

**NSLPP MEETING HELD ON 01/02/2023****Attachments:**

1. Site Plan
2. Architectural Plans
3. Heritage Impact Statement

ADDRESS/WARD: Ground Floor Lobby at 201 Miller Street, North Sydney

APPLICATION No: DA 265/22

PROPOSAL: Alterations and additions to the ground floor lobby, partial change of use to the ground floor to include a café and associated works to a heritage listed office building.

PLANS REF:

| Plan No. | Rev | Description | Prepared by | Dated |
|----------|-----|---|-----------------|------------|
| DAB100 | A | Basement 1 – Bin Room | Brass Tacks P/L | 04/08/2022 |
| DAG000 | D | Demolition Plan – Ground Floor Foyer | Brass Tacks P/L | 04/08/2022 |
| DAG100 | F | New Works Plan – Ground Floor Foyer | Brass Tacks P/L | 21/12/2022 |
| DAG101 | E | Reflected Ceiling Plan – Ground Floor Foyer | Brass Tacks P/L | 21/12/2022 |
| DAG103 | E | Internal Elevations – Ground Floor Foyer | Brass Tacks P/L | 21/12/2022 |
| DAG104 | D | Proposed External Elevations – Ground Floor Foyer | Brass Tacks P/L | 21/12/2022 |
| - | B | Finishes Schedule – Foyer Refurbishment | Brass Tacks P/L | 21/12/2022 |

OWNER: The Trust Company (Australia) Ltd

APPLICANT: Lasalle Investment Management Australia P/L

AUTHOR: Report of Rachel Wu, Graduate Assessment Planner

DATE OF REPORT: 18 January 2023

DATE LODGED: 6 September 2022

DATE AMENDED: 16/09/2022, 14/10/2022, 18/10/2022, 21/12/2022

RECOMMENDATION: Approval

EXECUTIVE SUMMARY

This development application seeks development consent for alterations and additions to the ground floor lobby and part change of use of the ground floor to include a café with operating hours 6:30am – 3pm Monday to Friday.

The application is reported to the North Sydney Local Planning Panel for determination as a local heritage item (I0904) that is a commercial building in the Late Twentieth Century International Style. In accordance with the Minister's Directions the Panel is required to determine the application as the proposal involves minor demolition works to a heritage item.

The subject site is located adjacent to other local heritage items, notably No.199 Miller Street 'Rag and Famish Hotel' (I0901) to its south, and across the site at No.1 – 7 Miller Street 'Monte St Angelo Group' (I0894 – I0897).

The site has a primary frontage with a significant landscaped setback on the eastern side of Miller Street (SP2 Classified Road) and a secondary frontage to Bullivant Lane. The immediate area is primarily characterised by commercial and retail activity consisting of multi-storey commercial buildings with ground floor retail and light commercial uses.

Notification of the proposal has attracted nil submissions. The performance of the proposal has been assessed against Council's planning requirements. The applicant has submitted a Heritage Impact Statement prepared by Urbis, dated 29 August 2022 supporting the proposal.

The original foyer and interiors were replaced in 1989 with post-modern style alterations reflecting present day appearance. The ground floor lobby has undergone numerous fit-out works to the interior through previous development applications. Furthermore, the building's heritage significance is recorded under the State Heritage Inventory for its 'distinctive original exterior form and construction'. Consequently, the interior alterations are considered minor and later work satisfactory and will not create an adverse impact on the heritage significance of the building.

Following the assessment of the development application against the Council's planning requirements, the proposal for internal works is considered reasonable in the circumstances. The proposal is recommended for **approval** subject to conditions.

- Demolish and remove existing stone floor tiles from tread and risers of stair and prepare surfaces to take new finishes
- Install new handrails to lower-level stairs in accordance with AS1428.1-2009 and DDA reports
- Demolish and remove existing concierge desk and platform under, the stone planter box and associated planting in the ground floor foyer and prepare surfaces to take new finishes
- Demolish and remove existing stone wall tiles at high level in the lift area, and prepare for re-sheeting and render finish
- Remove and replace existing lift indicator lights
- Install low level feature screen to existing bulkhead on the east of the circular stairs
- Install a 20mm thick stone slab window bench countertop with edges built up to 40mm thick bullnose profile, honed finish
- Steel support blade to glazing from floor to underside of existing ceiling with painted finish
- Install a 20mm thick x 2100mm high stone slab panelling to wall on the east
- Install a new floor mounted digital directory board in the front area of the foyer
- Install new planter approximately 1200mm high and stone bench at the front area of the foyer
- Install new L-shaped upholstered banquette joinery at the front area of the foyer
- Install new recessed carpet inlay to be flush and level with surrounding new tiled floor
- Replace the existing vinyl film on the ground floor tenancies behind the stairs

Ground Floor to Mezzanine Stairs

- Install new tactile indicators to ground floor stair base and landing at mezzanine level
- Clad existing stainless-steel balustrade in FC sheet panelling with new render finish
- Install new 35mm diameter steel handrail with powder coated finish in accordance with AS1428.1-2009 and DDA reports
- Install contrast nosing in accordance with AS1428.1-2009
- Apply a powder coated aluminium sheeting to existing stair risers

Ground Floor Ceiling

- Demolish and remove the existing domed ceiling and surrounding lighting pelmets/bulkheads/feature lighting; and construct a new painted set plasterboard ceiling at the approximate ceiling height of 5220mm, flush with existing ceiling over mezzanine entry
- Construct new ceiling pelmet (See Figure 2)
- Infill the existing raised coffer located within the front ceiling inside the lobby and ensure it is flush with existing

