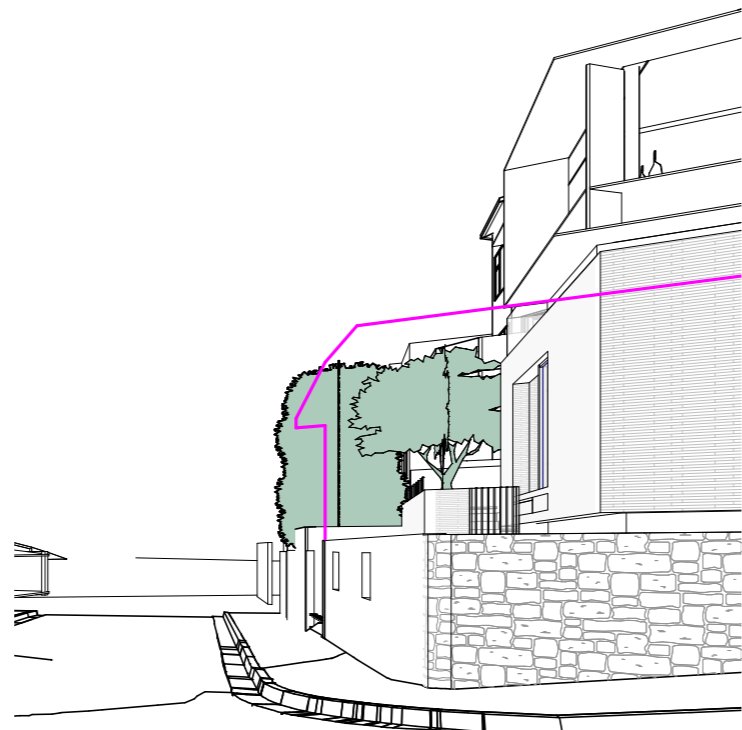


PREVIOUSLY SUBMITTED

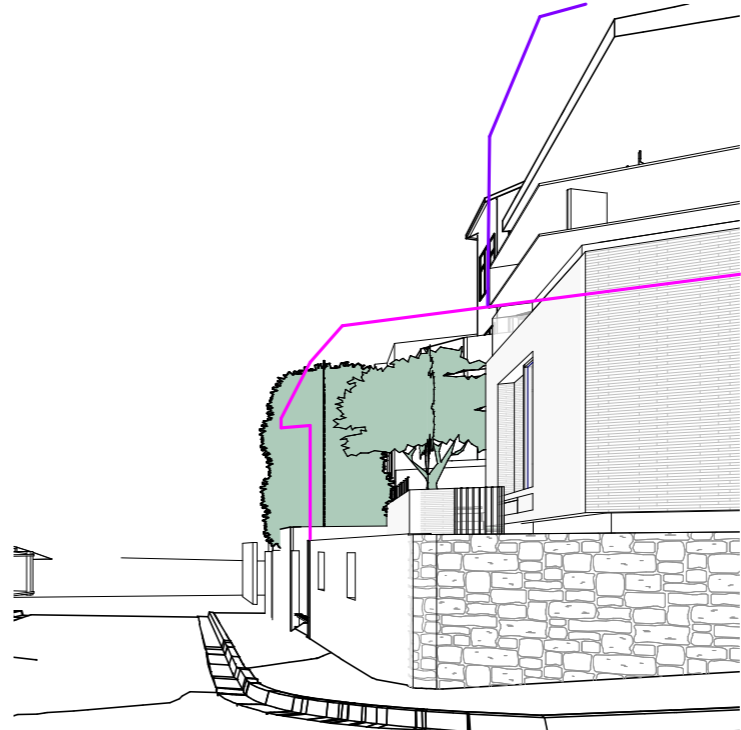


LATEST PROPOSED

### King George St - View 03



PREVIOUSLY SUBMITTED



LATEST PROPOSED

### King George St - View 04

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
13.12.20	A	View Analysis Comparison
21.12.20	B	View Analysis Comparison

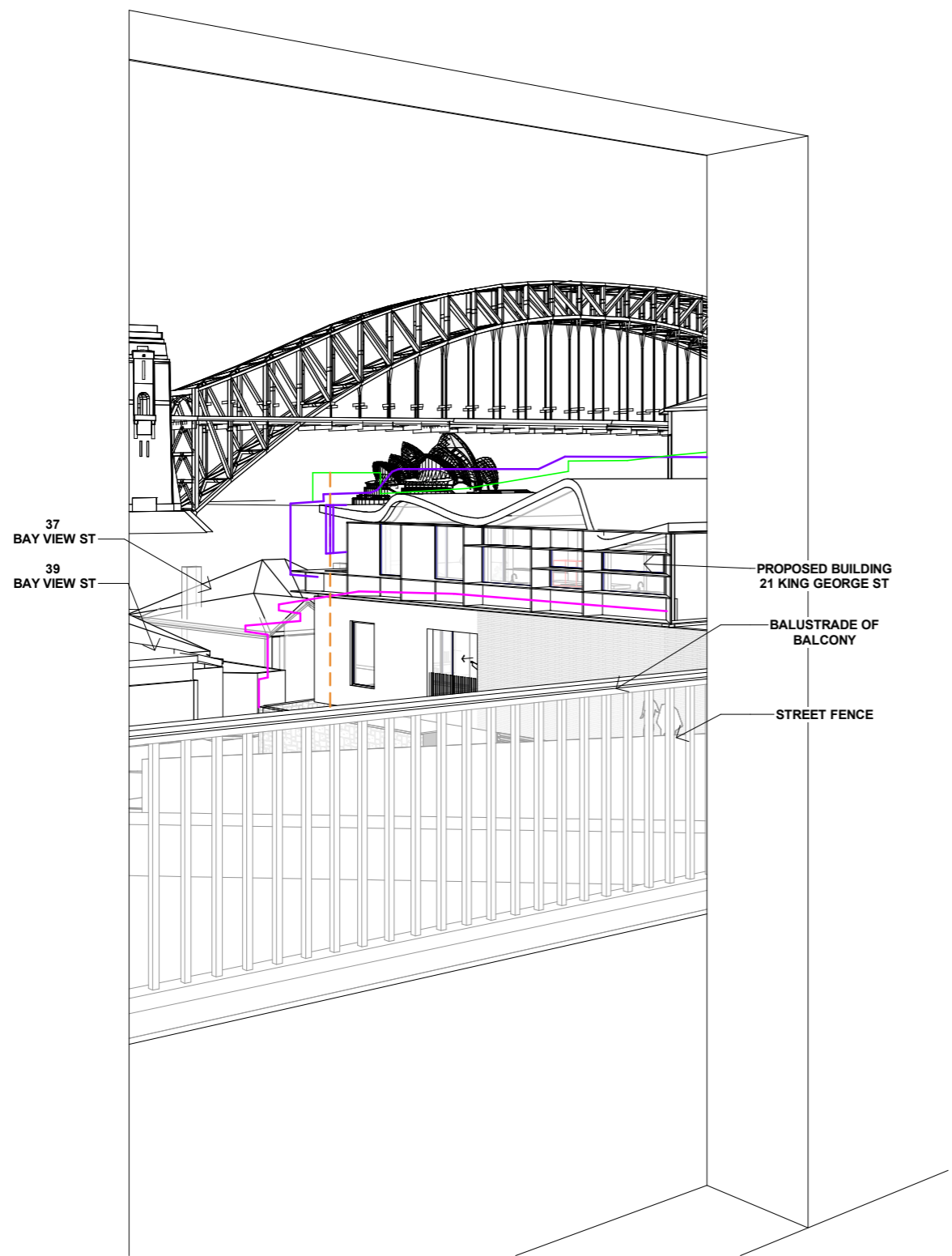
LEGEND	
	8.5m HEIGHT CONTROL PLANE
	OUTLINE EXISTING BUILDING
	OUTLINE OPERA HOUSE (WHEN HIDDEN)
	OUTLINE NON-COMPLIANT SCHEME
	4.1m SETBACK FROM BAY VIEW ST

CLIENT  
MB

ARCHITECTURE *Saville Isaacs*

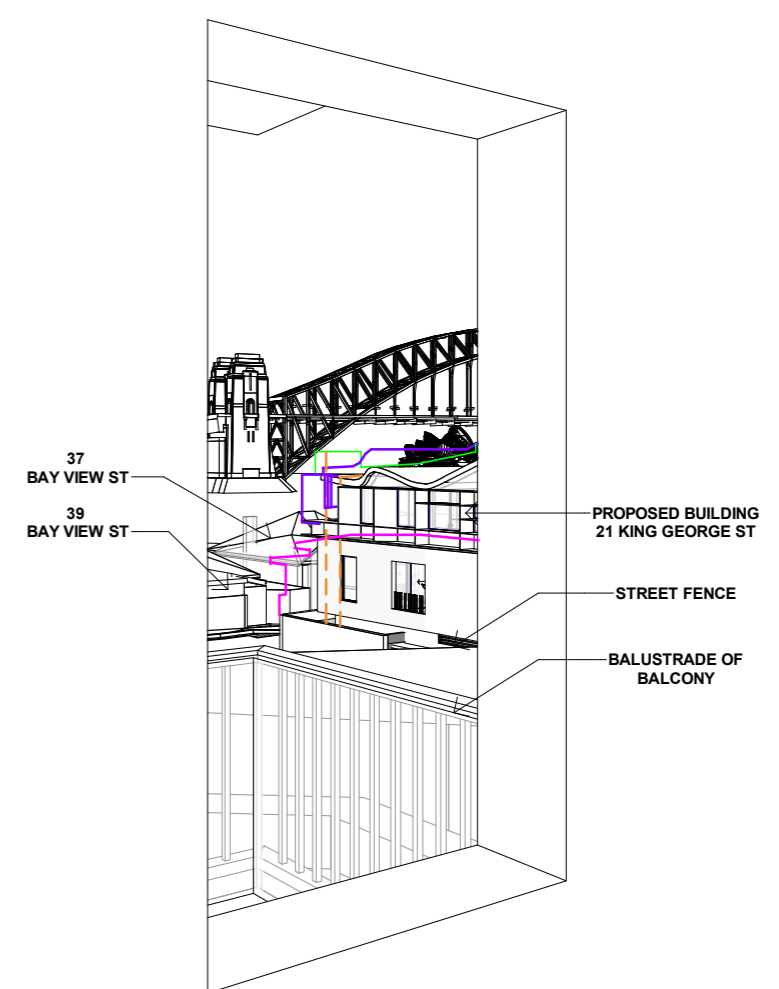
PROJECT  
21 King George St

TITLE  
View Analysis Comparison  
JOB No. 2024  
DRAWING No. 016  
REV. B



1 Apt. 10 - View 01

THROUGH DOUBLE DOORS TO BALCONY, **APARTMENT 10**  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL



2 Apt. 10 - View 02

THROUGH EAST WINDOW, **APARTMENT 10**  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

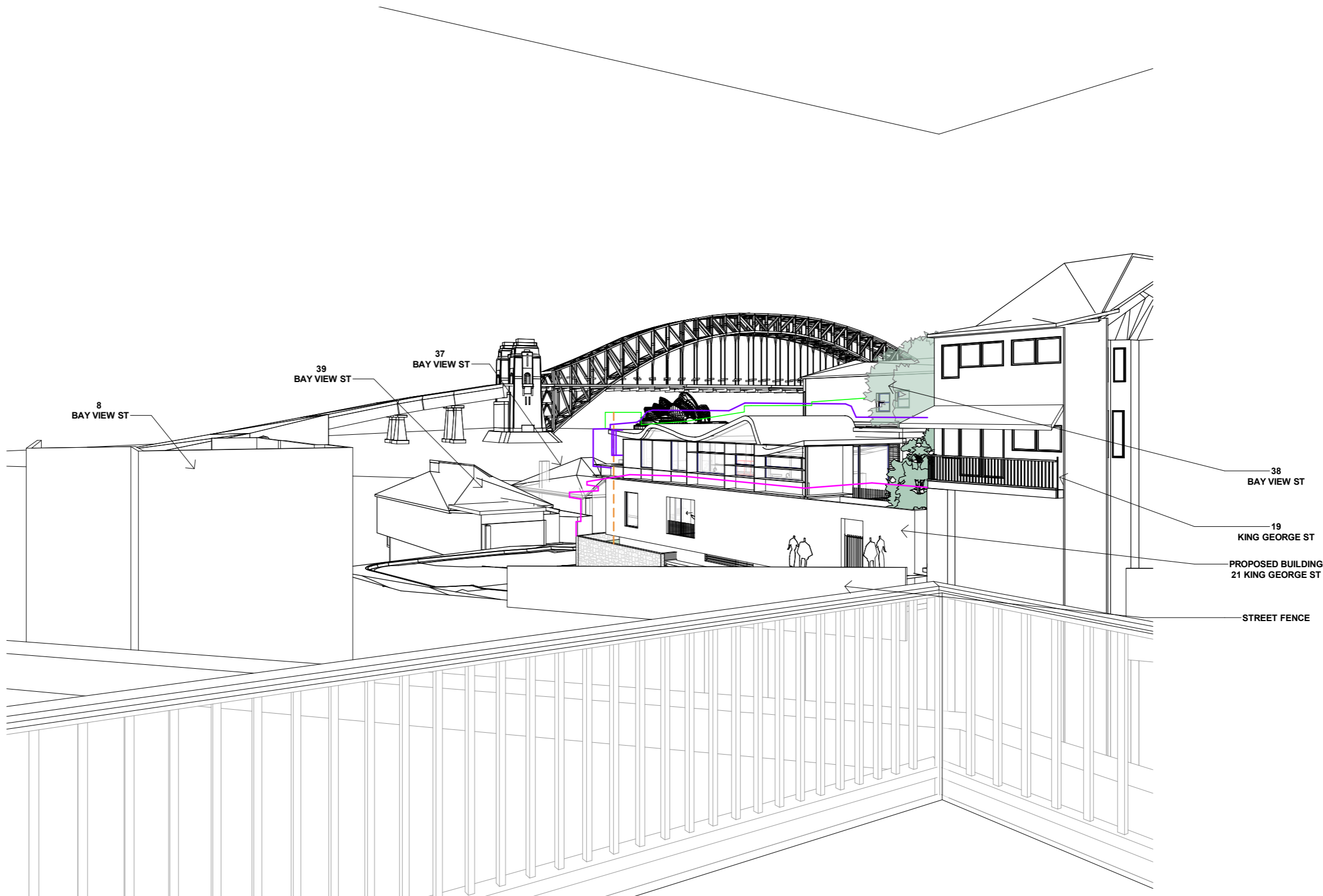
PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
	8.5m HEIGHT CONTROL PLANE	
	OUTLINE EXISTING BUILDING	4.1m SETBACK FROM BAY VIEW ST
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
	OUTLINE NON-COMPLIANT SCHEME	

CLIENT	MB
ARCHITECTURE	
PROJECT	21 King George St
TITLE	21 Waiwera - Apt 10 View 1 + 2
JOB No.	2024
DRAWING No.	01
REV.	H





1 Apt. 10 - View 03

ON BALCONY, APARTMENT 10  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT  
IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE	<span style="color: orange;">- - -</span> 4.1m SETBACK FROM BAY VIEW ST
<span style="color: blue;">—</span>	OUTLINE EXISTING BUILDING	
<span style="color: purple;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
<span style="color: magenta;">—</span>	OUTLINE NON-COMPLIANT SCHEME	

CLIENT	
MB	

ARCHITECTURE *Saville Isaacs*

PROJECT	
21 King George St	

TITLE	JOB No.	DRAWING No.	REV.
21 Waiwera - Apt 10 View 3	2024	02	H





21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO PROVIDED IMAGE FROM COUNCIL SUBMISSION - ATTACHMENT 1112664 - APARTMENT 10 AT 21 WAIWERA ST

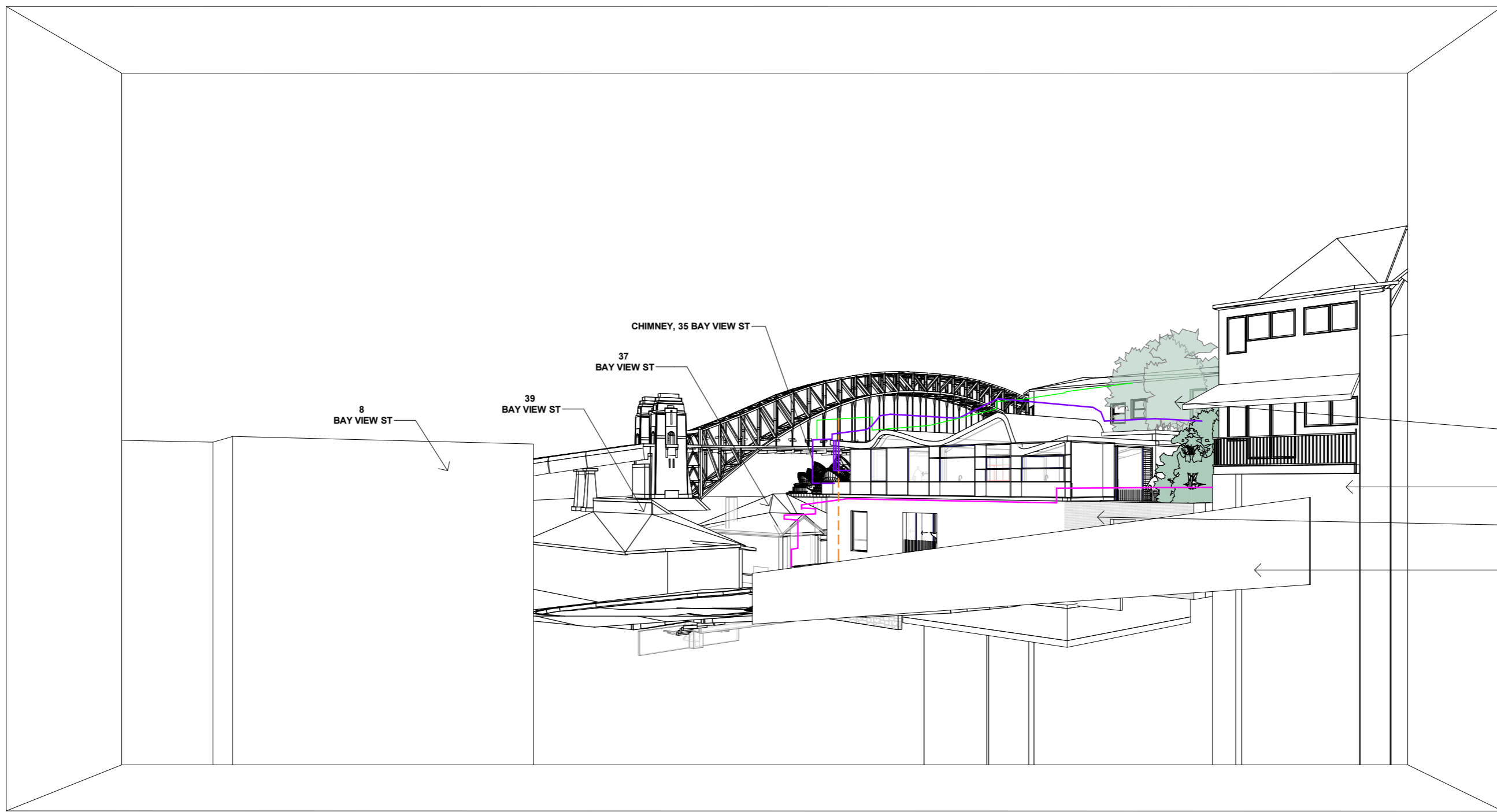
**NOTE:** TRACE OVERLAY IN TOP CORNER TO ILLUSTRATE RELATIVE ACCURACY OF REVIT MODEL OVER PROVIDED IMAGE.