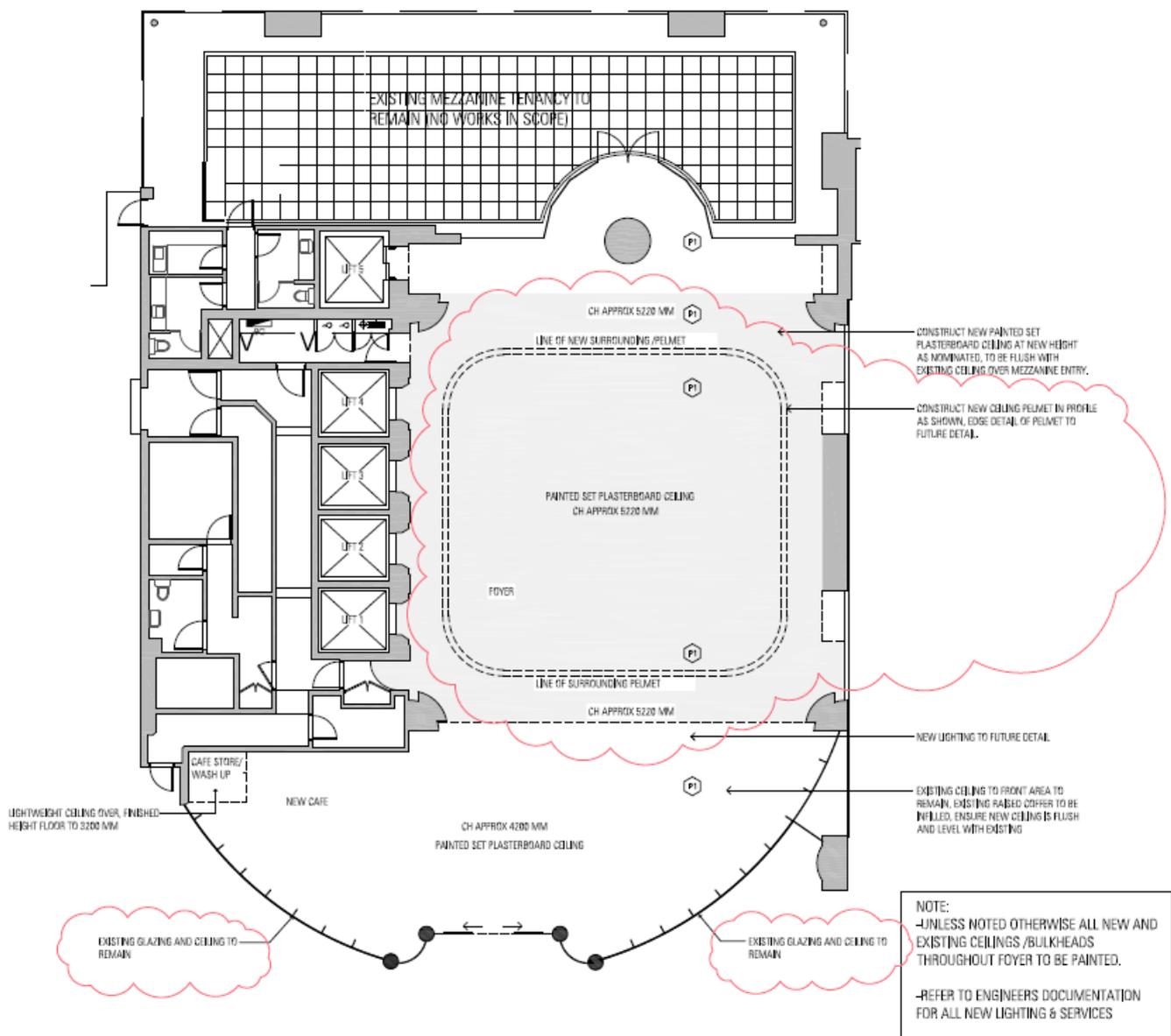


Figure 2: Proposed Reflected Ceiling Plan

Ground Floor Proposed Café

- Construct new partition walls 3.2m in height and lightweight ceiling to café washroom
- Construct new tiled floor finish and coved skirting
- Install new café joinery and equipment, benching and associated services
- Demolish and remove existing stone wall tiles and prepare for sheeting and render finish
- Demolish and remove existing floor tiles and install a new floor tile finish

Mezzanine Level

- Remove existing vinyl film on the glass and reapply new frosted vinyl film to the existing mezzanine tenancy glazing and glazed doors in accordance with AS1428.1-2009
- Install low level feature screens to existing bulkhead on both sides of the stairs

External works

Ground Floor External works

- Install new bollard on the western side of the ground floor entry in accordance with AS1428.1-2009 that contains an after-hours card reader
- Existing stainless steel door pelmet to be re-polished
- New vinyl decals to existing glazing to be refreshed

Amended Plans

The original development application package proposes to alter the external glass façade on the ground floor. Amended Plans submitted on *21 December 2022* reverse this aspect of the proposal to retain the existing external glazing. Amendments are integrated in the description above. Internal changes to the ceiling profile for simplification, retainment of tiling on stairs and furniture layout are amended.

OPERATION

Ground Floor Café Operation

The primary purpose of the proposed cafe is to service the commercial tenants of the building.

- Hours of operation: Monday to Friday 6:30am – 3pm
- Seating for approximately 22 people
- Maximum of two (2) staff on site at any one time
- Reheat and service of food only, no cooking or food preparation on site and no alcohol (non-licensed)
- One to five deliveries will take place between 5am – 8am, Monday – Friday. Parking for deliveries take place in the 10min time restricted zone on the classified road that is Miller Street
- Unused food/food waste will be removed from premises between 2pm – 5pm daily

STATUTORY CONTROLS

North Sydney Local Environmental Plan 2013 (LEP 2013)

- Zoning – B3 Commercial Core
- Item of Heritage – Yes ('Commercial Building' I0904)
- In Vicinity of Item of Heritage – Yes (Monte St Angelo Group at No.1 – 7 Miller Street: I0894 – I0897; 'Rag and Famish Hotel' at 199 Miller Street: I0901)
- Conservation Area – No
- Height of Buildings – Max. RL 160
- Additional Local Provisions – North Sydney Centre, Miller Street Setback Special Area

Environmental Planning & Assessment Act 1979 (as amended)

SEPP (Transport and Infrastructure) 2021

SREP (Sydney Harbour Catchment) 2005

SEPP (Resilience and Hazards) 2021

Local Development

POLICY CONTROLS

North Sydney Development Control Plan 2013 (NSDCP 2013)
North Sydney Local Infrastructure Contributions Plan

DESCRIPTION OF LOCALITY

The subject site is legally described as Lot 1 DP 706146, and is known as 201 Miller Street, North Sydney with an area of 1634.7m². The subject site includes a 22-storey Late Twentieth Century International Style commercial office tower built in 1972, and an adjoining two-storey office building in the south-western corner of the site known as 'The Pavilion' built in 1989 in the Post-modern style. The main office tower was originally known as 'Ibis House' built and designed by building and construction firm Sabemo Pty Ltd, which was headquartered nearby at 221 Miller Street (built 1960), with an innovative design including orange fiberglass window frames. The building has since been substantially modified in 1989 in the Post-modern style to a muted green and later grey finish, with interior works and a new Pavilion building, but retains the distinctive original exterior form and construction.

Records in the State Heritage Register for the local heritage item details the original intentions of Sabemo's Managing Director for the choice of fibreglass as a construction material to significantly reduce the weight of the building and allow for greater areas of pillar-free office space.

The site has a primary frontage with a significant landscaped setback on the eastern side of Miller Street (SP2 Classified Road) and a secondary frontage to Bullivant Lane. The lower ground levels include parking and other building facilities, with vehicle access via Bullivant Lane. The immediate area is primarily characterised by commercial and retail activity consisting of multi-storey commercial buildings with ground floor retail and light commercial uses.