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

<table border="1"> <thead> <tr> <th>Date</th> <th>Rev</th> <th>Issue</th> </tr> </thead> <tbody> <tr> <td>10.10.2021</td> <td>E</td> <td>View Analysis</td> </tr> <tr> <td>13.12.2021</td> <td>H</td> <td>View Analysis</td> </tr> </tbody> </table>			Date	Rev	Issue	10.10.2021	E	View Analysis	13.12.2021	H	View Analysis	<p>CLIENT MB</p>	<p>PROJECT 21 King George St</p>	<p>TITLE 21 Waiwera - Apt 10 Overlay</p>
Date	Rev	Issue												
10.10.2021	E	View Analysis												
13.12.2021	H	View Analysis												
<p>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</p>			<p>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</p>	<p>ARCHITECTURE <i>Saville Isaacs</i></p>	<p>JOB No. 2024</p> <p>DRAWING No. 03</p> <p>REV. H</p>									
<p>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</p>			<p>P: 02 - 9086 9000 F: 02 - 9086 9001</p>	<p>PROJECT DATE 13.12.2021</p>	<p>ISSUED DATE 13.12.2021</p>	<p>SCALE @ A3:</p>	<p>STATUS VIEW ANALYSIS</p>							





1 Apt. 14 - View 01

THROUGH LEFT-HAND, SE-FACING OPENING (BALCONY), APARTMENT 14  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE	<span style="color: orange; border-bottom: 1px dashed orange;">—</span> 4.1m SETBACK FROM BAY VIEW ST
<span style="color: purple;">—</span>	OUTLINE EXISTING BUILDING	
<span style="color: blue;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
<span style="color: red;">—</span>	OUTLINE NON-COMPLIANT SCHEME	

CLIENT  
MB

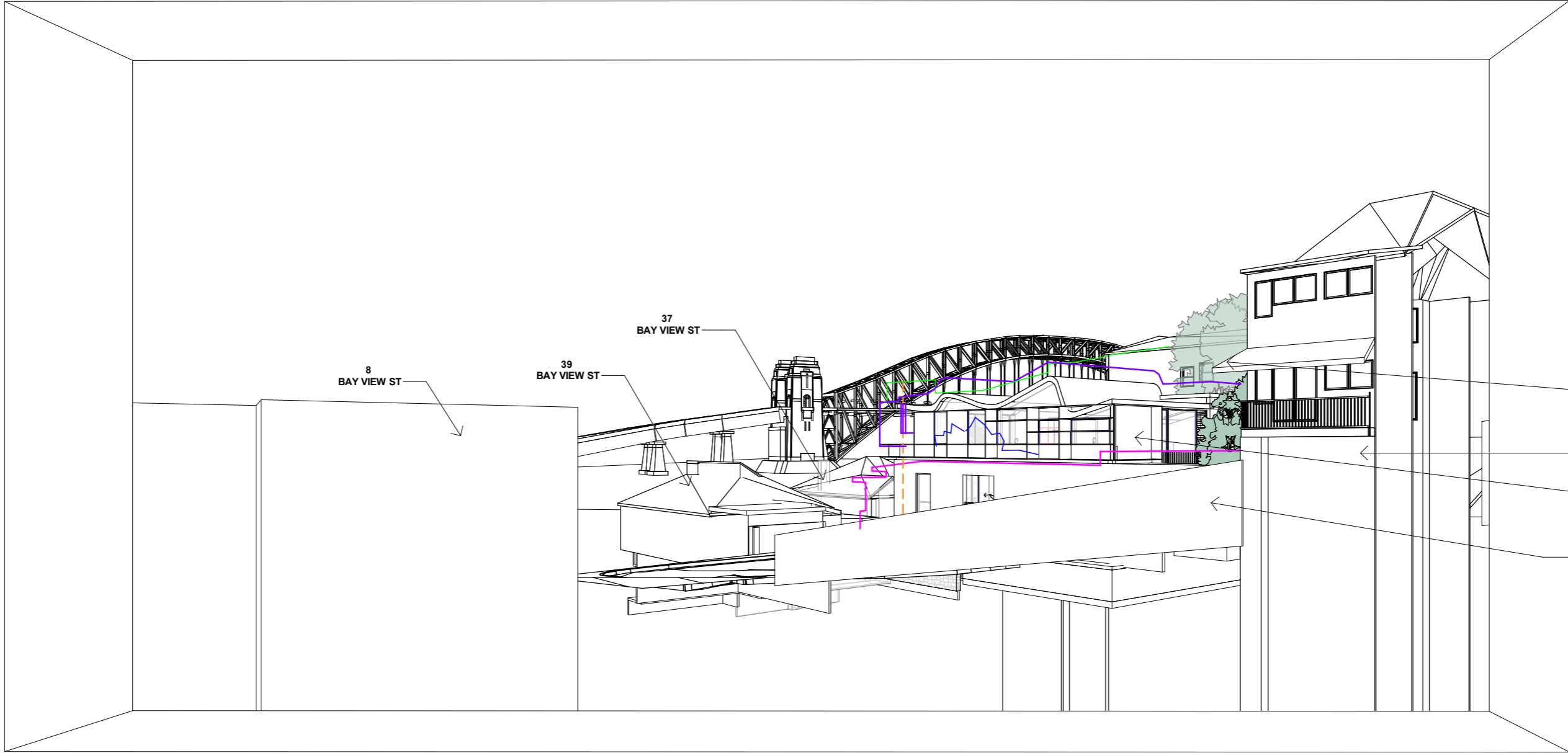
ARCHITECTURE *Saville Isaacs*

PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 14 View 1  
JOB No. 2024 DRAWING No. 04 REV. H

100mm

200mm



1 **Apt. 14 - View 02**

THROUGH RIGHT-HAND, SE-FACING WINDOW, **APARTMENT 14**  
 CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
 PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

**PRELIMINARY**

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
	8.5m HEIGHT CONTROL PLANE	4.1m SETBACK FROM BAY VIEW ST
	OUTLINE EXISTING BUILDING	
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
	OUTLINE NON-COMPLIANT SCHEME	

CLIENT  
 MB

ARCHITECTURE

PROJECT  
 21 King George St

TITLE  
 21 Waiwera - Apt 14 View 2  
 JOB No. 2024 DRAWING No. 05 REV. H

The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project

NSW Nominated Architects: S. ISAACS #7929  
 ABN: 79 124 014 759

P: 02 - 9086 9000  
 F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT DATE 13.12.2021 SCALE @ A3:

STATUS  
 VIEW ANALYSIS





21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO PROVIDED IMAGE FROM COUNCIL SUBMISSION - ATTACHMENT 1115539 - APARTMENT 14 AT 21 WAIWERA ST

**NOTE:** TRACE OVERLAY IN TOP CORNER TO ILLUSTRATE RELATIVE ACCURACY OF REVIT MODEL OVER PROVIDED IMAGE.

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
13.12.2021	H	View Analysis

CLIENT  
MB

ARCHITECTURE *Saville Isaacs*

PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 14 Overlay  
JOB No. 2024  
DRAWING No. 06  
REV. H

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NSW Nominated Architects: S. ISAACS #7929  
ABN: 79 124 014 759

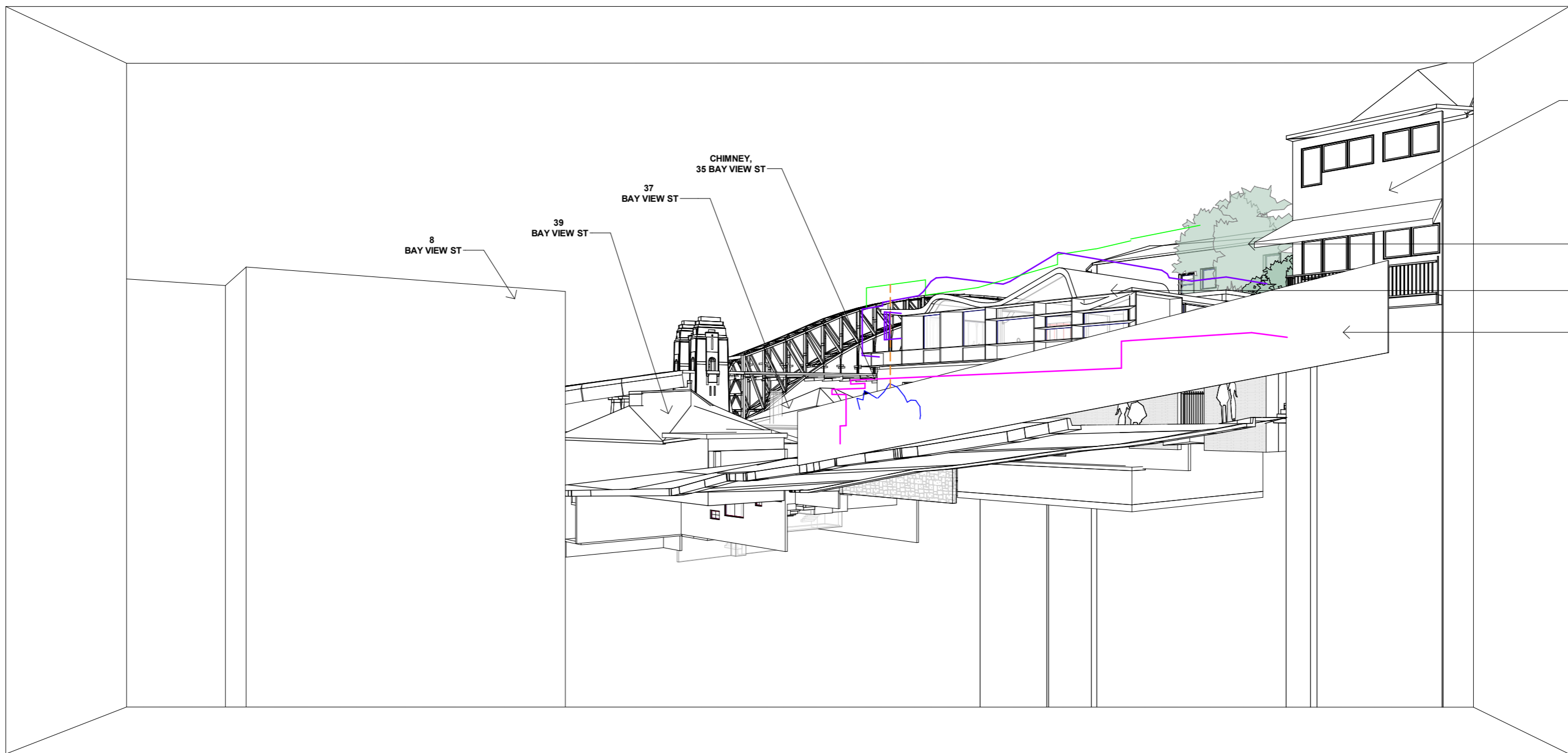
P: 02 - 9086 9000  
F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT DATE ISSUED DATE  
13.12.2021

SCALE @ A3:

STATUS  
VIEW ANALYSIS



1 Apt. 17 - View 01

THROUGH LEFT-HAND, SE-FACING WINDOW, APARTMENT 17  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND	
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE
<span style="color: magenta;">—</span>	OUTLINE EXISTING BUILDING
<span style="color: blue;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)
<span style="color: purple;">—</span>	OUTLINE NON-COMPLIANT SCHEME
<span style="color: orange;">- - -</span>	4.1m SETBACK FROM BAY VIEW ST

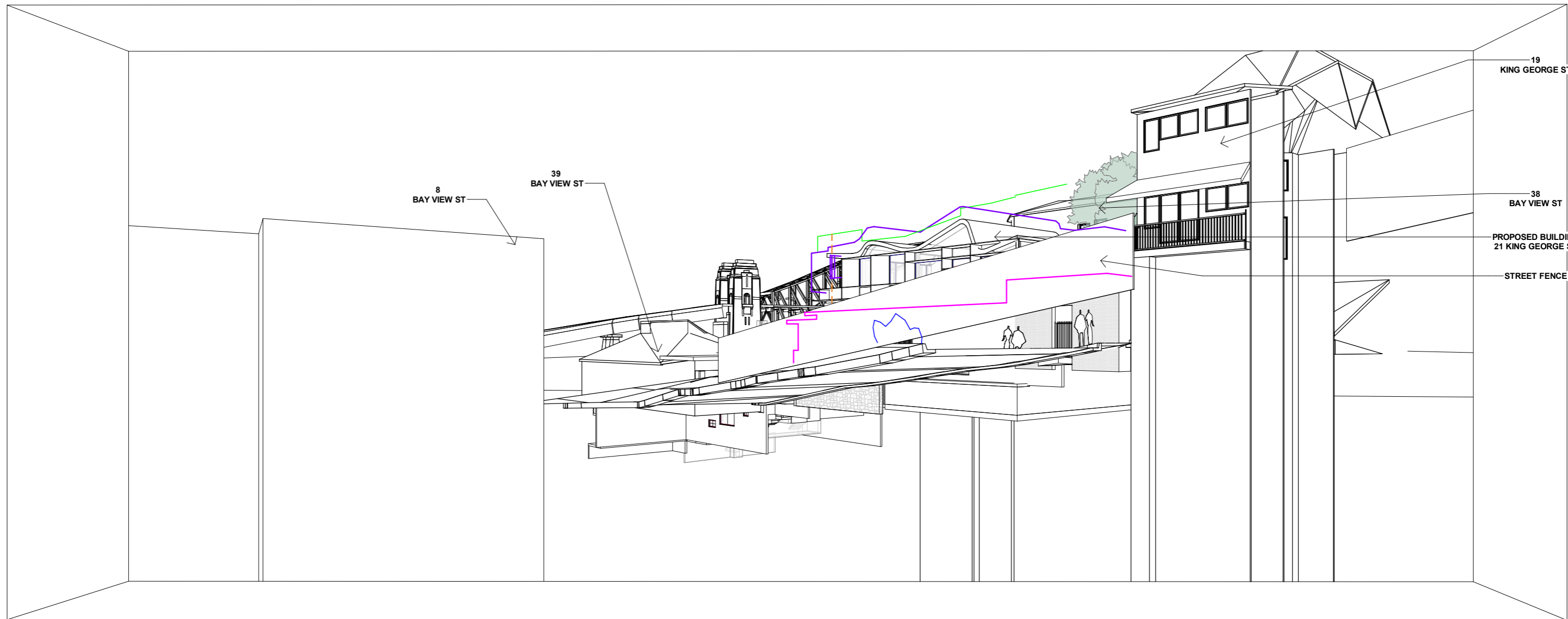
CLIENT	MB
ARCHITECTURE	<i>Saville Isaacs</i>

PROJECT	21 King George St
---------	-------------------

TITLE	21 Waiwera - Apt 17 View 1
JOB No.	2024
DRAWING No.	07
REV.	H

PROJECT DATE	ISSUED DATE	SCALE @ A3:	STATUS
	13.12.2021		VIEW ANALYSIS





1 Apt. 17 - View 02

THROUGH RIGHT-HAND, SE-FACING WINDOW, APARTMENT 17  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

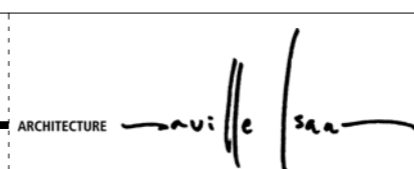
PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE	<span style="color: orange;">- - -</span> 4.1m SETBACK FROM BAY VIEW ST
<span style="color: pink;">—</span>	OUTLINE EXISTING BUILDING	
<span style="color: blue;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
<span style="color: purple;">—</span>	OUTLINE NON-COMPLIANT SCHEME	