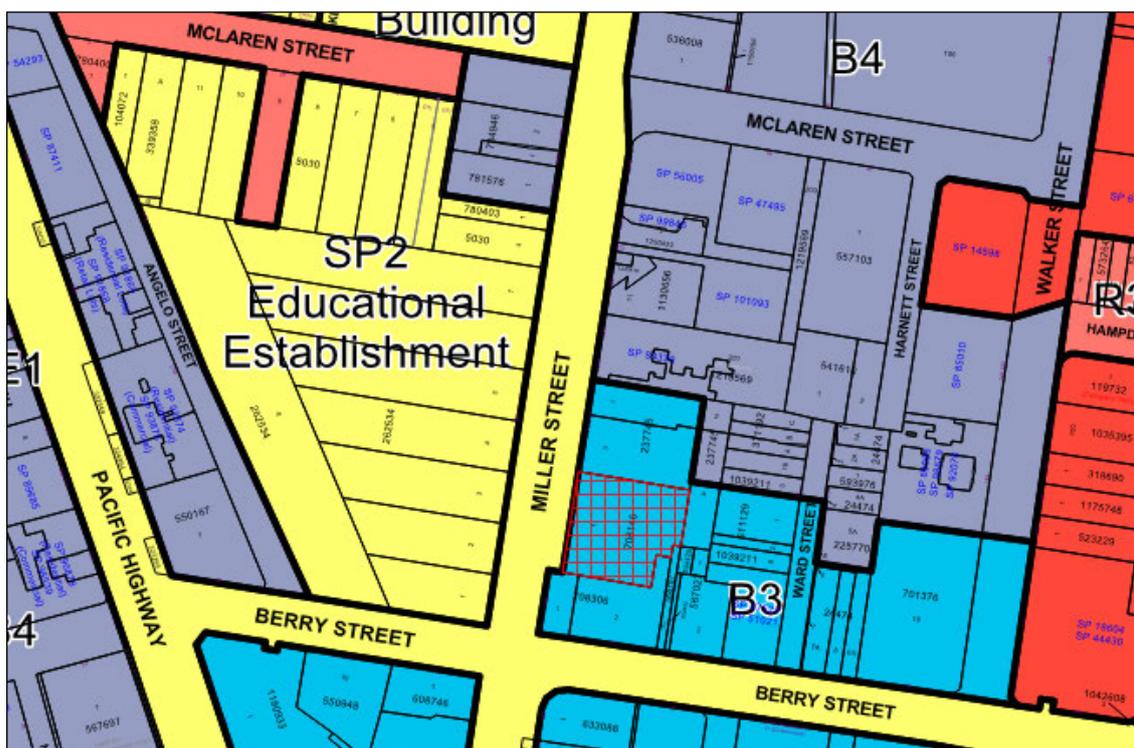


Figure 3: NSLEP Zoning Map with subject site hatched red within the B3 Zone.

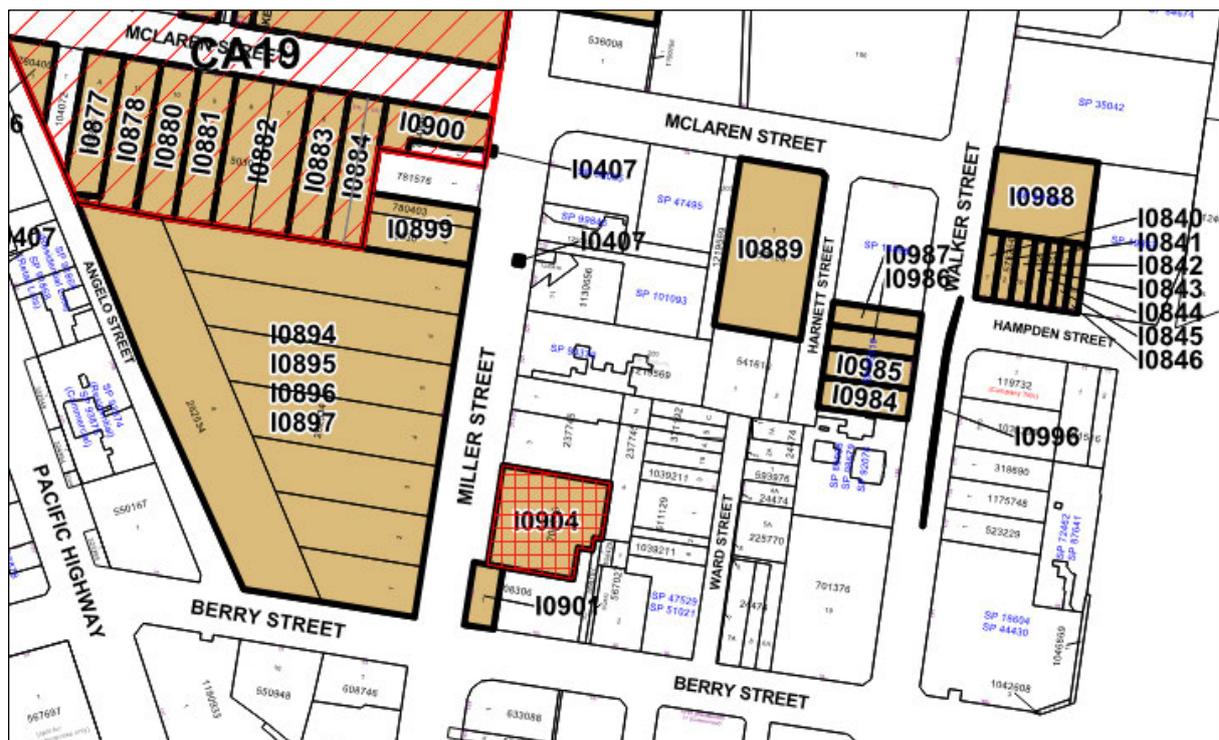


Figure 3a: Subject site (hatched red) identified as local heritage item 10904 'Commercial Building' in NSLEP 2013