CLIENT  
MB

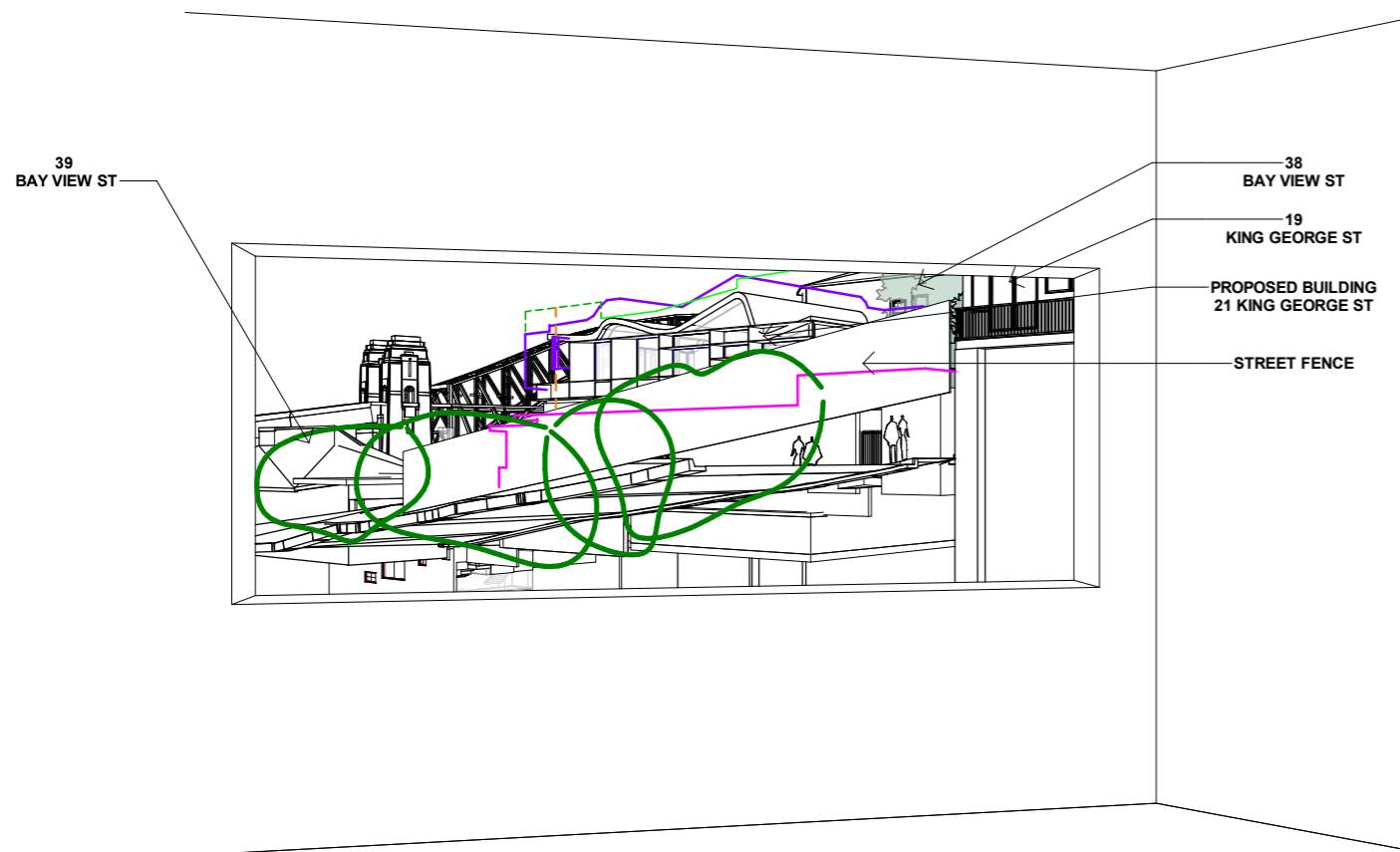
ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060



PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 17 View 2

JOB No. 2024  
DRAWING No. 08  
REV. H



1 Apt. 17 - View 03

THROUGH RIGHT-HAND, SE-FACING WINDOW, APARTMENT 17  
LOCATED TO MATCH VIEW SEEN IN OBJECTED IMAGE

FIG. 7, ATTACHMENT FROM SUBMISSION  
REFERENCE #: 9LDMKHW - APARTMENT 17

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT  
IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE	<span style="color: orange;">- - -</span> 4.1m SETBACK FROM BAY VIEW ST
<span style="color: blue;">—</span>	OUTLINE EXISTING BUILDING	
<span style="color: purple;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
<span style="color: magenta;">—</span>	OUTLINE NON-COMPLIANT SCHEME	

CLIENT  
MB

NSW Nominated Architects: S. ISAACS #7929  
ABN: 79 124 014 759

P: 02 - 9086 9000  
F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060



PROJECT  
21 King George St

PROJECT DATE  
13.12.2021

ISSUED DATE  
13.12.2021

SCALE @ A3:

TITLE  
21 Waiwera - Apt 17 View 3

JOB No. 2024  
DRAWING No. 09  
REV. H

STATUS  
VIEW ANALYSIS

The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project





21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO PROVIDED IMAGE FROM COUNCIL SUBMISSION - ATTACHMENT 1115754 - UNIT 17 AT 21 WAIWERA ST

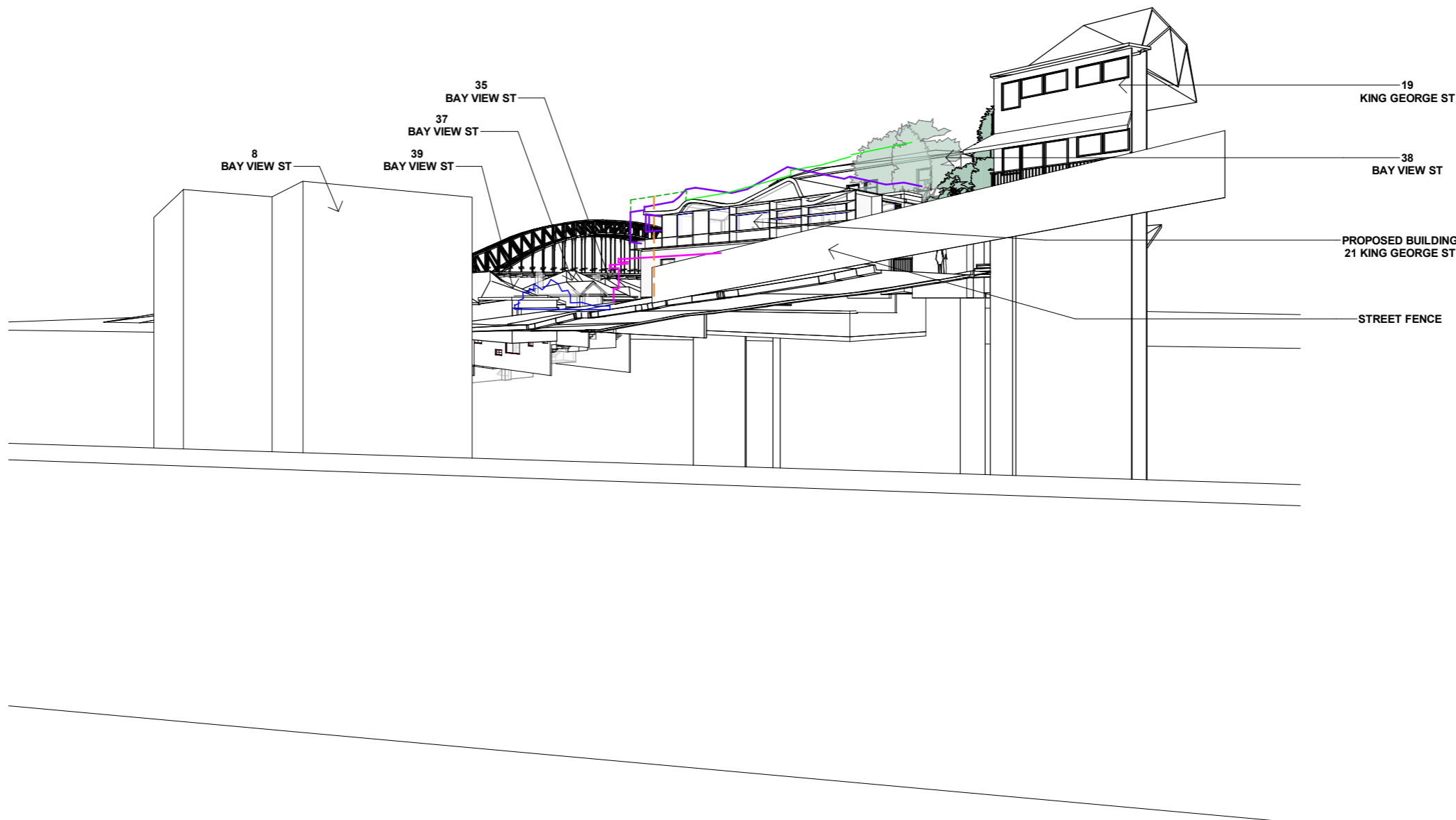
**NOTE:** TRACE OVERLAY IN TOP CORNER TO ILLUSTRATE RELATIVE ACCURACY OF REVIT MODEL OVER PROVIDED IMAGE.

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

Date	Rev	Issue	CLIENT	PROJECT	TITLE					
10.10.2021	E	View Analysis	MB	21 King George St	21 Waiwera - Apt 17 Overlay					
13.12.2021	H	View Analysis			JOB No. 2024					
					DRAWING No. 10					
					REV. H					
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>ARCHITECTURE <i>Saville Isaacs</i></small>	<small>PROJECT DATE 13.12.2021</small>	<small>ISSUED DATE 13.12.2021</small>	<small>SCALE @ A3:</small>	<small>STATUS VIEW ANALYSIS</small>





1 Garden - View 01

VIEW FROM MAIN GARDEN, REAR OF 21 WAIWERA ST  
LOCATED 4m BEHIND REAR BRICK WALL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT  
IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
20.09.2021	C	View Analysis
10.10.2021	E	View Analysis
13.12.2021	H	View Analysis

LEGEND		
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE	<span style="color: orange;">- - -</span> 4.1m SETBACK FROM BAY VIEW ST
<span style="color: blue;">—</span>	OUTLINE EXISTING BUILDING	
<span style="color: purple;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
<span style="color: magenta;">—</span>	OUTLINE NON-COMPLIANT SCHEME	