Figure 4: Existing façade to streetscape



Figure 5: Existing ground floor entry



Figure 6: Existing ground floor foyer



Figure 7: View towards eastern side of ground floor foyer



Figure 8: View towards western side of ground floor foyer

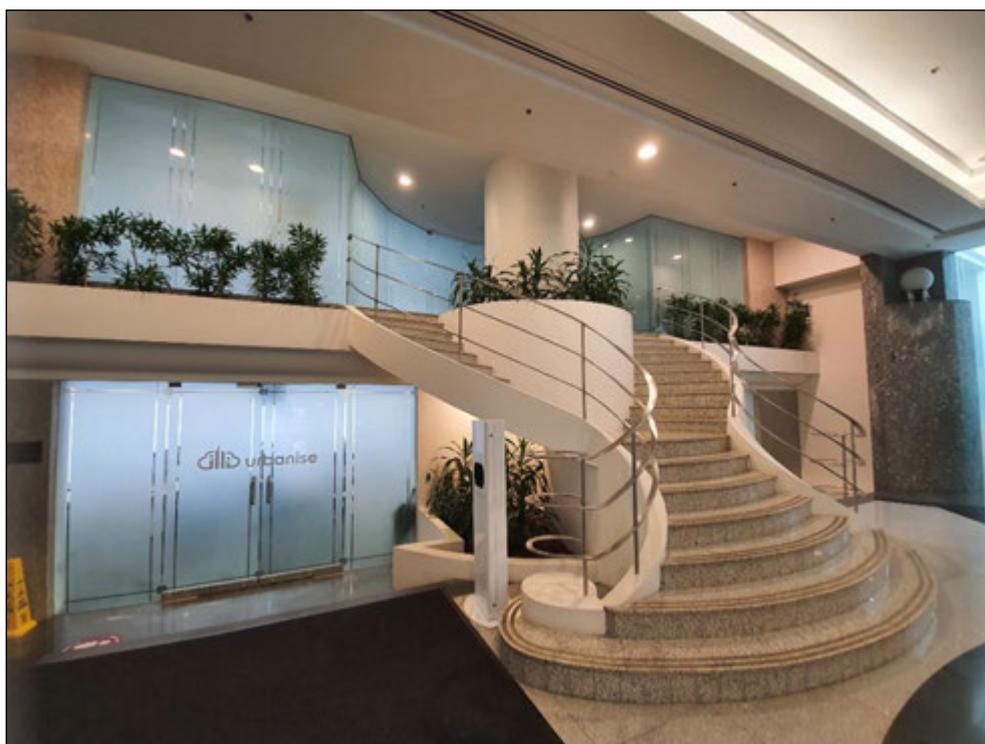


Figure 9: View of ground floor stairs leading to Mezzanine

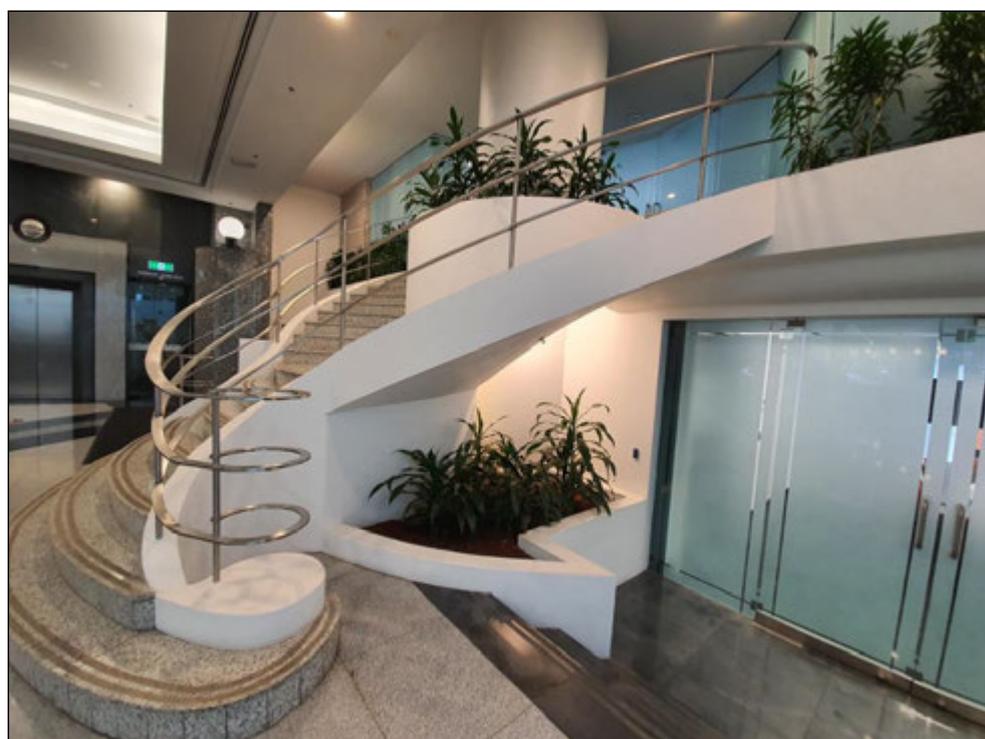


Figure 10: View towards stairs from the western side



Figure 11: View from stairs to entry

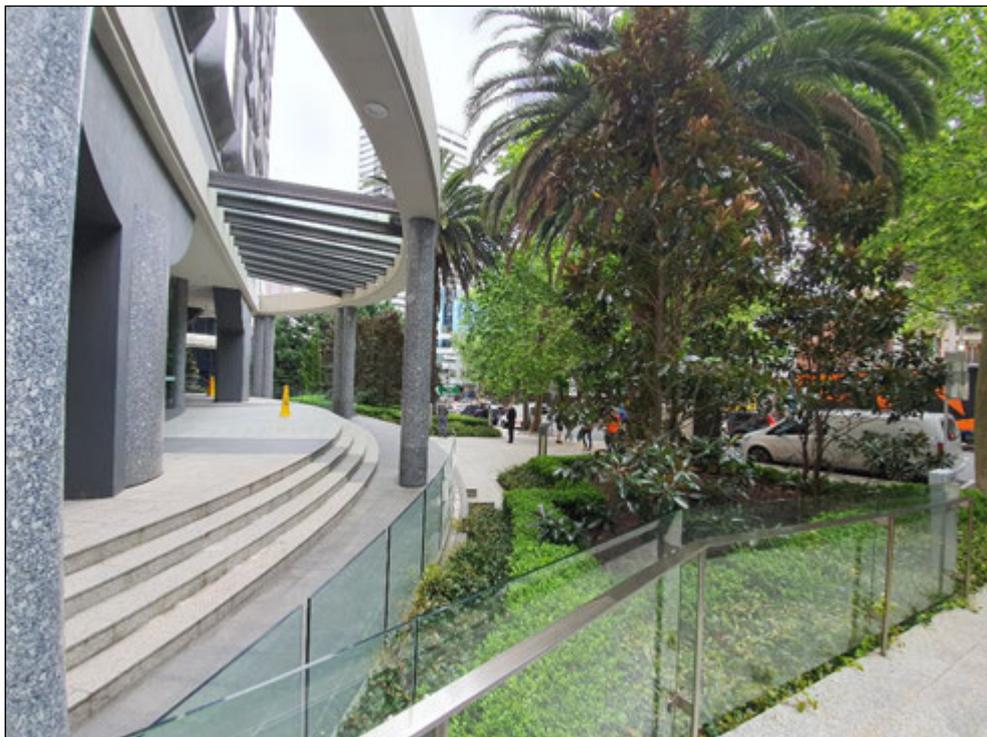


Figure 12: View looking west from outside the subject building



Figure 13: Current works at Monte Sant Angelo Mercy College across the site

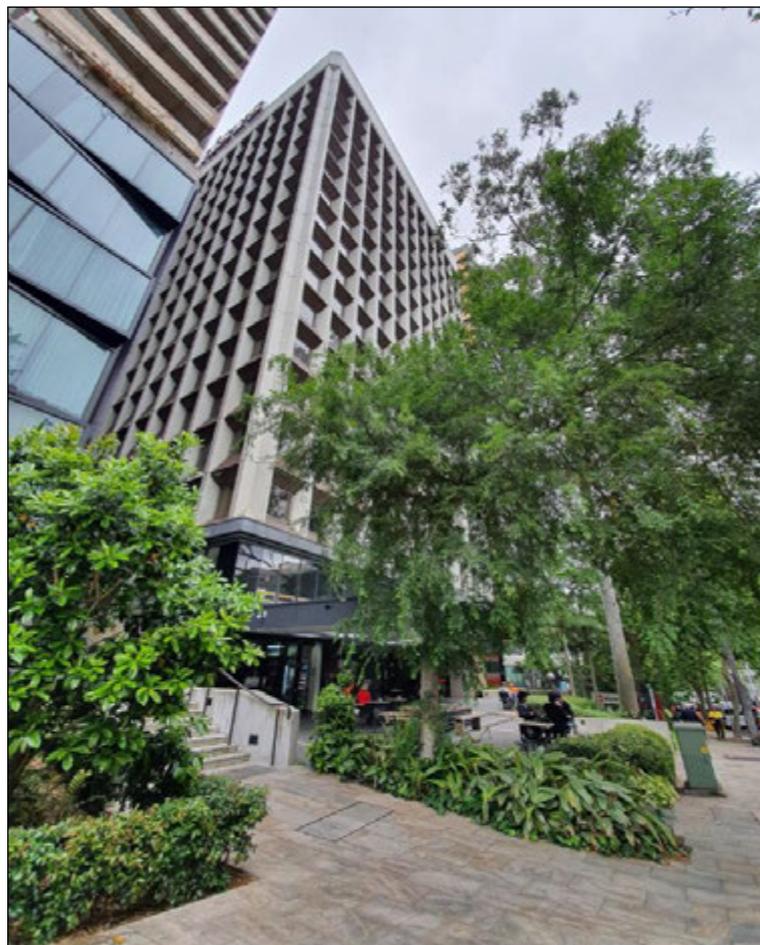


Figure 14: Adjoining property with café at ground level (No.213 Miller Street)

RELEVANT HISTORY

Previous Applications

Given the large-scale nature of the subject site and high-density nature of the North Sydney CBD as well as the parent nature of the building outlined above, it is considered that development history for surrounding sites is not relevant to the assessment of the application.

The commercial building has been the subject of numerous previous development applications and complying development certificates. A search of Council records indicates that various approvals have been granted for commercial office fit outs to various levels largely in line with the subject application (fit-out approvals). Development applications that relate directly with alterations and change of use of the ground floor are listed below:

Development Application No. 121/21 approved on **11 May 2021** for the fit-out of ground-floor level tenancy.

Development Application No. 75/20 approved on **24 April 2020** for internal fit-out works on the Ground Level.

Development Application No. 417/18 approved on **08 February 2019** for minor alterations to the ground floor lobby and expansion of the end of trip facilities.

Development Application 392/14 approved on **15 December 2014** for new café use and fit out at entry lobby of an existing commercial tower.

Development Application 1321/88 approved on **24 May 1989** for ground floor and general internal refurbishments of the main office tower and the construction of a 2-level Pavilion building in the south-western corner of the site over the existing carpark roof.

Building Application 753/88 approved on **15 November 1988** for building works and modification of the distinction orange façade to green colour, new portico entrance and pavilion building.

Building Application 24/70 approved on **29 May 1970** for the construction of a multi-storey commercial building (22 storeys, 3 parking floors and 2 plant equipment floors).

Current application

| Date | Action |
|------------|---|
| 08/09/2022 | Lodged with Council |
| 19/09/2022 | Comments received from the Building Compliance team. |
| 23/09/2022 | The application was notified as per Council's Community Participation Plan. The notification period ended on 07 October 2022. No submissions were received during this period. |
| 18/10/2022 | Revised internal elevations drawing (Revision C) including the existing ceiling height that is to be demolished is submitted by Applicant. Site inspection conducted by Assessment Officer. |
| 26/10/2022 | Environmental Health Officer raised no objections to partial change of use of ground floor from office to café. |
| 21/12/2022 | Applicant submitted amended plans (Rev E), finishes schedule and QS report. |
| 17/01/2023 | Comments received from Council's Heritage Officer. |

REFERRALS

BUILDING

The proposed works the subject of this application have not been assessed in accordance with compliance with the National Construction Code of Australia. This would need to be undertaken prior to the issue of a Construction Certificate. Should significant changes be required to achieve compliance with NCC standards, a Section 4.55 application would be necessary.

HEALTH

The application has been referred to Council's Environmental Health Team who raised no objections to the application in relation to the change of use in principle.

HERITAGE

The application has been referred to Council's Heritage Team who provided the following comments:

"1. Heritage Status and Significance

201 Miller Street is identified as a scheduled heritage item (No.10904). The following statement of significance is as provided in the State Heritage Inventory:

'An example of a highly integrated office tower in the Late Twentieth Century International style of considerable quality and distinctive detailing designed and built by prominent construction firm Sabemo Pty Ltd, contributing much to the urban streetscape of this high-rise area. It was notable when first completed in 1972-1973 for its unusual and prominent, orange-coloured fibreglass exterior and finish. Although substantially modified in 1989 in the Post-modern style, which included interiors, a new Pavilion building, and the change of the orange exterior to more muted green and later grey colours, the building retains its distinctive original exterior form and construction.

The site is adjacent to the heritage item at 199 Miller Street being the Rag & Famish Hotel and is opposite the heritage listed school at 128 Miller Street being the Monte Sant Angelo Group.'

2. Heritage Assessment and Recommendations re s4.55 application

An assessment of the proposed alterations and additions to the ground floor lobby including the use of part of the area for a café at 201 Miller Street, has been undertaken in relation to NSLEP 2013 Clause 5.10 Heritage conservation, and NSDCP 2013 Section 13 Heritage and Conservation.

The subject building was constructed under BA 24/70 – lodged 19 January 1970 for the construction of a multi-storey commercial building (22 storeys, 3 parking floors and 2 plant equipment floors) approved by Council on 29 May 1970. The following physical condition and/or Archaeological Potential and modification dates are provided by the State Heritage Inventory Register:

'Good - highly significant 1973 fabric largely confined to exterior fibreglass cladding of tower, footprint of building and setback from Miller Street. Any remnant original interiors unknown but possible in-service areas. 1989 Post-modern style alterations of lesser significance and detract from the distinctive original style and materials of the building. 1989 Pavilion Building of limited significance although its lower height and smaller footprint to the tower building maintains a sympathetic scale.'

Building Application No. 24/70 (lodged 19 January 1970) for the construction of a multi-storey commercial building (22 storeys, 3 parking floors and 2 plant equipment floors), was approved by Council on 29 May 1970. Cost of works \$2,500,000. Architect/builder: Sabemo Pty Ltd/Sabemo Design Group (supervising architect, M. Bayly).

Development Application No. 1321/88 (lodged 18 July 1988) for ground floor and general internal refurbishments of the main office tower and the construction of a 2-level Pavilion building in the south-western corner of the site over the existing carpark roof was approved by Council on 24 May 1989. Architect: McNamara Soder Associates. Building works were approved under Building Application No. 753/88 (lodged 15 August 1988) on 15 November 1988. Post-modern style modifications constructed from 1989. Distinctive orange façade colour modified to green. New portico entrance and Pavilion building".





NB: it is noted that there is no heritage conservation management plan/heritage strategy in place for the building [NDCP 2013 Part B: s13.6.1 P6].

With respect to the foyer, and as noted in the accompanying HIS prepared by Urbis dated 29 August 2022, there is little to no remnant original fabric internally. Although a formal heritage assessment outlining a systematic approach has not been undertaken to confirm this conclusion, an acceptance of the current status quo does provide the opportunity to encourage the removal of past unsympathetic changes to improve the overall outcome to heritage significance of the heritage item [Part B: 13.5.1 Heritage items - Protecting heritage significance O1/ O5; P2], remove unsympathetic elements, especially where substantial changes are proposed to a heritage item, and there is potential for an improved heritage outcome. In this regard the following images of the foyer area and the original building have been sourced at Stanton Library. Although the potential to reinstate the visual link through the building no longer exists, there is an opportunity to implement a design informed by its original. An assessment along the lines of the issues raised above has not been included in the accompanying HIS.