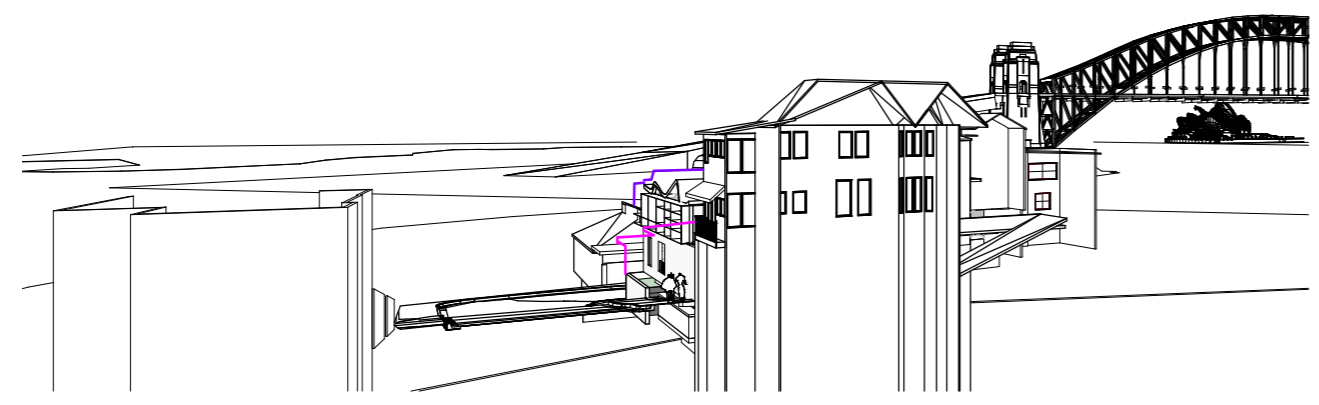
CLIENT  
MB

ARCHITECTURE *Saville Isaacs*

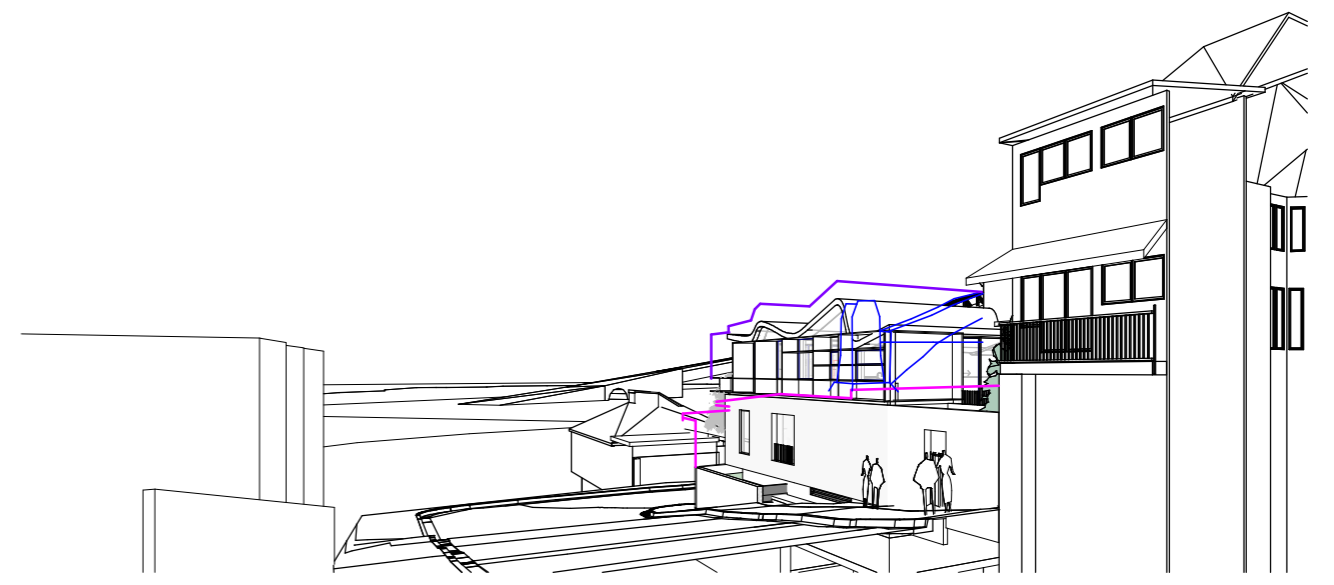
PROJECT  
21 King George St

TITLE  
21 Waiwera - Garden  
JOB No. 2024  
DRAWING No. 11  
REV. H

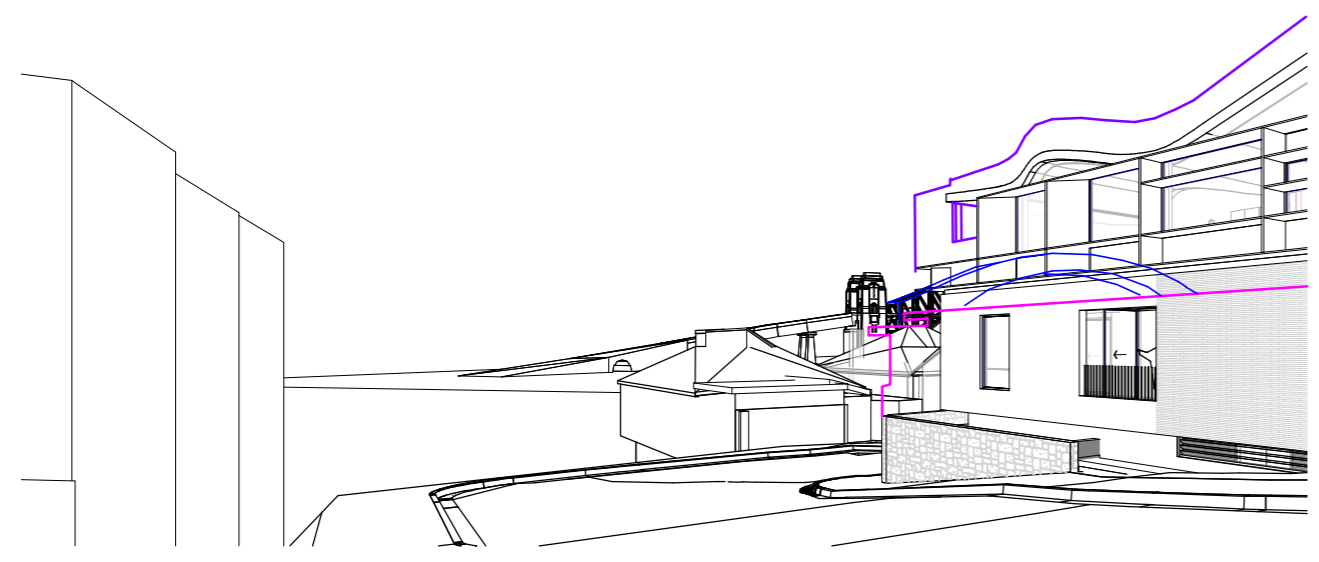




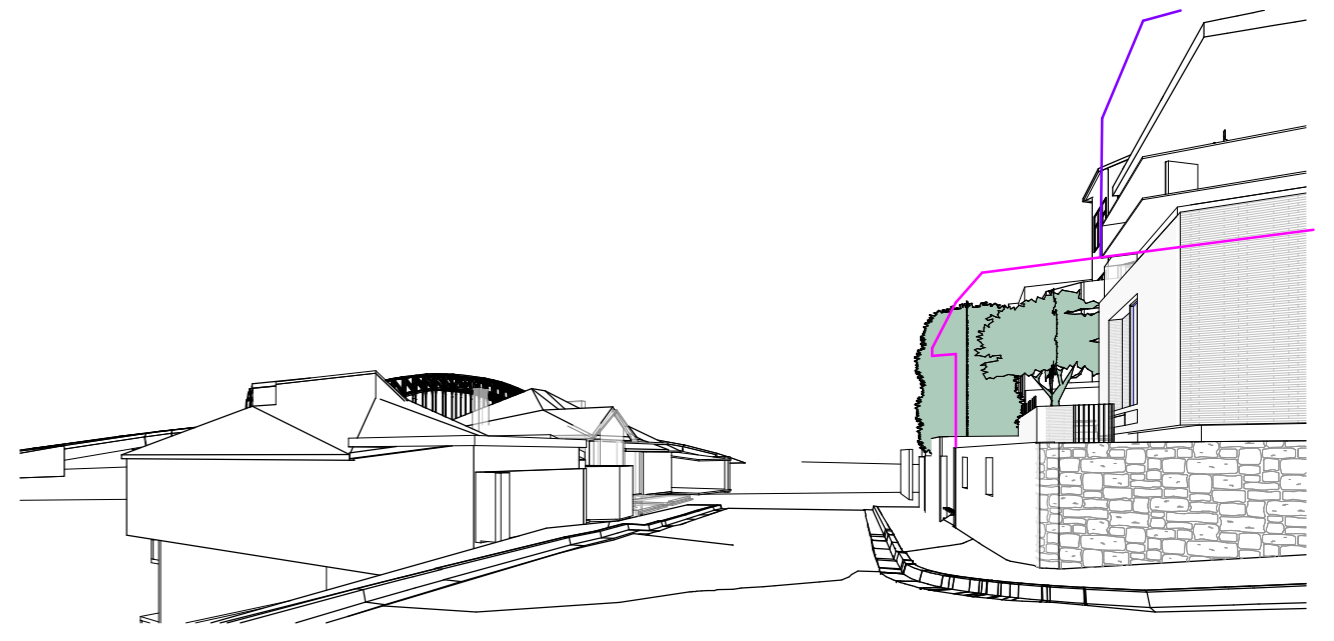
1 King George St - View 01



2 King George St - View 02



3 King George St - View 03



4 King George St - View 04

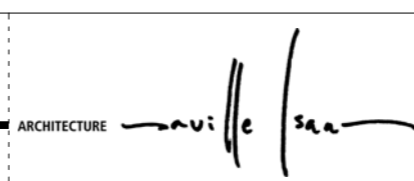
PRELIMINARY

Date	Rev	Issue
06.09.2021	B	View Analysis
20.09.2021	C	View Analysis
10.10.2021	E	View Analysis

LEGEND	Description
	8.5m HEIGHT CONTROL PLANE
	OUTLINE EXISTING BUILDING
	OUTLINE HARBOUR BRIDGE (WHEN HIDDEN)
	OUTLINE NON-COMPLIANT SCHEME

CLIENT  
MB

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060



PROJECT  
21 King George St

PROJECT DATE  
10.10.2021

TITLE  
Street Views - King George St

JOB No. 2024  
DRAWING No. 12  
REV. E

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ABN: 79 124 014 759

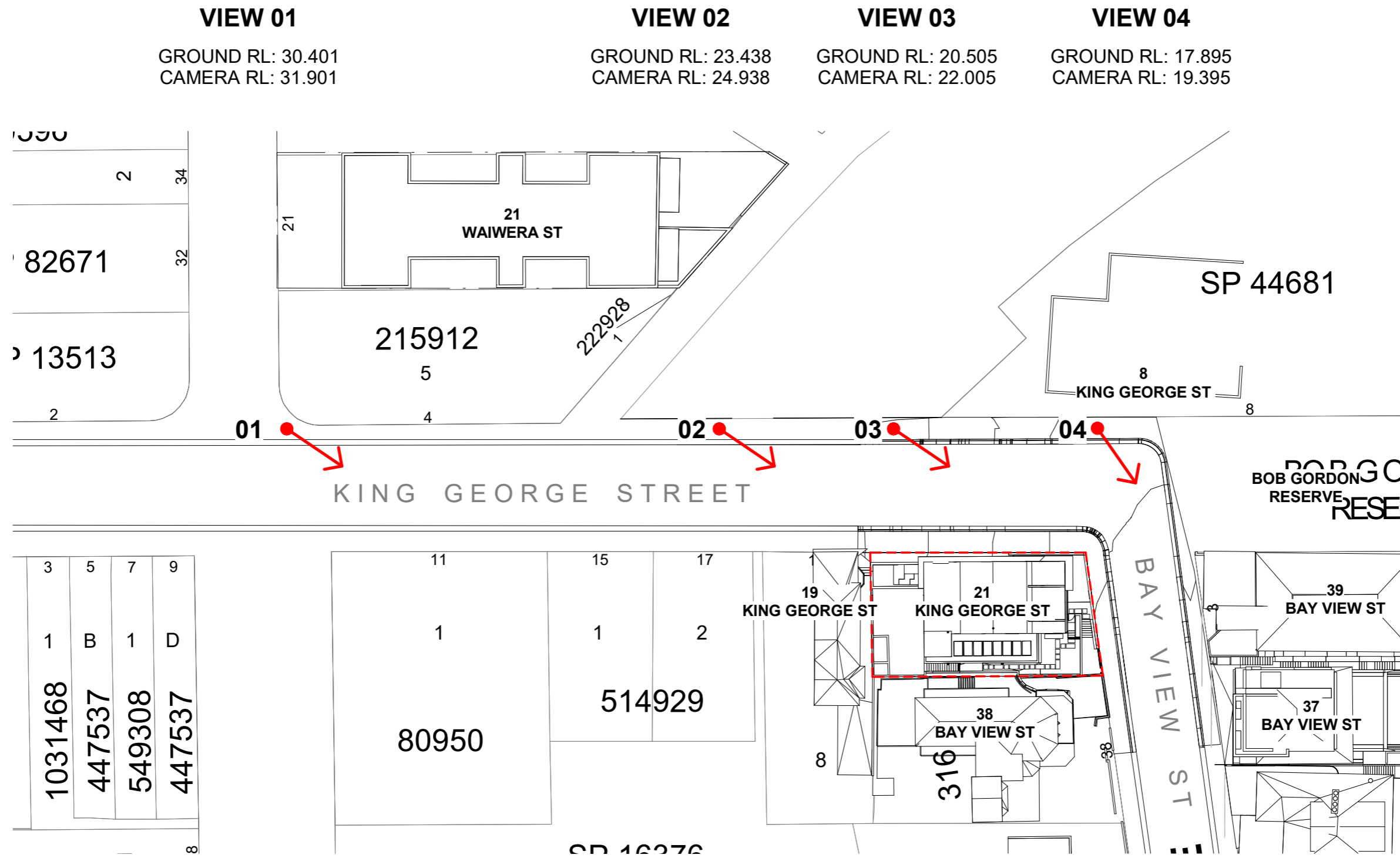
P: 02 - 9086 9000  
F: 02 - 9086 9001

SCALE @ A3:  
STATUS  
VIEW ANALYSIS

0mm 100mm 200mm 300mm 400mm

100mm

200mm



1 Site Plan - View Key

PRELIMINARY

Date 20.09.2021	Rev C	Issue View Analysis	CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St	TITLE Street View Plan Key
10.10.2021	E	View Analysis			PROJECT DATE 10.10.2021	JOB No. 2024
The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project			NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759	P: 02 - 9086 9000 F: 02 - 9086 9001	ISSUED DATE 10.10.2021	DRAWING No. 13
			ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	ARCHITECTURE <i>Saville Isaacs</i>	SCALE @ A3: 1 : 500	REV. E
					STATUS VIEW ANALYSIS	





21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO  
IMAGE PROVIDED BY AK PLANNING - UNIT 9 AT 21 WAIWERA ST

**NOTE:** TRACE OVERLAY IN TOP CORNER TO ILLUSTRATE RELATIVE ACCURACY OF REVIT MODEL OVER PROVIDED IMAGE.

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

Date	Rev	Issue
11.11.2021	F	View Analysis
13.12.2021	H	View Analysis

CLIENT  
MB

ARCHITECTURE *Saville Isaacs*

PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 09 Overlay  
JOB No. 2024  
DRAWING No. 14  
REV. H

The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project

NSW Nominated Architects: S. ISAACS #7929  
ABN: 79 124 014 759

P: 02 - 9086 9000  
F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT DATE ISSUED DATE  
13.12.2021

SCALE @ A3:

STATUS  
VIEW ANALYSIS





21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO  
IMAGE PROVIDED BY AK PLANNING - UNIT 9 AT 21 WAIWERA ST

**NOTE:** TRACE OVERLAY IN TOP CORNER TO ILLUSTRATE RELATIVE ACCURACY OF REVIT MODEL OVER PROVIDED IMAGE.

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

Date	Rev	Issue
11.11.2021	F	View Analysis
13.12.2021	H	View Analysis

CLIENT  
MB

PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 09 Overlay  
JOB No. 2024  
DRAWING No. 15  
REV. H

ARCHITECTURE *Saville Isaacs*

PROJECT DATE 13.12.2021

SCALE @ A3:

STATUS  
VIEW ANALYSIS

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NSW Nominated Architects: S. ISAACS #7929  
ABN: 79 124 014 759

P: 02 - 9086 9000  
F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060





0mm 100mm 200mm 300mm 400mm

100mm

200mm

**LEGEND**

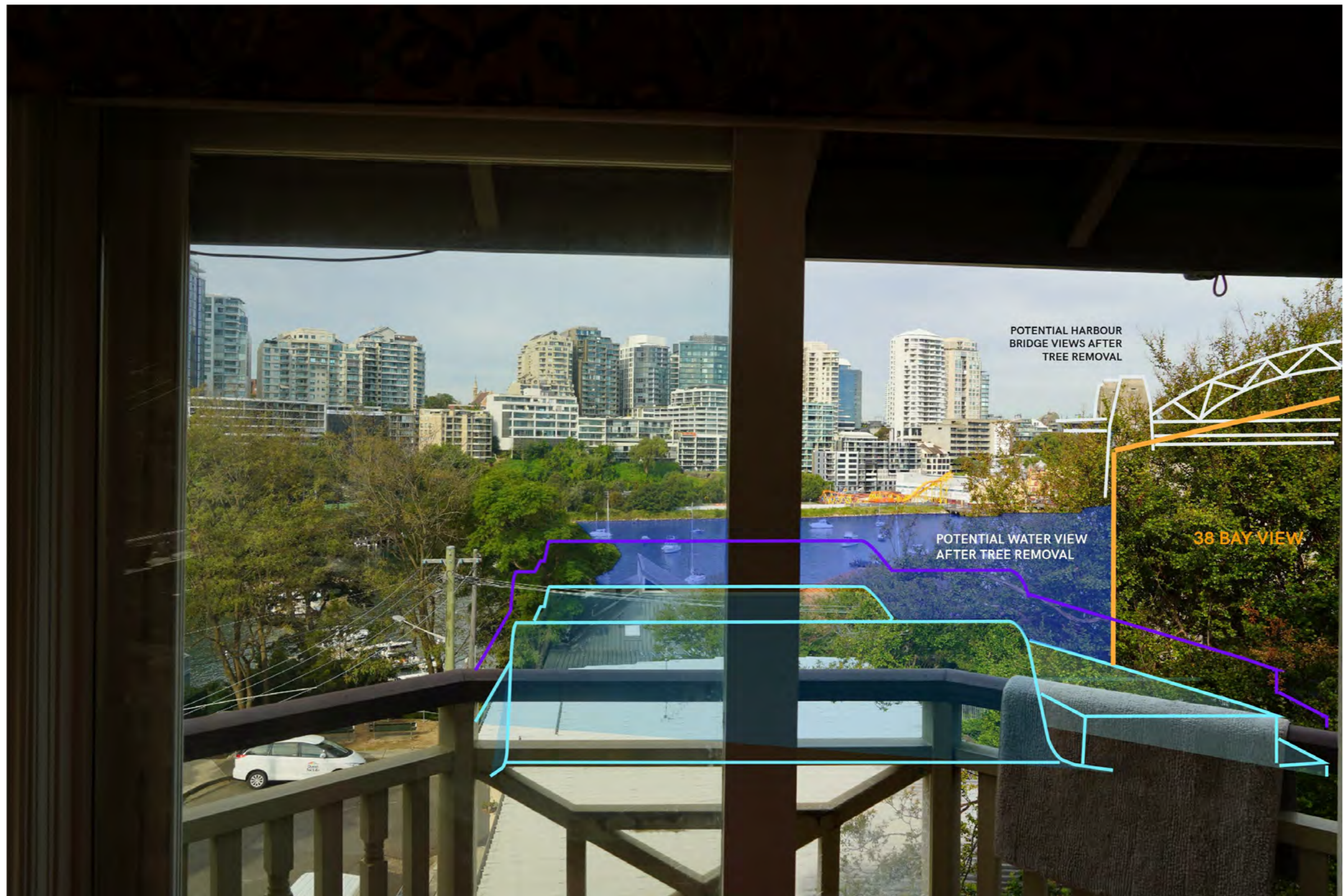
	PROPOSED BUILDING (AS ORIGINALLY SUBMITTED)
	PROPOSED BUILDING (AMENDED, LOWERED HEIGHT)
	HARBOUR BRIDGE
	NEIGHBOUR 38 BAY VIEW
	POTENTIAL WATER VIEWS (AFTER TREE REMOVAL)

21 KING GEORGE ST, PROPOSED BUILDING OUTLINE OVERLAID  
 ONTO IMAGE PROVIDED BY RICHARD LAMB - RLA09249

PRELIMINARY

Date 11.11.2021	Rev F	Issue View Analysis	CLIENT MB	ARCHITECTURE 	PROJECT 21 King George St	TITLE 19 King George - RLA09249						
The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project			NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759	P: 02 - 9086 9000 F: 02 - 9086 9001	ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	PROJECT DATE 11.11.2021	ISSUED DATE 11.11.2021	SCALE @ A3: 1 : 100	JOB No. 2024	DRAWING No. 16	REV. F	STATUS VIEW ANALYSIS





0mm

100mm

200mm

300mm

400mm

100mm

200mm

POTENTIAL HARBOUR BRIDGE VIEWS AFTER TREE REMOVAL

POTENTIAL WATER VIEW AFTER TREE REMOVAL

38 BAY VIEW

LEGEND

- PROPOSED BUILDING (AS ORIGINALLY SUBMITTED)
- PROPOSED BUILDING (AMENDED, LOWERED HEIGHT)
- HARBOUR BRIDGE
- NEIGHBOUR 38 BAY VIEW
- POTENTIAL WATER VIEWS (AFTER TREE REMOVAL)

21 KING GEORGE ST, PROPOSED BUILDING OUTLINE OVERLAID ONTO IMAGE PROVIDED BY RICHARD LAMB - RLA09255

PRELIMINARY

Date 11.11.2021	Rev F	Issue View Analysis	CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St	TITLE 19 King George - RLA09255		
The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project			NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759	P: 02 - 9086 9000 F: 02 - 9086 9001	ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	JOB No. 2024	DRAWING No. 17	REV. F
		PROJECT DATE 11.11.2021	ISSUED DATE 11.11.2021	SCALE @ A3: 1 : 100	STATUS VIEW ANALYSIS			





POTENTIAL WATER VIEW  
AFTER TREE REMOVAL

21 KING GEORGE ST, PROPOSED BUILDING OUTLINE OVERLAID  
ONTO IMAGE PROVIDED BY RICHARD LAMB - RLA09256

**LEGEND**

	PROPOSED BUILDING (AS ORIGINALLY SUBMITTED)
	PROPOSED BUILDING (AMENDED, LOWERED HEIGHT)
	HARBOUR BRIDGE
	NEIGHBOUR 38 BAY VIEW
	POTENTIAL WATER VIEWS (AFTER TREE REMOVAL)

PRELIMINARY

Date 11.11.2021	Rev F	Issue View Analysis	CLIENT MB	ARCHITECTURE 	PROJECT 21 King George St	TITLE 19 King George - RLA09256		
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>JOB No. 2024</small>	<small>DRAWING No. 18</small>	<small>REV. F</small>
PROJECT DATE 11.11.2021		ISSUED DATE 11.11.2021	SCALE @ A3: 1 : 100	STATUS VIEW ANALYSIS				