3. Conclusion and Recommendations

With reference to the above, the subject application has the potential to refurbish the foyer area with reference to its original design and improve the overall outcome of the subject heritage item in line with the provisions set out in of NSDCP 2013 Part B: s13.5.1 O1/O5/P2/P6. It is also recommended that an overall heritage strategy or a CMP be developed for the heritage item to assist with its ongoing management and care. In summary, the proposal is contrary to the objectives of NSLEP 2013 Clause 5.10 (1) (a), (b).

Planning comment: The applicant's HIS prepared by Urbis dated 29 August 2022 states that there is little to no remnant original fabric internally. The foyer and interiors were replaced in 1989 by Post-modern style alterations. The ground floor lobby has undergone numerous fit-out works to the interior through previous development applications. Furthermore, the building's heritage significance is recorded under the State Heritage Inventory for its 'distinctive original exterior form and construction'. Consequently, the interior alterations are considered satisfactory and will not create an adverse impact on the heritage significance of the building. The recommendation for a Conservation Management Plan will be put forth to the applicant who may choose to complete this at a later date but will not impede the development application from receiving a determination.

BUILDING/COMPLIANCE

The application has been referred to Council's Building Team who provided the following comments:

"The Development Application seeks approval for alterations & additions to the Ground Floor foyer of an existing commercial building including a new café.

The building is classified as a class 5 building of Type A construction.

The Development Application is supported by an Accessibility Report dated 29 August 2022 prepared by ABE Consulting which concludes that the proposed design is readily capable of Compliance with the BCA and Disability (Access to Premises – Buildings_ Standards 2010 however a Performance Solution will be required to be developed to address some minor non-compliances with the deemed to satisfy provisions of the NCC BCA. Acceptance of any Performance Solution is a matter for the registered certifier during Construction Certificate assessment stage.

The Development Application is accompanied by a BCA Assessment Compliance Report dated 27 July 2020 prepared by Steve Watson & Partners which concludes that the proposed design is capable of achieving compliance with the BCA. It is noted that Page 4, Section F of the BCA Report mentions that existing Ground Floor Sanitary Facilities are available for use by staff and patrons.

The submission of Annual Fire Safety Statement is up to date for the Property.

Given the minor scale of the proposed works, upgrade of the building is not required pursuant to Clause 64 of the Environmental Planning & Assessment Regulations 2021.

A detailed assessment of compliance with the Building Code of Australia 2019 will be undertaken by an appropriately registered certifier at the Construction Certificate Stage of the proposed development. Additionally, a Fire Safety Schedule is to be prepared by the certifier and accompany the Construction Certificate.

Generally, the proposed works can comply with the NCC BCA 2019."

Planning comment: The above comments from the Building team is noted. Conditions are recommended by the Building team which are imposed in the consent to ensure compliance with statutory standards and provisions.

SUBMISSIONS

The application has been notified in accordance with Council's Community Participation Plan with adjoining properties and the Stanton Precinct notified between **23 September – 07 October 2022**. In response to the notification Council received no submission to the proposal.

The amended plans received 21 December 2022 are considered generally consistent with the original, do not introduce any new adverse impacts and do not need to be advertised consistent with Council's Community Engagement Protocol.

CONSIDERATION

The relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979*, are assessed under the following headings:

SEPP (Transport and Infrastructure) 2021

The subject site has a frontage to a classified road that is Miller Street. Clause 2.119 *Development with frontage to classified road* states:

- (2) *The consent authority must not grant consent to development on land that has a frontage to a classified road unless it is satisfied that—*
- (a) *where practicable and safe, vehicular access to the land is provided by a road other than the classified road, and*
 - (b) *the safety, efficiency and ongoing operation of the classified road will not be adversely affected by the development as a result of—*
 - (i) *the design of the vehicular access to the land, or*
 - (ii) *the emission of smoke or dust from the development, or*
 - (iii) *the nature, volume or frequency of vehicles using the classified road to gain access to the land, and*
 - (c) *the development is of a type that is not sensitive to traffic noise or vehicle emissions, or is appropriately located and designed, or includes measures, to ameliorate potential traffic noise or vehicle emissions within the site of the development arising from the adjacent classified road.'*

Deliveries for the proposed café will take place through the rear laneway Bullivant Lane, accessed from Berry Street. The proposed number of deliveries per day Monday to Friday is 1 – 5 times between the hours of 5am – 8am. For the scale of the proposed café, it is unlikely that there will be adverse impacts in terms of size of delivery vehicles, amenity to subject site and adjoining properties, safety and efficiency of the delivery operation, and adverse impacts on the classified road. A designated loading zone in Bullivant Lane can be used for unloading deliveries and is satisfactory in this regard.

SREP (Sydney Harbour Catchment) 2005

Having regard to the SREP (Sydney Harbour Catchment) 2005 and the Sydney Harbour Foreshores and Waterways Area DCP 2005, the proposed development is not considered to be detrimental to the Harbour and will not unduly impose upon the character of the foreshore given the site's location in the North Sydney CBD at least 1.2km from the Harbour and development generally contained within the building. As such, the development is acceptable having regard to the provisions contained within SREP 2005 and the Sydney Harbour Foreshores and Waterways DCP 2005.

SEPP (Resilience and Hazards) 2021

The provisions of Chapter 4 of this SEPP require Council to consider the likelihood that the site has previously been contaminated and to address the methods necessary to remediate the site. The subject site has a history of commercial office use and as such is unlikely to contain any contamination. The proposal is satisfactory in addressing this SEPP.

NORTH SYDNEY LOCAL ENVIRONMENT PLAN 2013

1. Aims of Plan

The development application has been assessed against the aims of the North Sydney Local Environmental Plan 2013 and is considered to be satisfactory with respect to the relevant aims of the Plan.

2. Permissibility

The site is zoned **B3 Commercial Core** zone under the provisions of the North Sydney Local Environmental Plan 2013 (NSLEP 2013). Development for the purposes of alterations and additions to a commercial premise and part change of use is permissible with the consent of Council.

Under NSLEP 2013, commercial premises include any of the following:

- (a) *business premises,*
- (b) *office premises,*
- (c) *retail premises'*

The subject site is classified as an office premise:

***office premises** means a building or place used for the purpose of administrative, clerical, technical, professional or similar activities that do not include dealing with members of the public at the building or place on a direct and regular basis, except where such dealing is a minor activity (by appointment) that is ancillary to the main purpose for which the building or place is used.*

The development application includes a part change of use from office premises to a retail premise (food and drink premises) for the proposed café on the ground floor, located on the northern side of the lobby.

***'retail premises** means a building or place used for the purpose of selling items by retail, or hiring or displaying items for the purpose of selling them or hiring them out, whether the items are goods or materials (or whether also sold by wholesale), and includes -*

- (c) *food and drink premises*

***food and drink premises** mean premises that are used for the preparation and retail sale of food or drink (or both) for immediate consumption on or off the premises, and includes any of the following—*

- (a) *a restaurant or cafe,*
- (b) *take away food and drink premises,*
- (c) *a pub,*
- (d) *a small bar'*

The part change of use from a commercial premise (office premise) to a (food and drink premises) is permissible under NSLEP 2013. The proposed change of use satisfies the B3 Commercial Core objectives in the NSLEP 2013.