0mm 100mm 200mm 300mm 400mm

100mm

200mm

**LEGEND**

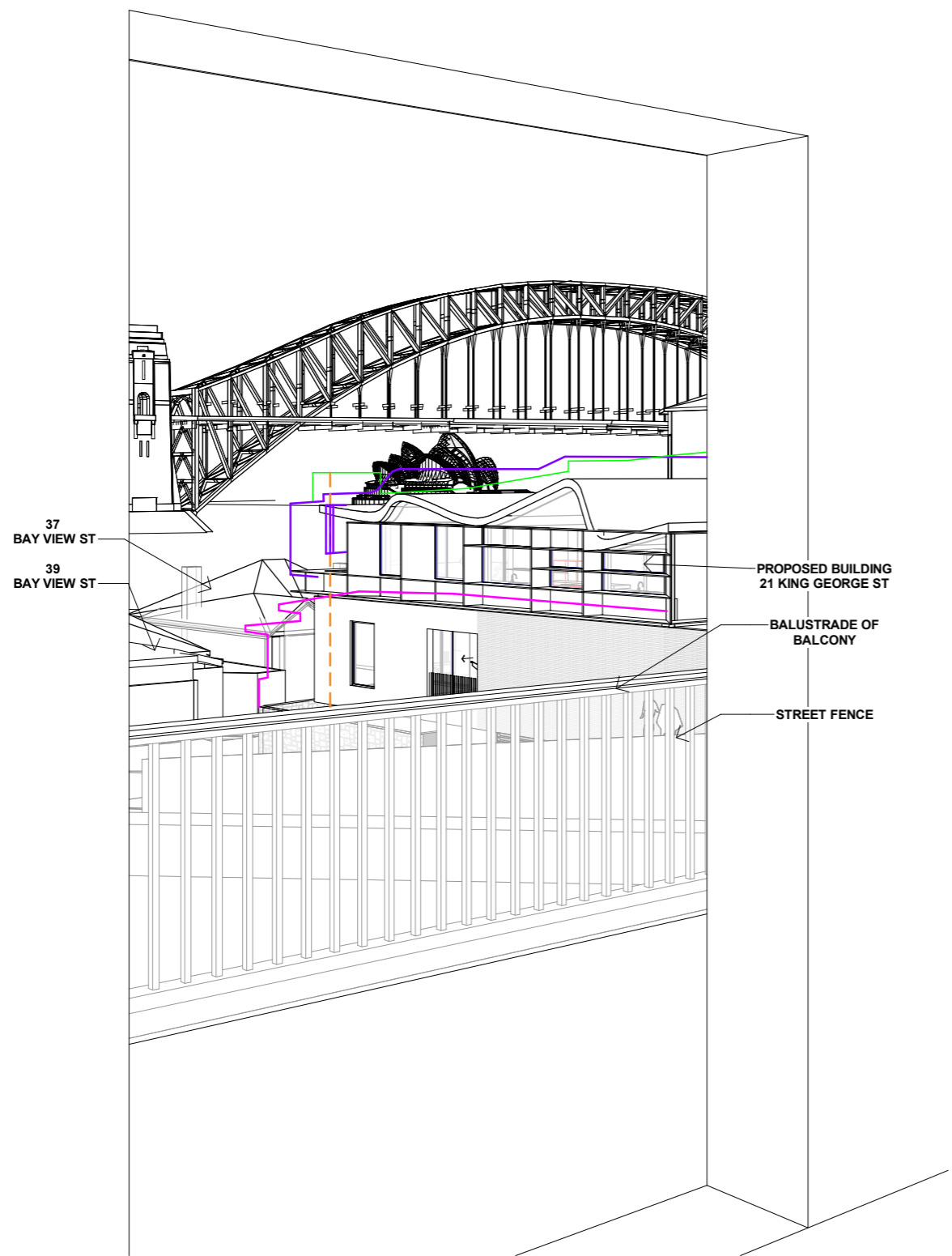
	PROPOSED BUILDING (AS ORIGINALLY SUBMITTED)
	PROPOSED BUILDING (AMENDED, LOWERED HEIGHT)
	HARBOUR BRIDGE
	NEIGHBOUR 38 BAY VIEW
	POTENTIAL WATER VIEWS (AFTER TREE REMOVAL)

21 KING GEORGE ST, PROPOSED BUILDING OUTLINE OVERLAID ONTO IMAGE PROVIDED BY RICHARD LAMB - RLA09258

PRELIMINARY

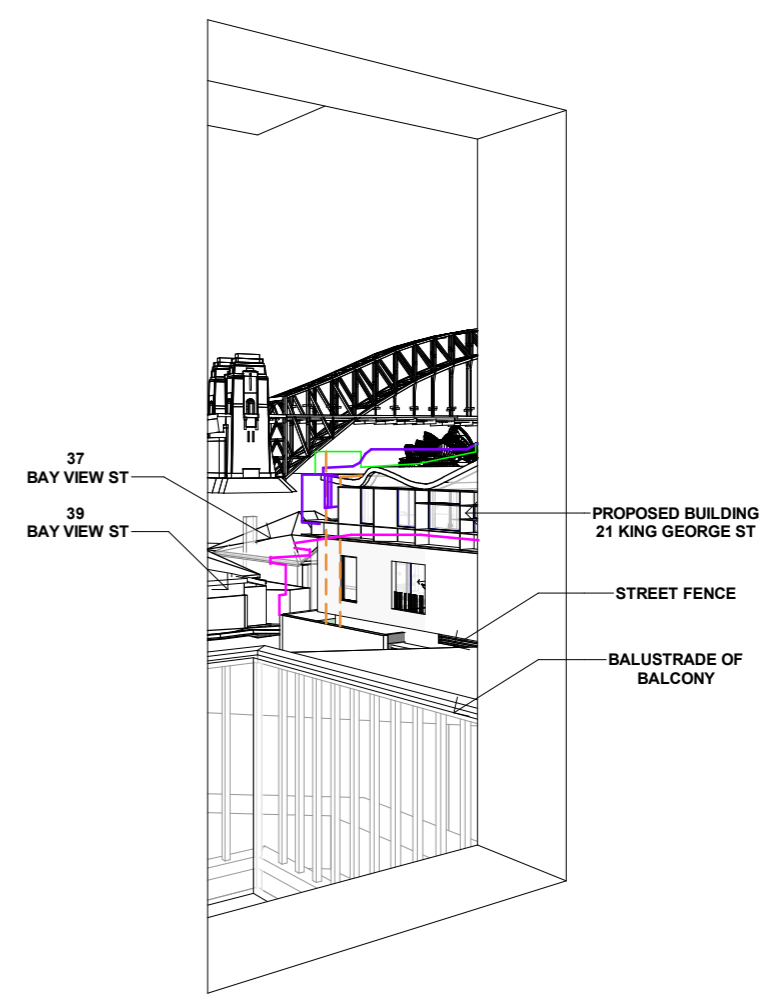
Date 11.11.2021	Rev F	Issue View Analysis	CLIENT MB	ARCHITECTURE 	PROJECT 21 King George St	TITLE 19 King George - RLA09258		
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>JOB No. 2024</small>	<small>DRAWING No. 19</small>	<small>REV. F</small>
<small>PROJECT DATE</small> 11.11.2021		<small>ISSUED DATE</small> 11.11.2021	<small>SCALE @ A3:</small> 1 : 100	<small>STATUS</small> VIEW ANALYSIS				





1 Apt. 10 - View 01

THROUGH DOUBLE DOORS TO BALCONY, **APARTMENT 10**  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL



2 Apt. 10 - View 02

THROUGH EAST WINDOW, **APARTMENT 10**  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

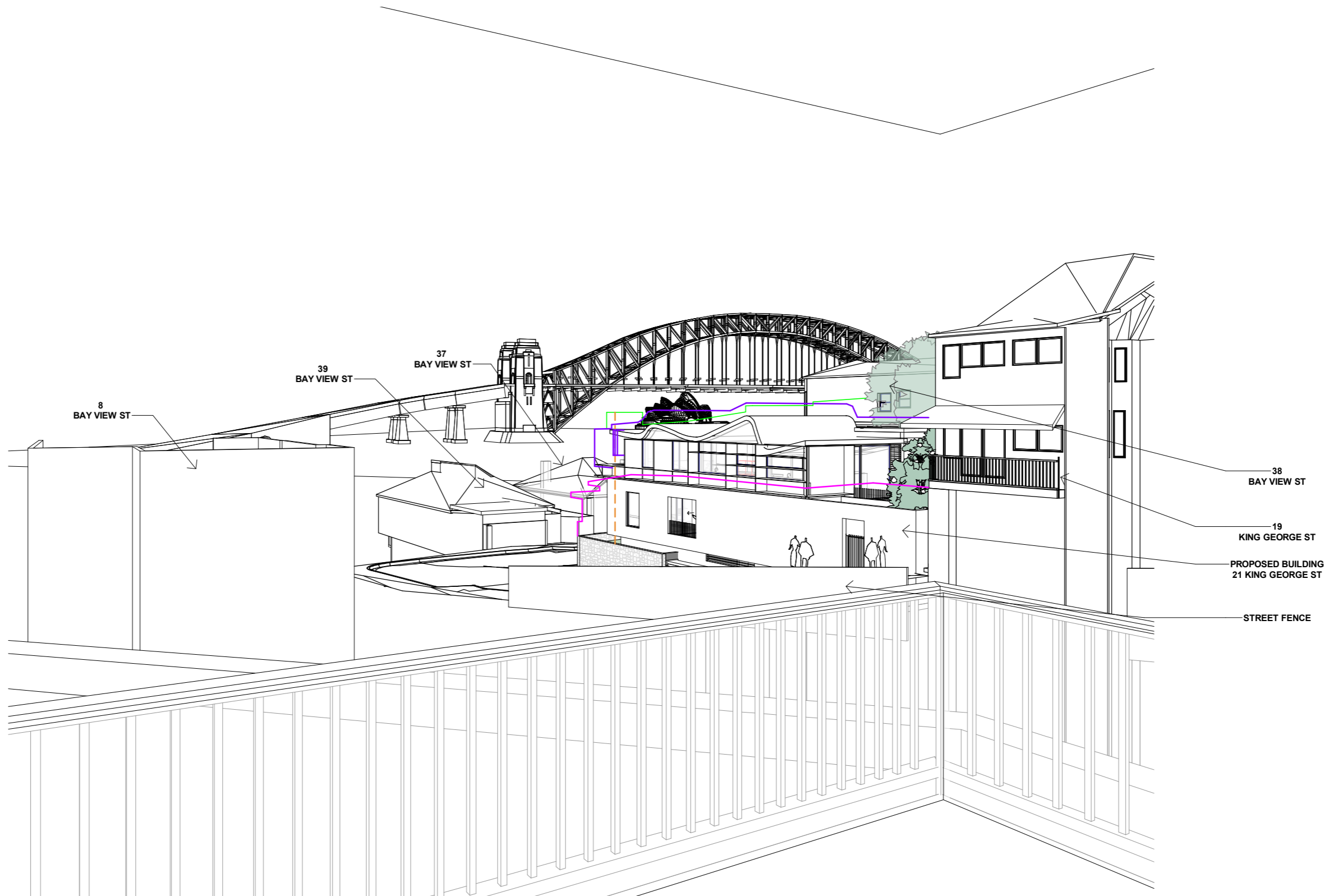
**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
	8.5m HEIGHT CONTROL PLANE	
	OUTLINE EXISTING BUILDING	4.1m SETBACK FROM BAY VIEW ST
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
	OUTLINE NON-COMPLIANT SCHEME	

CLIENT	MB
ARCHITECTURE	
PROJECT	21 King George St
TITLE	21 Waiwera - Apt 10 View 1 + 2
JOB No.	2024
DRAWING No.	01
REV.	H



1 Apt. 10 - View 03

ON BALCONY, APARTMENT 10  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT  
IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
	8.5m HEIGHT CONTROL PLANE	4.1m SETBACK FROM BAY VIEW ST
	OUTLINE EXISTING BUILDING	
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
	OUTLINE NON-COMPLIANT SCHEME	

CLIENT	MB
ARCHITECTURE	
PROJECT	21 King George St
TITLE	21 Waiwera - Apt 10 View 3
JOB No.	2024
DRAWING No.	02
REV.	H





21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO PROVIDED IMAGE FROM COUNCIL SUBMISSION - ATTACHMENT 1112664 - APARTMENT 10 AT 21 WAIWERA ST

**NOTE:** TRACE OVERLAY IN TOP CORNER TO ILLUSTRATE RELATIVE ACCURACY OF REVIT MODEL OVER PROVIDED IMAGE.

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
13.12.2021	H	View Analysis

CLIENT  
MB

ARCHITECTURE *Saville Isaacs*

PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 10 Overlay  
JOB No. 2024  
DRAWING No. 03  
REV. H

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NSW Nominated Architects: S. ISAACS #7929  
ABN: 79 124 014 759

P: 02 - 9086 9000  
F: 02 - 9086 9001

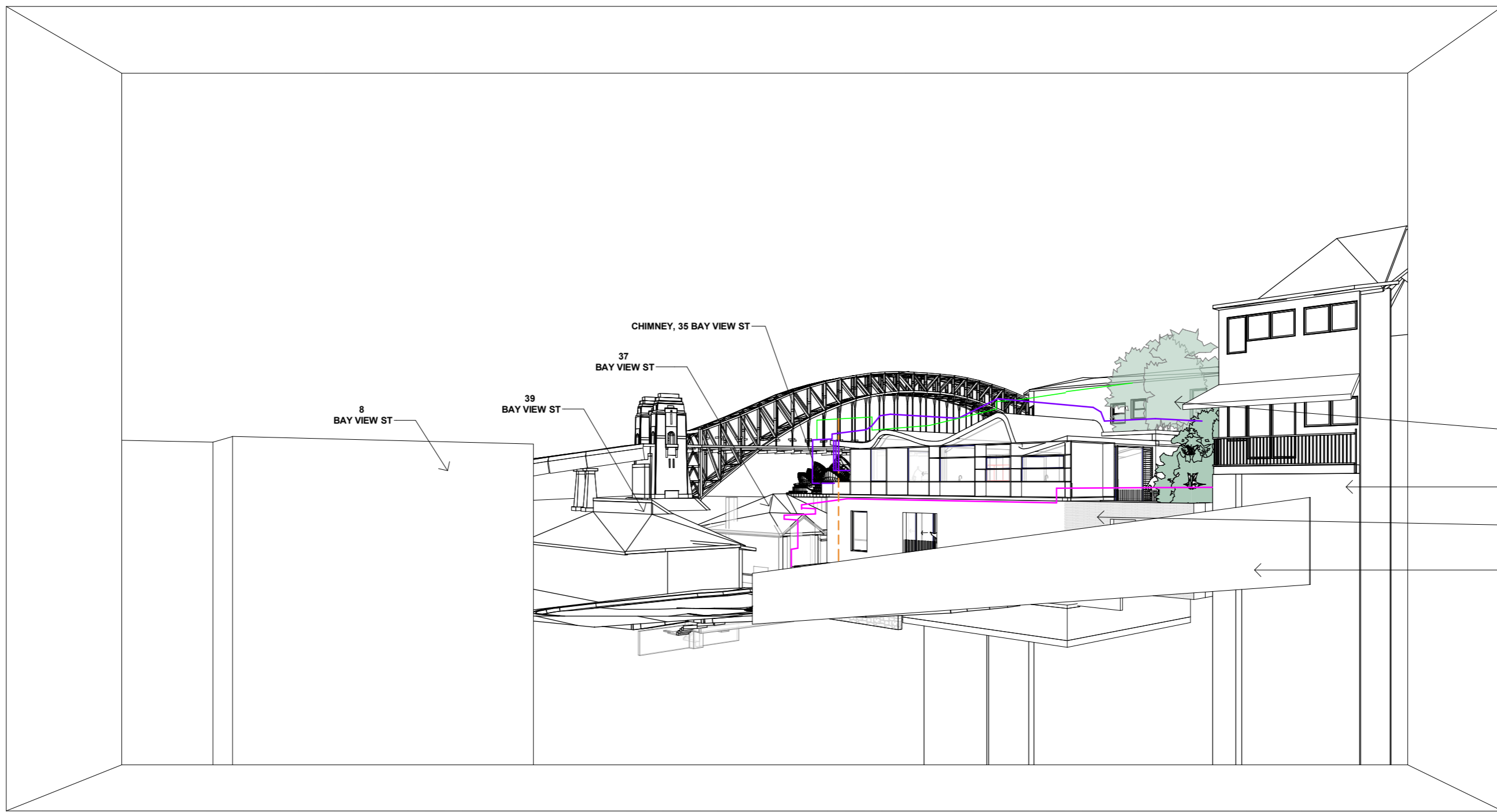
ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT DATE ISSUED DATE  
13.12.2021

SCALE @ A3:

STATUS  
VIEW ANALYSIS





1 Apt. 14 - View 01

THROUGH LEFT-HAND, SE-FACING OPENING (BALCONY), APARTMENT 14  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE	<span style="color: orange;">- - -</span> 4.1m SETBACK FROM BAY VIEW ST
<span style="color: magenta;">—</span>	OUTLINE EXISTING BUILDING	
<span style="color: blue;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
<span style="color: purple;">—</span>	OUTLINE NON-COMPLIANT SCHEME	

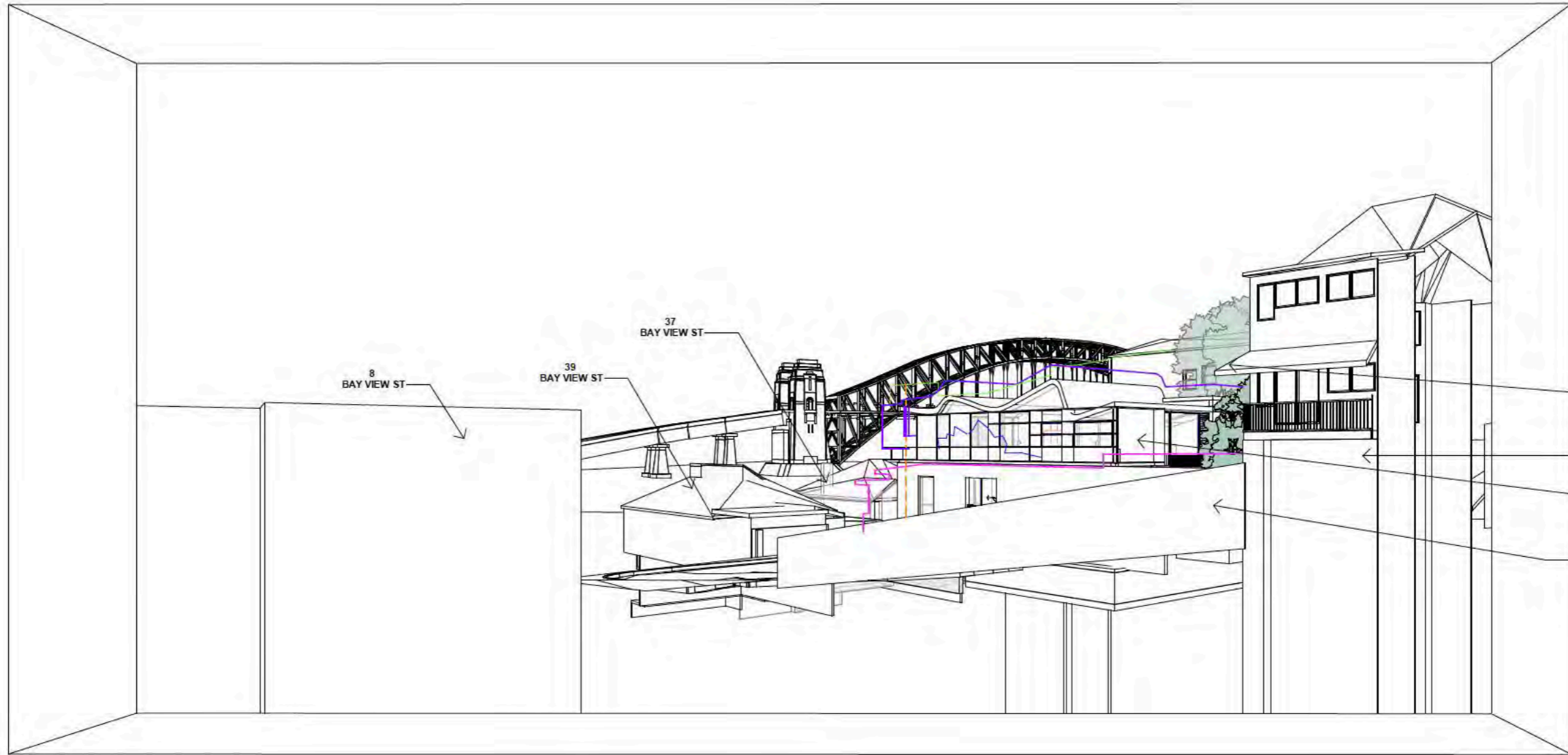
CLIENT  
MB

ARCHITECTURE *Saville Isaacs*

PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 14 View 1  
JOB No. 2024  
DRAWING No. 04  
REV. H





1 Apt. 14 - View 02

THROUGH RIGHT-HAND, SE-FACING WINDOW, APARTMENT 14  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
	8.5m HEIGHT CONTROL PLANE	
	OUTLINE EXISTING BUILDING	
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
	OUTLINE NON-COMPLIANT SCHEME	

CLIENT  
MB

NSW Nominated Architects: S. ISAACS #7829  
ABN: 79 124 014 759

P: 02 - 9086 9000  
F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, MCMAHONS POINT, NSW 2060

ARCHITECTURE

PROJECT  
21 King George St

PROJECT DATE 13.12.2021

TITLE  
21 Waiwera - Apt 14 View 2

JOB No. 2024  
DRAWING No. 05  
REV. H

SCALE @ A3:  
STATUS  
VIEW ANALYSIS

The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project.






21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO PROVIDED IMAGE FROM COUNCIL SUBMISSION - ATTACHMENT 1115539 - APARTMENT 14 AT 21 WAIWERA ST

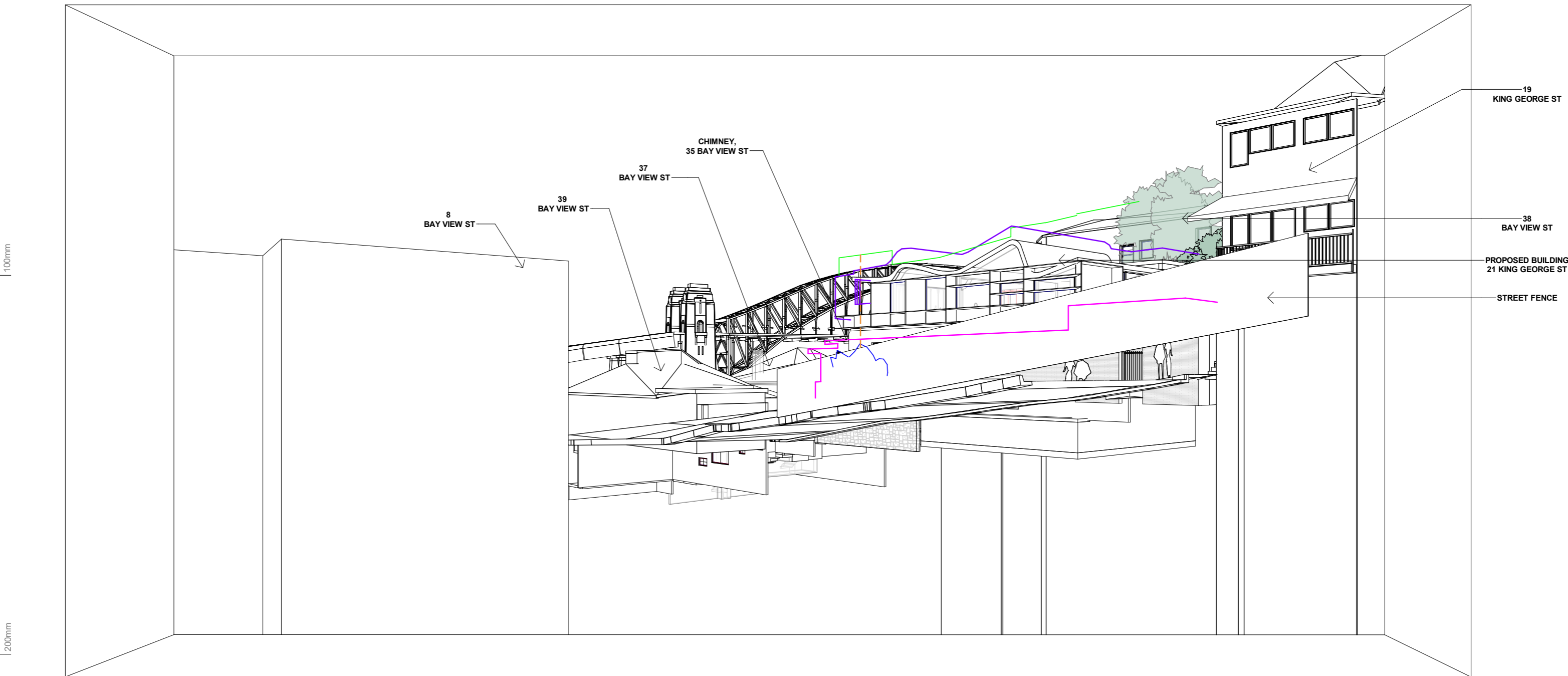
**NOTE:** TRACE OVERLAY IN TOP CORNER TO ILLUSTRATE RELATIVE ACCURACY OF REVIT MODEL OVER PROVIDED IMAGE.

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

Date	Rev	Issue	CLIENT	PROJECT	TITLE						
10.10.2021	E	View Analysis	MB	21 King George St	21 Waiwera - Apt 14 Overlay						
13.12.2021	H	View Analysis									
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000 F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>		<small>PROJECT DATE</small> 13.12.2021	<small>ISSUED DATE</small> 13.12.2021	<small>SCALE @ A3:</small>	<small>STATUS</small> VIEW ANALYSIS	<small>JOB No.</small> 2024 <small>DRAWING No.</small> 06 <small>REV.</small> H





1 Apt. 17 - View 01

THROUGH LEFT-HAND, SE-FACING WINDOW, APARTMENT 17  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

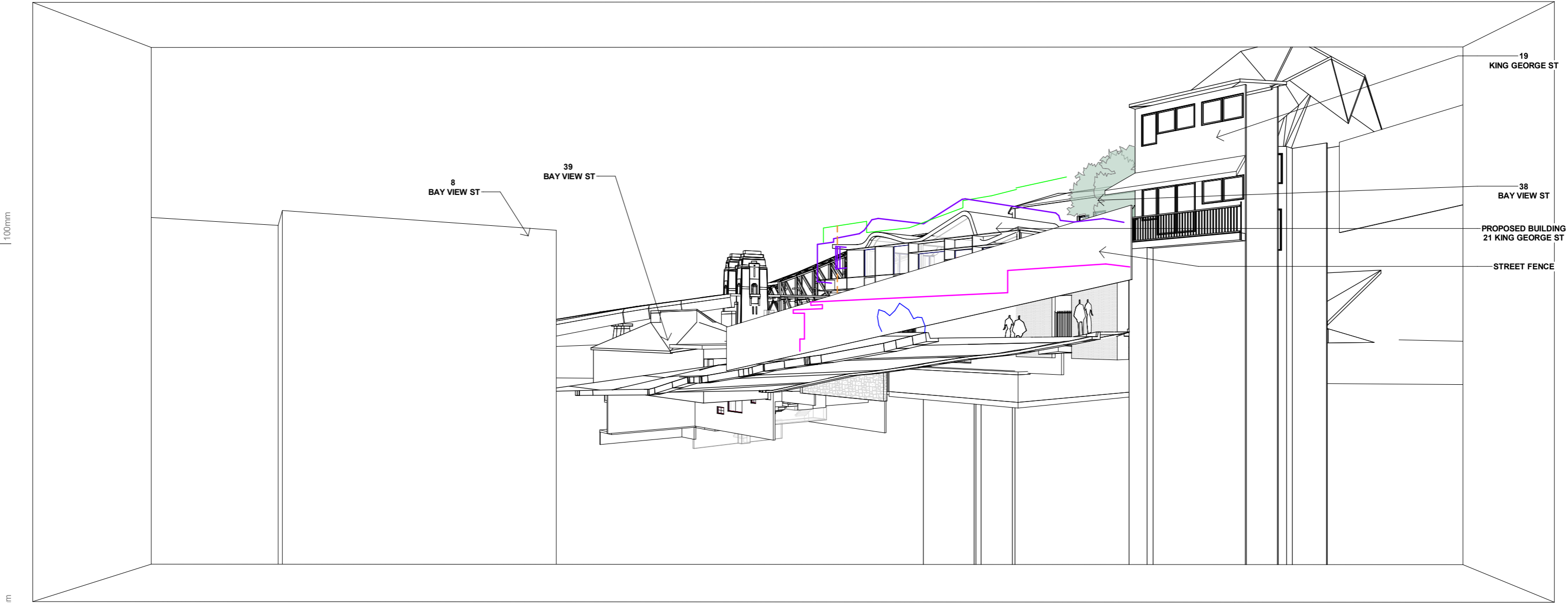
LEGEND		
	8.5m HEIGHT CONTROL PLANE	
	OUTLINE EXISTING BUILDING	4.1m SETBACK FROM BAY VIEW ST
	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
	OUTLINE NON-COMPLIANT SCHEME	

CLIENT  
MB

ARCHITECTURE *Saville Isaacs*

PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 17 View 1  
JOB No. 2024 DRAWING No. 07 REV. H



1 Apt. 17 - View 02

THROUGH RIGHT-HAND, SE-FACING WINDOW, APARTMENT 17  
CAMERA LOCATED 1m BEHIND WINDOW, AT 1.5m FROM FFL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

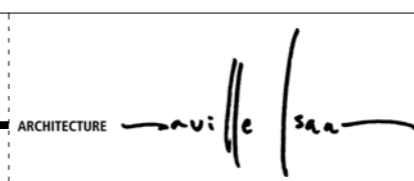
PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE	<span style="color: orange;">- - -</span> 4.1m SETBACK FROM BAY VIEW ST
<span style="color: blue;">—</span>	OUTLINE EXISTING BUILDING	
<span style="color: green;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
<span style="color: purple;">—</span>	OUTLINE NON-COMPLIANT SCHEME	

CLIENT  
MB

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060



PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 17 View 2

JOB No. 2024  
DRAWING No. 08  
REV. H



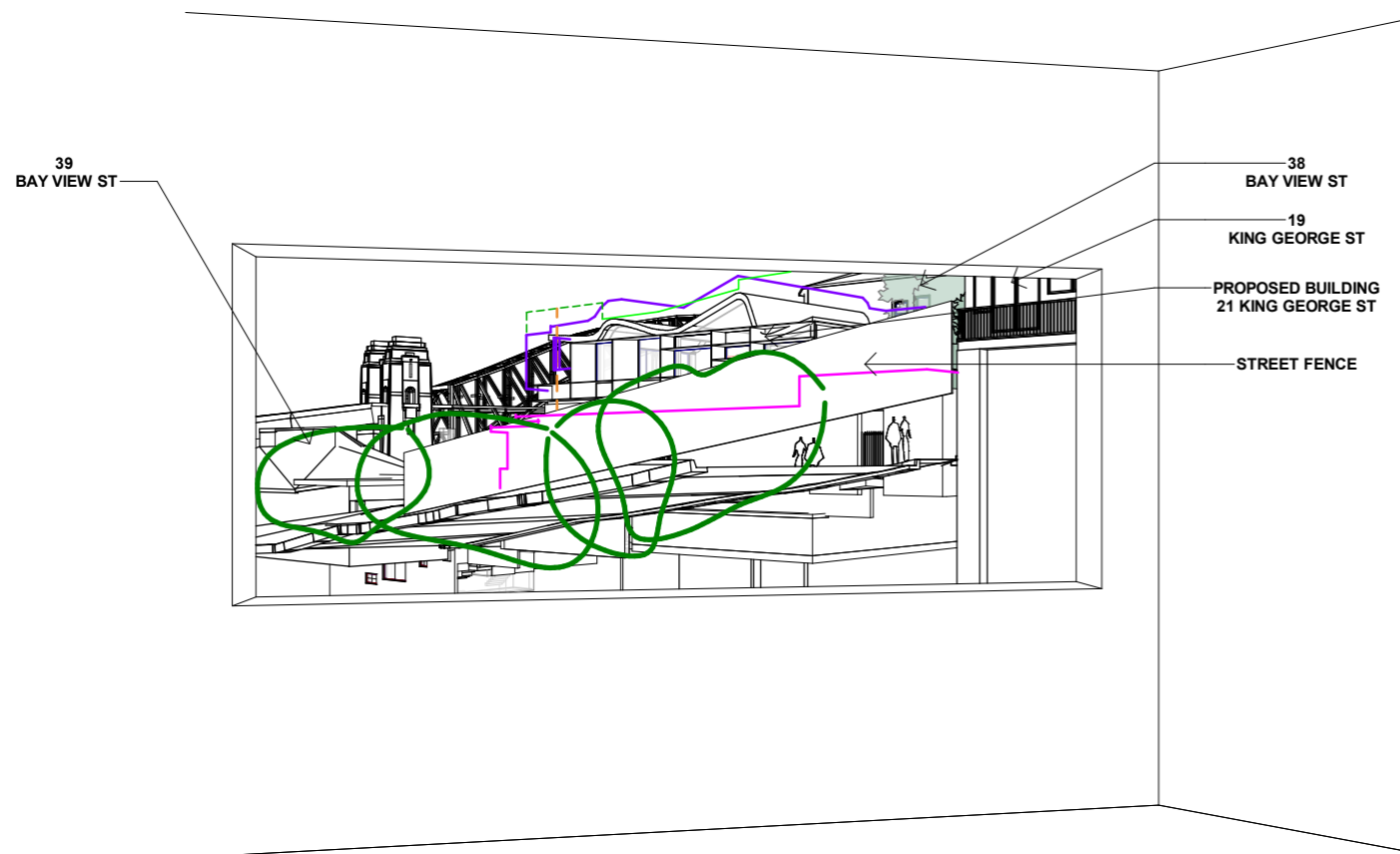


FIG. 7, ATTACHMENT FROM SUBMISSION REFERENCE #: 9LDMKHW - APARTMENT 17

1 Apt. 17 - View 03

THROUGH RIGHT-HAND, SE-FACING WINDOW, APARTMENT 17  
LOCATED TO MATCH VIEW SEEN IN OBJECTED IMAGE

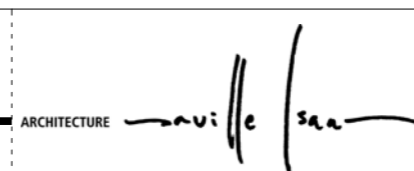
**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
10.10.2021	E	View Analysis
08.12.2021	G	View Analysis
13.12.2021	H	View Analysis

LEGEND		
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE	<span style="color: red; border-bottom: 1px dashed red;">—</span> 4.1m SETBACK FROM BAY VIEW ST
<span style="color: purple;">—</span>	OUTLINE EXISTING BUILDING	
<span style="color: blue;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
<span style="color: magenta;">—</span>	OUTLINE NON-COMPLIANT SCHEME	

CLIENT  
MB



PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 17 View 3  
JOB No. 2024  
DRAWING No. 09  
REV. H





21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO PROVIDED IMAGE FROM COUNCIL SUBMISSION - ATTACHMENT 1115754 - UNIT 17 AT 21 WAIWERA ST