3. Objectives of the zone

The objectives for a B3 Commercial Core zone are stated below:

- *'To provide a wide range of retail, business, office, entertainment, community and other suitable land uses that serve the needs of the local and wider community.*
- *To encourage appropriate employment opportunities in accessible locations.*
- *To maximise public transport patronage and encourage walking and cycling.*
- *To prohibit further residential development in the core of the North Sydney Centre.*
- *To minimise the adverse effects of development on residents and occupiers of existing and new development.'*

The proposal satisfies the objectives for a B3 Commercial Core zone. The proposed alterations and additions to the ground floor lobby refurbish the space and the part change of use to a café will provide for the needs of the local and wider community.

4. Principal Development Standards

The proposal has been assessed against the principal development standards applicable to the development under NSLEP 2013 as follows:

Compliance Table –

| North Sydney Local Environmental Plan 2013 | | | |
|--|--|---------|----------|
| Site Area - 1634.7m ² | Proposed | Control | Complies |
| Clause 4.3 – Heights of Building | RL105.7 (incl. demolition area of foyer ceiling) | RL160 | YES |
| Clause 4.4a – Non-Residential FSR | FSR not affected as there is no FSR control | None | N/A |

The development application complies with *Clause 4.3 Heights of Building* of the NSLEP 2013.

5. Height of Building

The proposed works would have a height of RL105.7 and do not change the existing building compliance with the permissible height limit of RL160 in accordance with Clause 4.3 in NSLEP 2013.

The proposed works are located on the ground floor level of the commercial building and is compliant with Clause 4.3 in NSLEP 2013.

6. Heritage Conservation

The subject site is listed as a Heritage Item (I10904) pursuant to Schedule 5 of the North Sydney Local Environmental Plan 2013 so the following planning objectives apply to the site:

- (a) *to conserve the environmental heritage of North Sydney,*
- (b) *to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*

- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.'

The foyer and interiors were replaced in 1989 by Post-modern style alterations. The ground floor lobby has undergone numerous fit-out works to the interior through previous development applications. Furthermore, the building's heritage significance is recorded under the State Heritage Inventory for its 'distinctive original exterior form and construction'. Consequently, the interior alterations are considered satisfactory and will not create an adverse impact on the heritage significance of the building.

7. Limited development on foreshore area

The subject site is not located on the foreshores of Sydney Harbour and is not located within the Foreshore Building Line (FSBL) and is satisfactory in this regard.

8. Earthworks

The proposal involves no excavation and satisfies Clause 6.10 in NSLEP 2013.

NORTH SYDNEY DEVELOPMENT CONTROL PLAN (NSDCP) 2013

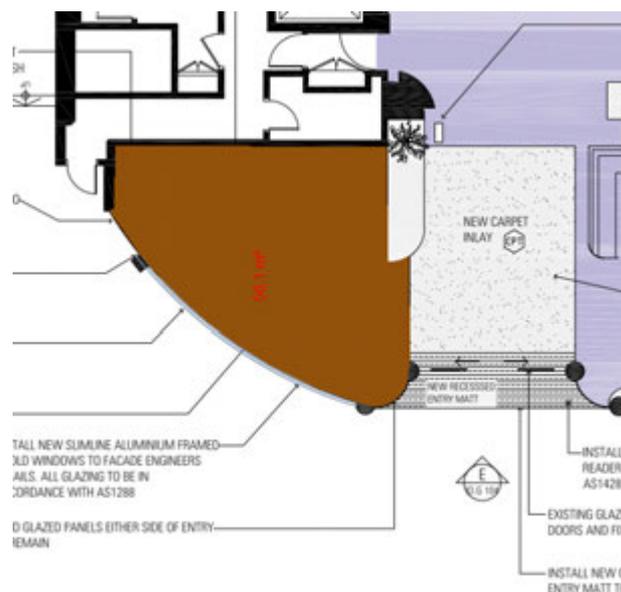
The Development Control plan applies to the site so an assessment has been carried out below:

Compliance Table – Commercial Development

| DEVELOPMENT CONTROL PLAN 2013 – Part B Section 2- Commercial Development | | |
|---|-----------------|---|
| | Complies | Comments |
| 2.2 Function | | |
| 2.2.1 Diversity of Activities | Yes | The proposal will retain the commercial use of the tenancy and not alter the diversity of activities within the North Sydney Centre. |
| 2.3 Environmental Criteria | | |
| 2.3.1 Clean Air | Yes | The proposed café requires reheating and servicing of food only. No cooking is required and thus will not adversely affect the air quality in the vicinity. |
| 2.3.2 Noise | Yes | The proposed café is within the commercial building and is unlikely to create adverse acoustic impacts on adjoining tenancies close to the stairwell due to the distance (approximately 20.5m) and the glass protection of those tenancies. Furthermore, no cooking is proposed for the café which will mitigate the level of acoustic impact. The cafe will only operate during business hours that align with the commercial building. Standard conditions of consent are imposed requiring the construction of the alterations and additions to be in accordance with the NCC. |
| 2.3.4 Reflectivity | Yes | Standard conditions of consent are imposed requiring the construction of the alterations and additions to be in accordance with the NCC. |
| 2.3.5 Artificial Illumination | Yes | The proposal does not include any changes to the external illumination of the subject building. |

| | | |
|---|-----|---|
| 2.3.8 Views | Yes | The development will have no impact to any existing views. |
| 2.4 Quality built form | | |
| 2.4.1 Context | Yes | The interior works are considered to be appropriate given that the ground floor lobby has undergone numerous fitouts. |
| 2.4.10 Streetscape | Yes | No changes are proposed to the external façade. |
| 2.4.11 Entrances and Exits | Yes | <p>The application proposed minor alterations to the main entry to the commercial tower building through the proposed carpet inlay and installation of bollard for after-hours access. The existing automatic glazed entry doors, side lights and fixed glass panel above and immediately on either side of the automatic door will remain.</p> <p>The proposal provides adequate and secure paths of travel from the lift lobby to facilities within the building.</p> <p>Standards conditions are required to ensure the fitout does not compromise building fire egress requirements.</p> |
| 2.5 Quality Urban Environment | | |
| 2.5.1 Accessibility | Yes | The applicant submitted an Accessibility Review Report dated 29 August 2022 that confirms the development can readily achieve compliance with the NCC requirements with the adoption of the recommendations/performance solutions proposed and is satisfactory in this regard. |
| 2.5.2 Safety and Security | Yes | The proposal will not alter the personal safety and security within the building and subject site. |
| 2.5.3 Illumination | Yes | Existing side lights for the main entry will remain. |
| 2.5.9 Garbage Storage <i>Typical volume generated to be stored</i> <i>Restaurant and café</i> <i>Waste: 10L/1.5m² GFA/day</i> <i>Recycling: 120L/100m² GFA/day</i> | Yes | <p>Garbage storage is located in the existing Bin Room on Basement 1 level. The applicant has submitted an Operational Waste Management Report, dated August 2022 that is considered capable of compliance with the DCP controls.</p> <p>While the area of the proposed café is measured to be approximately 59.1m², the submitted Operation Waste Management Report calculates beyond that and utilized a GFA figure of 119 m² for the calculation of waste storage and provided recommendations for compliance. Conditions are imposed in the consent requiring the proposed café to comply in accordance with the recommendations in the report.</p> |
| 2.5.10 Site Facilities | Yes | There is no change to existing site facilities on the ground floor including toilets and fire safety stairs. |
| 2.6 Efficient Use of Resources | | |
| 2.6.1 Energy Efficiency | N/A | The proposed café is for change of use in this development application and therefore this section of the DCP does not apply for this application. |
| 2.6.6 Waste Management & Minimisation | Yes | A construction and demolition waste management report dated 29 August 2022 was submitted with recommendations. The consent imposes a condition to achieve the recommendations within the report. |
| 2.6.8 Building Materials | Yes | The furnishing of the interior of the building generally avoids the use of the toxic materials outlined in this section of the DCP. |