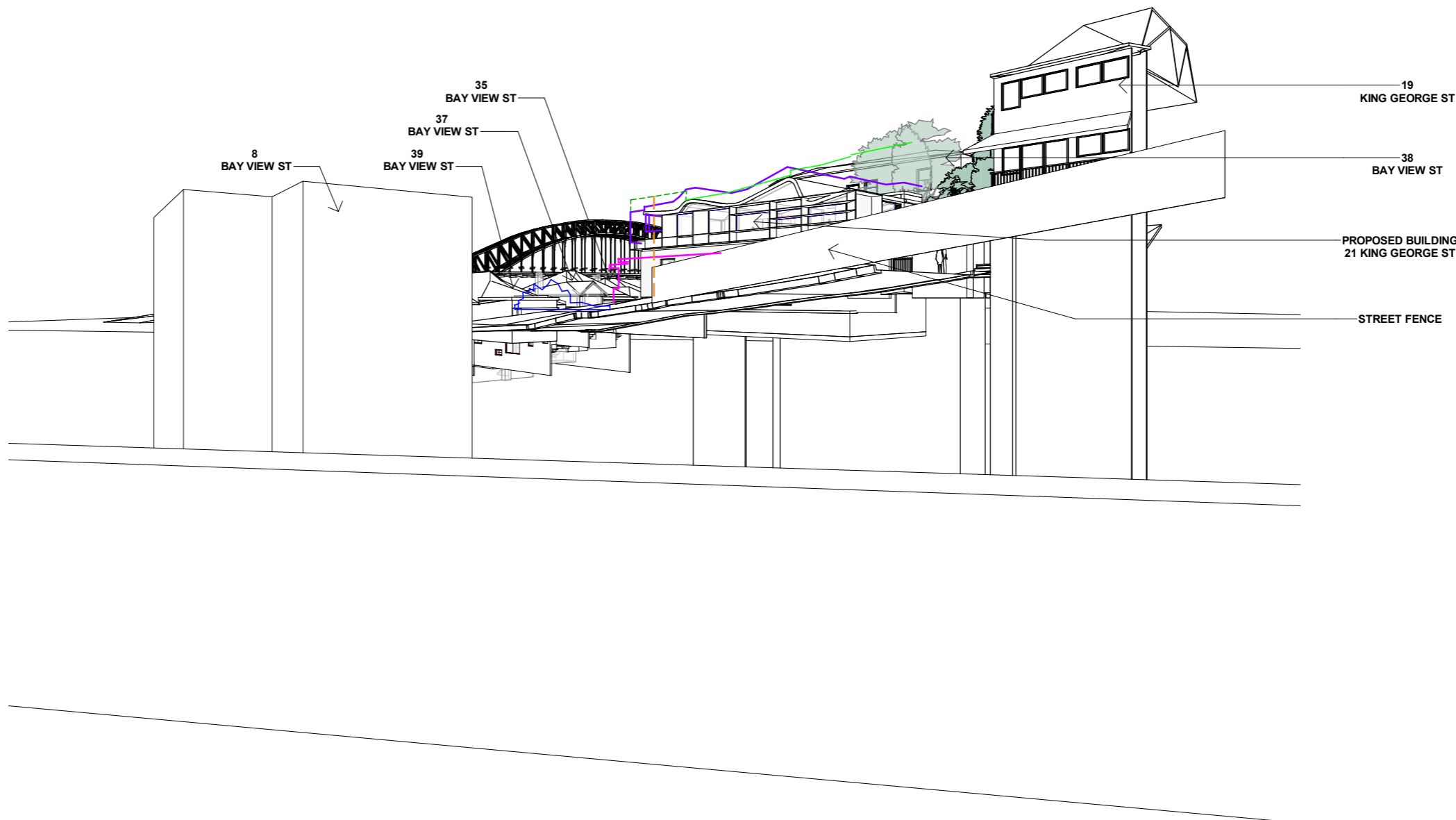
**NOTE:** TRACE OVERLAY IN TOP CORNER TO ILLUSTRATE RELATIVE ACCURACY OF REVIT MODEL OVER PROVIDED IMAGE.

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

<table border="1"> <thead> <tr> <th>Date</th> <th>Rev</th> <th>Issue</th> </tr> </thead> <tbody> <tr> <td>10.10.2021</td> <td>E</td> <td>View Analysis</td> </tr> <tr> <td>13.12.2021</td> <td>H</td> <td>View Analysis</td> </tr> </tbody> </table>			Date	Rev	Issue	10.10.2021	E	View Analysis	13.12.2021	H	View Analysis	CLIENT MB	ARCHITECTURE <i>Saville Isaacs</i>	PROJECT 21 King George St	TITLE 21 Waiwera - Apt 17 Overlay JOB No. 2024 DRAWING No. 10 REV. H
Date	Rev	Issue													
10.10.2021	E	View Analysis													
13.12.2021	H	View Analysis													
The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project			NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759	P: 02 - 9086 9000 F: 02 - 9086 9001	ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	PROJECT DATE 13.12.2021	ISSUED DATE 13.12.2021	SCALE @ A3:	STATUS VIEW ANALYSIS						





1 Garden - View 01

VIEW FROM MAIN GARDEN, REAR OF 21 WAIWERA ST  
LOCATED 4m BEHIND REAR BRICK WALL

**NOTE**  
PLEASE NOTE EXISTING LARGE TREES THAT  
IMPACT VIEWS IN FOREGROUND ARE NOT SHOWN

PRELIMINARY

Date	Rev	Issue
20.09.2021	C	View Analysis
10.10.2021	E	View Analysis
13.12.2021	H	View Analysis

LEGEND		
<span style="color: green;">—</span>	8.5m HEIGHT CONTROL PLANE	<span style="color: orange;">- - -</span> 4.1m SETBACK FROM BAY VIEW ST
<span style="color: blue;">—</span>	OUTLINE EXISTING BUILDING	
<span style="color: purple;">—</span>	OUTLINE OPERA HOUSE (WHEN HIDDEN)	
<span style="color: magenta;">—</span>	OUTLINE NON-COMPLIANT SCHEME	

CLIENT  
MB

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT  
21 King George St

ARCHITECTURE *Saville Isaacs*

PROJECT	TITLE
21 King George St	21 Waiwera - Garden
JOB No. 2024	DRAWING No. 11
ISSUED DATE 13.12.2021	REV. H

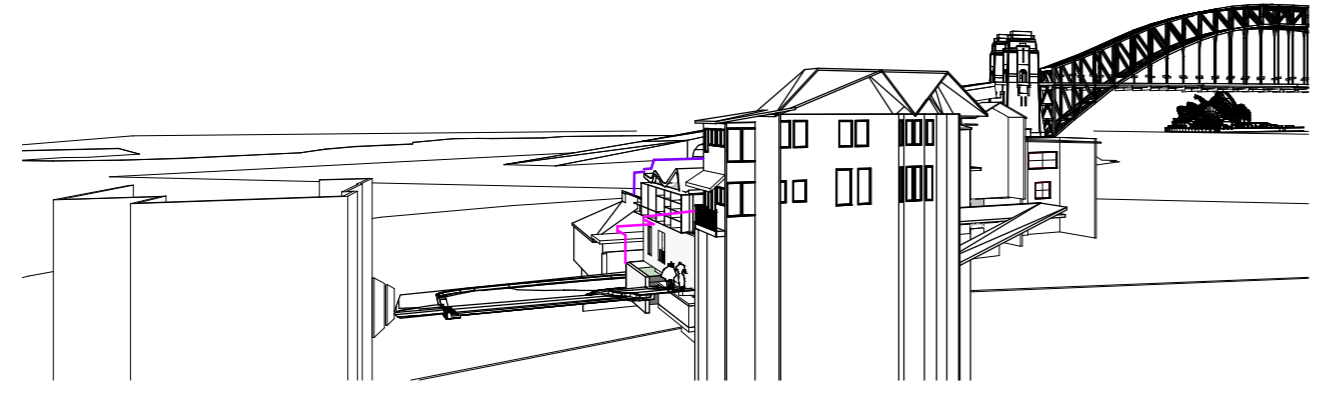
The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project.

NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759 P: 02 - 9086 9000 F: 02 - 9086 9001

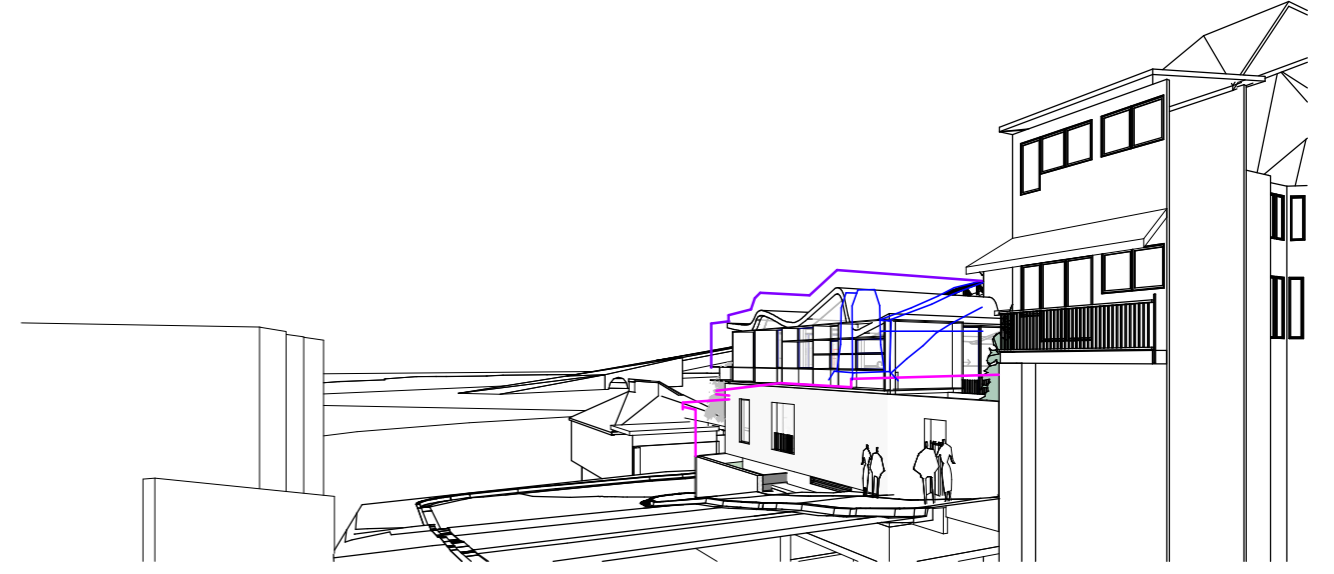
ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT DATE 13.12.2021 SCALE @ A3: STATUS VIEW ANALYSIS

100mm

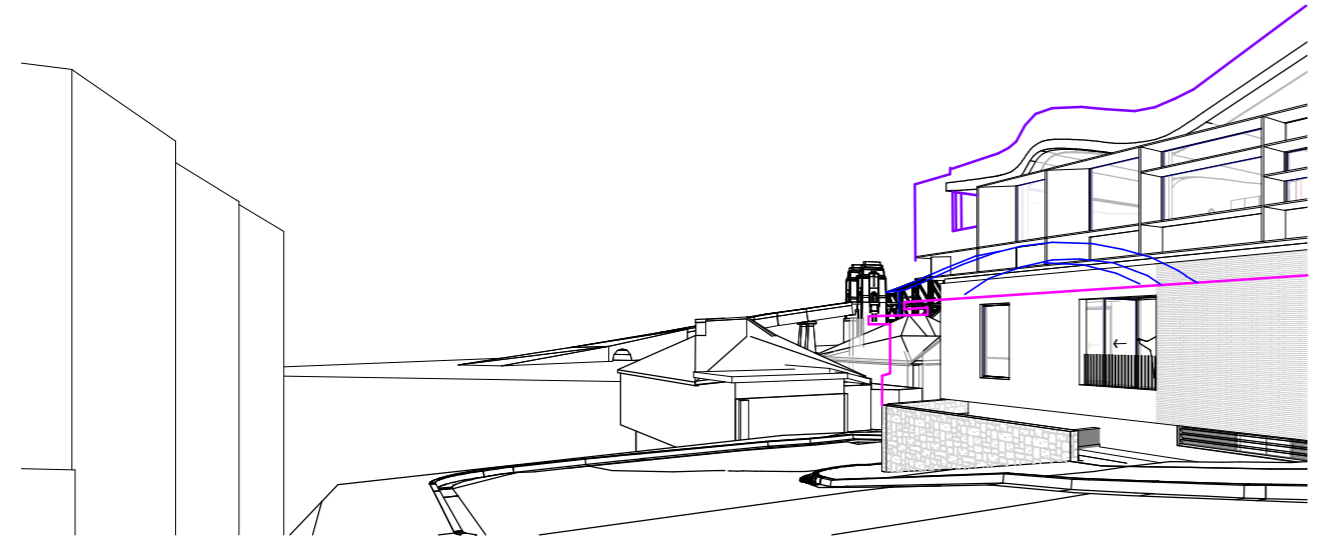


1 King George St - View 01

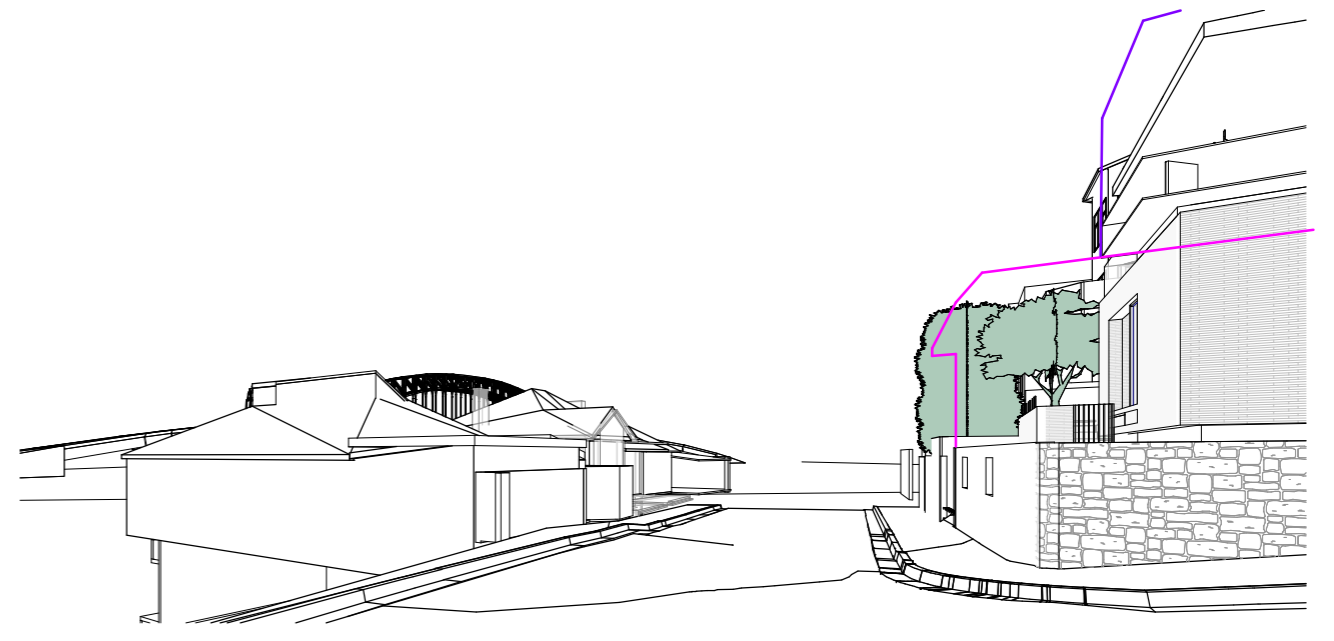


2 King George St - View 02

200mm



3 King George St - View 03



4 King George St - View 04

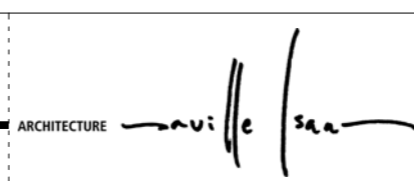
PRELIMINARY

Date	Rev	Issue
06.09.2021	B	View Analysis
20.09.2021	C	View Analysis
10.10.2021	E	View Analysis

LEGEND	
	8.5m HEIGHT CONTROL PLANE
	OUTLINE EXISTING BUILDING
	OUTLINE HARBOUR BRIDGE (WHEN HIDDEN)
	OUTLINE NON-COMPLIANT SCHEME

CLIENT  
MB

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060



PROJECT  
21 King George St

PROJECT DATE  
10.10.2021

TITLE  
Street Views - King George St

JOB No. 2024  
DRAWING No. 12  
REV. E

The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project.

NSW Nominated Architects: S. ISAACS #7929  
ABN: 79 124 014 759

P: 02 - 9086 9000  
F: 02 - 9086 9001

SCALE @ A3:  
STATUS  
VIEW ANALYSIS



### VIEW 01

GROUND RL: 30.401  
CAMERA RL: 31.901

### VIEW 02

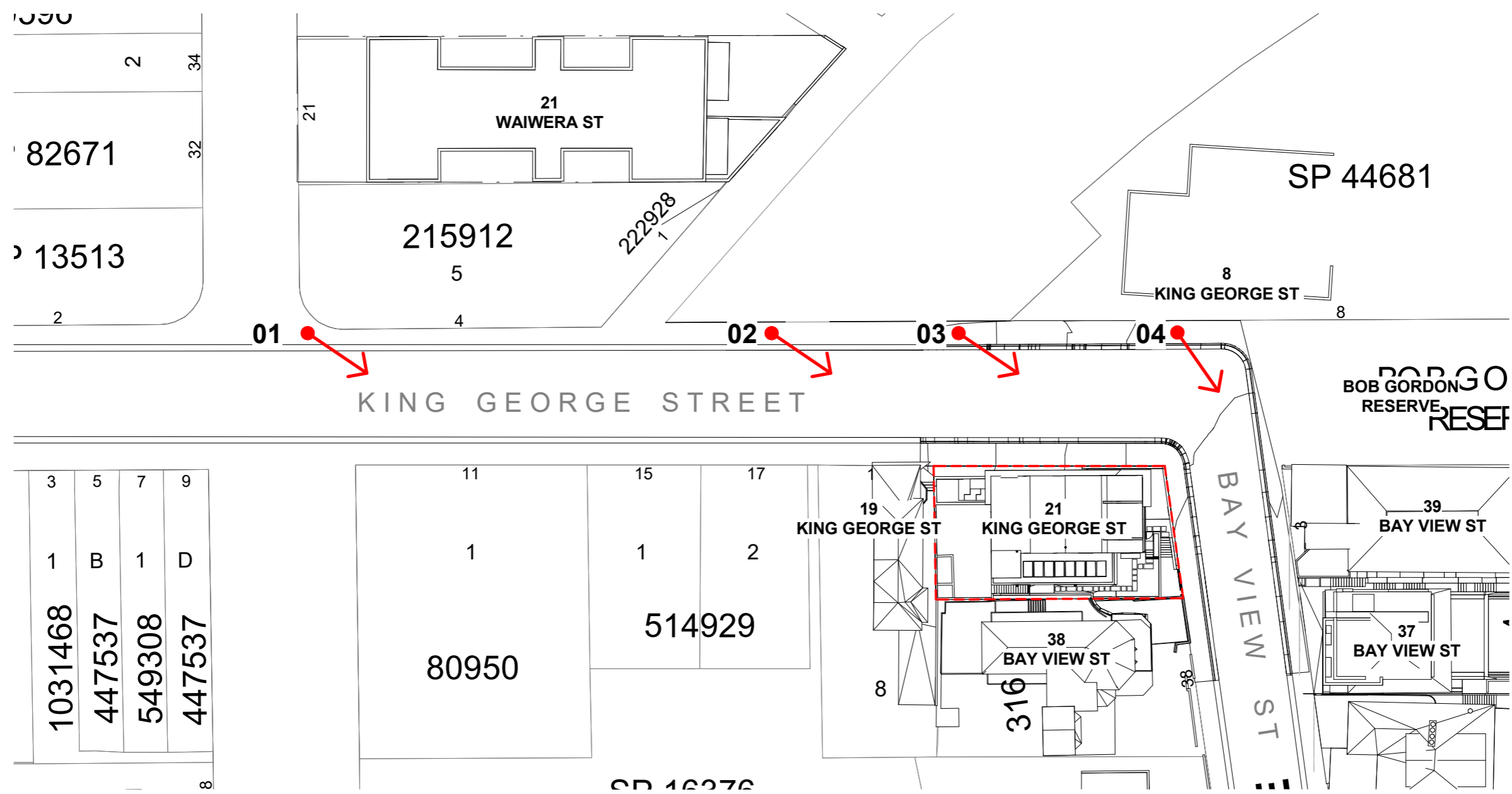
GROUND RL: 23.438  
CAMERA RL: 24.938

### VIEW 03

GROUND RL: 20.505  
CAMERA RL: 22.005

### VIEW 04

GROUND RL: 17.895  
CAMERA RL: 19.395



1 Site Plan - View Key

PRELIMINARY

Date 20.09.2021	Rev C	Issue View Analysis	CLIENT MB	PROJECT 21 King George St	TITLE Street View Plan Key
10.10.2021	E	View Analysis			JOB No. 2024
					DRAWING No. 13
					REV. E





21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO  
IMAGE PROVIDED BY AK PLANNING - UNIT 9 AT 21 WAIWERA ST

**NOTE:** TRACE OVERLAY IN TOP CORNER TO ILLUSTRATE RELATIVE ACCURACY OF REVIT MODEL OVER PROVIDED IMAGE.

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

Date	Rev	Issue
11.11.2021	F	View Analysis
13.12.2021	H	View Analysis

CLIENT  
MB

ARCHITECTURE *Saville Isaacs*

PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 09 Overlay  
JOB No. 2024  
DRAWING No. 14  
REV. H

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ABN: 79 124 014 759

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ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT DATE ISSUED DATE  
13.12.2021

SCALE @ A3:

STATUS  
VIEW ANALYSIS





21 KING GEORGE ST, PROPOSED BUILDING SUPERIMPOSED ONTO  
IMAGE PROVIDED BY AK PLANNING - UNIT 9 AT 21 WAIWERA ST

**NOTE:** TRACE OVERLAY IN TOP CORNER TO ILLUSTRATE RELATIVE ACCURACY OF REVIT MODEL OVER PROVIDED IMAGE.

**NOTE:** INFORMATION OF PROVIDED IMAGE REGARDING CAMERA ANGLE AND TYPE, AND CAMERA POSITION FOR AN APPROPRIATE PROFESSIONAL VIEW ANALYSIS IS NOT PROVIDED.

PRELIMINARY

Date	Rev	Issue
11.11.2021	F	View Analysis
13.12.2021	H	View Analysis

CLIENT  
MB

PROJECT  
21 King George St

TITLE  
21 Waiwera - Apt 09 Overlay  
JOB No. 2024  
DRAWING No. 15  
REV. H

ARCHITECTURE *Saville Isaacs*

PROJECT DATE 13.12.2021

SCALE @ A3:

STATUS  
VIEW ANALYSIS

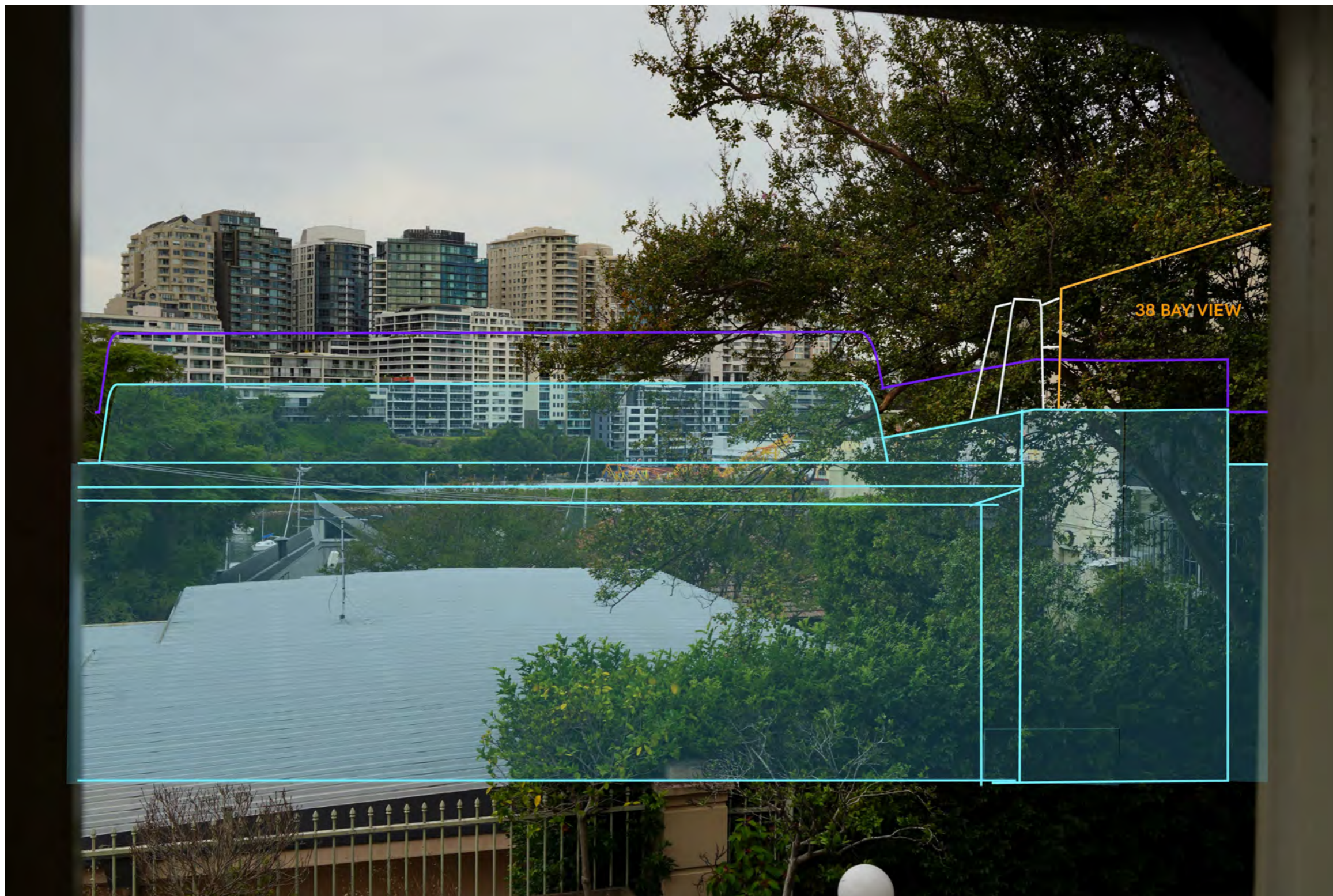
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NSW Nominated Architects: S. ISAACS #7929  
ABN: 79 124 014 759

P: 02 - 9086 9000  
F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060





0mm 100mm 200mm 300mm 400mm

100mm

200mm

**LEGEND**

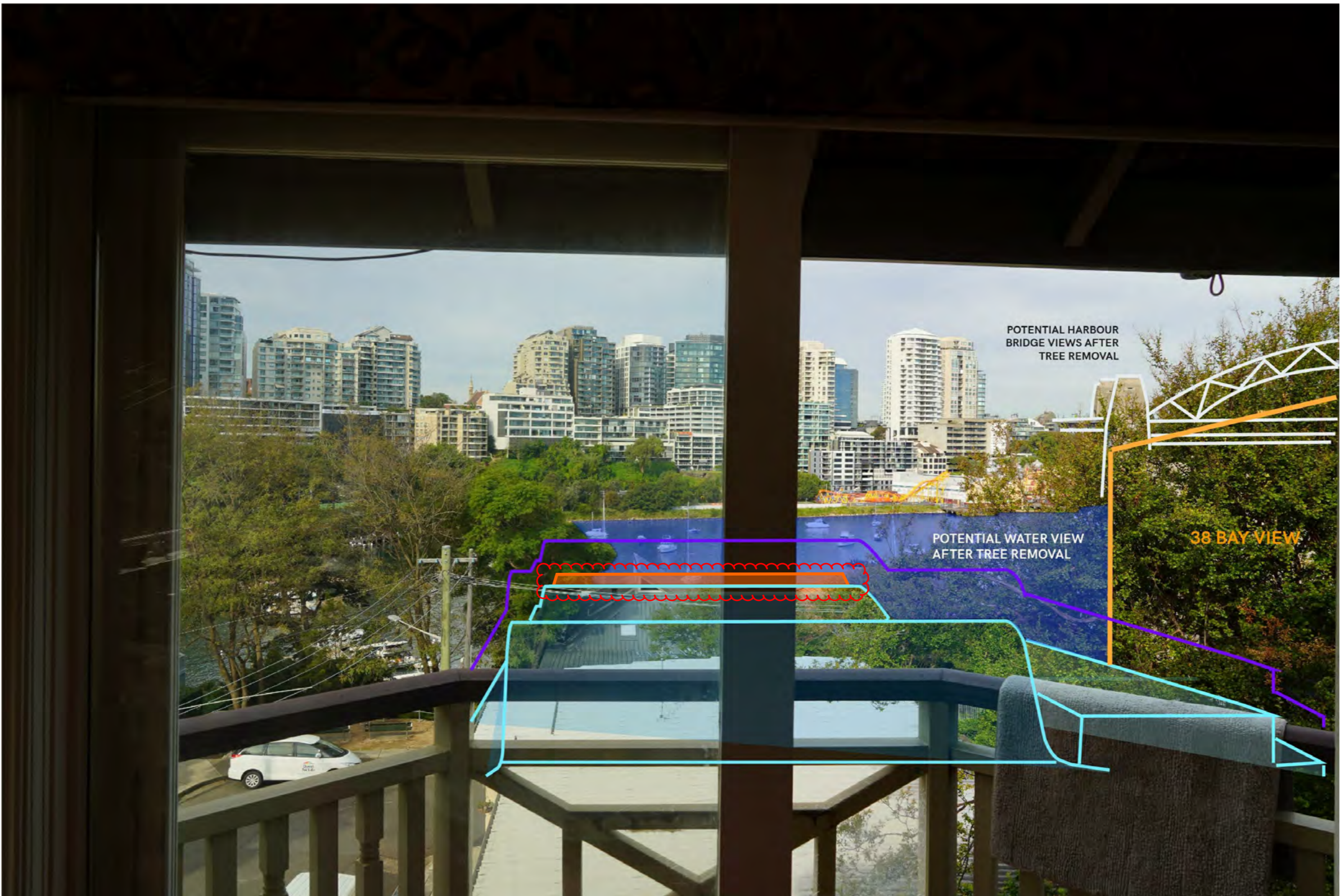
	PROPOSED BUILDING (AS ORIGINALLY SUBMITTED)
	PROPOSED BUILDING (AMENDED, LOWERED HEIGHT)
	HARBOUR BRIDGE
	NEIGHBOUR 38 BAY VIEW
	POTENTIAL WATER VIEWS (AFTER TREE REMOVAL)

21 KING GEORGE ST, PROPOSED BUILDING OUTLINE OVERLAID  
 ONTO IMAGE PROVIDED BY RICHARD LAMB - RLA09249

PRELIMINARY

Date 11.11.2021	Rev F	Issue View Analysis	CLIENT MB	ARCHITECTURE 	PROJECT 21 King George St	TITLE 19 King George - RLA09249		
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			<small>NSW Nominated Architects: S. ISAACS #7929                  ABN: 79 124 014 759</small>	<small>P: 02 - 9086 9000                  F: 02 - 9086 9001</small>	<small>ARCHITECTURE SAVILLE ISAACS PTY LTD                  23a KING GEORGE STREET, McMAHONS POINT, NSW 2060</small>	<small>JOB No. 2024</small>	<small>DRAWING No. 16</small>	<small>REV. F</small>
PROJECT DATE 11.11.2021		ISSUED DATE 11.11.2021	SCALE @ A3: 1 : 100	STATUS VIEW ANALYSIS				





21 KING GEORGE ST, PROPOSED BUILDING OUTLINE OVERLAID ONTO IMAGE PROVIDED BY RICHARD LAMB - RLA09255

**LEGEND**

	PROPOSED BUILDING - (LATEST ROOF AMMENDMENT)
	PROPOSED BUILDING (AS ORIGINALLY SUBMITTED)
	PROPOSED BUILDING (AMENDED, LOWERED HEIGHT)
	HARBOUR BRIDGE
	NEIGHBOUR 38 BAY VIEW
	POTENTIAL WATER VIEWS (AFTER TREE REMOVAL)

PRELIMINARY

Date	Rev	Issue
11.11.2021	F	View Analysis
21.02.2022	G	View Analysis

CLIENT  
MB



PROJECT  
21 King George St

TITLE  
19 King George - RLA09255  
JOB No. 2024  
DRAWING No. 17  
REV. F

The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project

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ABN: 79 124 014 759

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ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT DATE 11.11.2021

SCALE @ A3: 1 : 100

STATUS  
VIEW ANALYSIS





POTENTIAL WATER VIEW AFTER TREE REMOVAL

**LEGEND**

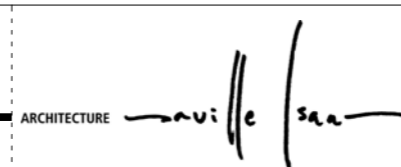
	PROPOSED BUILDING - (LATEST ROOF AMMENDMENT)
	PROPOSED BUILDING (AS ORIGINALLY SUBMITTED)
	HARBOUR BRIDGE
	NEIGHBOUR 38 BAY VIEW
	POTENTIAL WATER VIEWS (AFTER TREE REMOVAL)

21 KING GEORGE ST, PROPOSED BUILDING OUTLINE OVERLAID ONTO IMAGE PROVIDED BY RICHARD LAMB - RLA09256

PRELIMINARY

Date	Rev	Issue
11.11.2021	F	View Analysis
21.02.2022	G	View Analysis

CLIENT  
MB



PROJECT  
21 King George St

TITLE  
19 King George - RLA09256  
JOB No. 2024  
DRAWING No. 18  
REV. F

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F: 02 - 9086 9001

ARCHITECTURE SAVILLE ISAACS PTY LTD  
23a KING GEORGE STREET, McMAHONS POINT, NSW 2060

PROJECT DATE 11.11.2021

SCALE @ A3: 1 : 100

STATUS  
VIEW ANALYSIS





0mm 100mm 200mm 300mm 400mm

100mm

200mm

**LEGEND**

	PROPOSED BUILDING (AS ORIGINALLY SUBMITTED)
	PROPOSED BUILDING (AMENDED, LOWERED HEIGHT)
	HARBOUR BRIDGE
	NEIGHBOUR 38 BAY VIEW
	POTENTIAL WATER VIEWS (AFTER TREE REMOVAL)

21 KING GEORGE ST, PROPOSED BUILDING OUTLINE OVERLAID ONTO IMAGE PROVIDED BY RICHARD LAMB - RLA09258

PRELIMINARY

Date 11.11.2021	Rev F	Issue View Analysis	CLIENT MB	ARCHITECTURE 	PROJECT 21 King George St	TITLE 19 King George - RLA09258						
<small>The Architect shall not be liable for any loss or claims whatsoever arising from or in respect of any errors existing or resulting from data howsoever transferred from the computer system of the Architect to systems of the Client or other Consultants. The recipient of the data shall be responsible for checking accuracy and completeness of data received. Any use of the electronic data in part or whole shall be at the user's risk. The CAD files and their contents are solely representations of the project</small>			NSW Nominated Architects: S. ISAACS #7929 ABN: 79 124 014 759	P: 02 - 9086 9000 F: 02 - 9086 9001	ARCHITECTURE SAVILLE ISAACS PTY LTD 23a KING GEORGE STREET, McMAHONS POINT, NSW 2060	PROJECT DATE 11.11.2021	ISSUED DATE 11.11.2021	SCALE @ A3: 1 : 100	JOB No. 2024	DRAWING No. 19	REV. F	STATUS VIEW ANALYSIS