10.0 Car Parking and Transport



Proposed café area measured to be approximately 56.1m².

| | | |
|-----------------------------------|-----------|--|
| 10.2 Parking Provision | No, Merit | Table B-10.3 in this section specifies the maximum parking rate of 1 space/50m ² for food and drink premises not including pubs. As it is a maximum rate, and the application does not propose car parking, the application is satisfactory. |
| 10.4 Loading and Servicing | Yes | The subject site already has adequate loading bays on Bullivant Lane that is satisfactory for the intended café use. Standard conditions of consent regarding delivery hours and loading are included in the consent and must operate in accordance with the NCC. |

DEVELOPMENT CONTROL PLAN 2013 – Part B Section 7- Late Night Trading Hours

| | | |
|---|-----|--|
| 7.2 Matters for Consideration | Yes | The proposed trading hours are appropriate and operate within the maximum trading hours listed in the NSDCP 2013. Accessibility to public transport, safety and security are considered and the proposal is deemed satisfactory. |
| 7.3 Trading Hours <ul style="list-style-type: none"> • B3 Commercial Core – Indoor: 6am – Midnight | Yes | The proposed hours of operation are: 6:30am – 3pm Monday to Friday. The primary purpose of the café is to service the commercial tenants of the building and as such, aligns with the core business hours of tenants in the building (generally 8am – 6pm) while balancing the business requirement for early hours of a cafe. |

CHARACTER STATEMENTS – PART C

The application has been assessed against the relevant controls in the Character Statements under Part C in NSDCP 2013 below:

Section 2 – North Sydney Planning Area
Section 2.1 – Central Business District

The proposed internal alterations are consistent with the Area Character Statement in NSDCP 2013.

LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN

The proposal is subject to Local Infrastructure Contributions in accordance with the North Sydney Local Infrastructure Contributions Plan (as amended). The required contribution has been calculated in accordance with the applicable contribution rates as follows

| Applicable Contribution Type | | |
|---|-------------------|--------------------------------------|
| S7.12 contribution detail | Development cost: | \$ 1,044,418.00 |
| (payment amount subject to indexing at time of payment) | Contribution: | \$ 1,044,418 x 0.01 = \$10,444.18 |

Conditions requiring payment of contributions are included in the attached recommended conditions of consent.

ALL LIKELY IMPACTS OF THE DEVELOPMENT

All likely impacts of the proposed development have been considered within the context of this report.

ENVIRONMENTAL APPRAISAL

CONSIDERED

| | | |
|----|--|-----|
| 1. | Statutory Controls | YES |
| 2. | Policy Controls | YES |
| 3. | Design in relation to existing building and natural environment | YES |
| 4. | Landscaping/Open Space Provision | YES |
| 5. | Traffic generation and Carparking provision | YES |
| 6. | Loading and Servicing facilities | YES |
| 7. | Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.) | YES |
| 8. | Site Management Issues | YES |
| 9. | All relevant S4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979 | YES |

PUBLIC INTEREST

The proposal is satisfactory in regard to the interior works, but is not considered to be in the public interest for the external works to the ground floor façade for the reasons stated throughout this report.

SUITABILITY OF THE SITE

The proposal would be located in a **B3 Commercial Core** where *commercial premises* are a permissible form of development. Consequently, the proposal for alterations and additions to a commercial office building is considered to be suitable for the site.

SUBMITTERS CONCERNS

The subject application was notified to adjoining properties and the Stanton Precinct for 14 days. No submission was received during this period.

CONCLUSION AND REASONS

The development application has been assessed against the North Sydney Environmental Plan 2013 and the North Sydney Development Control Plan 2013 and generally found to be satisfactory.

From the reasons listed above, the proposal is unlikely to cause adverse material impacts to adjoining tenancies and properties, and heritage significance of the building. The proposed works to the interior ground floor lobby and associated works are satisfactory.

Having regard to the provisions of Section 4.15 (1) of the Environmental Planning & Assessment Act 1979, the proposed development will not result in any unreasonable amenity or environmental impacts subject to conditions. The application is considered satisfactory and is recommended for approval subject to conditions.

HOW WERE THE COMMUNITY VIEWS TAKEN INTO CONSIDERATION?

The subject application was notified to adjoining properties and the Stanton Precinct for 14 days. No submission was received during this period.

RECOMMENDATION

PURSUANT TO SECTION 4.16 OF ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

THAT the North Sydney Local Planning Panel exercising the functions of Council as the consent authority grant consent to Development Application No. 265/22 for alterations and additions to the ground floor lobby, partial change of use to the ground floor lobby into a café, and associated works to a heritage listed commercial office building on land at 201 Miller Street, North Sydney subject to the following site specific and the attached standard conditions:-

Heritage Architect to be Commissioned

- C3. An appropriately qualified and experienced heritage consultant registered with the NSW Heritage Office must be commissioned to assist the design development, contract documentation and construction works at the site for their duration by undertaking inspections of the works at key points in progress and providing advice in relation to potential intrusion on original building fabric.

Written details of the engagement of the experienced heritage architect must be submitted to the Principal Certifier prior to the issue of any Construction Certificate.

Note: If advice provided by the heritage architect is to the effect that works requiring development consent be carried out, such works would require a Modification under s4.55 of the *Environmental Planning and Assessment Act 1979* or further development application. This condition, and any advice given by the heritage architect, should not be construed as authorising the carrying of development with/ otherwise than in accordance with the development consent.

(Reason: To ensure that all matters relating to significant fabric and spaces are resolved and recorded using best practice for heritage conservation)

Compliance with Accessibility Report

- C9. The recommendation contained in the Accessibility Review Report prepared by ABE Consulting, dated 29 August 2022, must be implemented during construction and use of the development.

(Reason: To ensure the provision of equitable and dignified access for all people in accordance with disability discrimination legislation and relevant Australian Standards)

Compliance with the Waste Management Report

- E16. The recommendations contained in the Construction & Demolition Waste Management Plan prepared by Elephants Foot Consulting, dated 29 August 2022, Revision E, must be implemented during construction and demolition phases of the proposed development.

(Reason: To ensure appropriate measures have been considered for site access, storage and the operation of the site during all phases of the demolition and construction process in a manner that respects adjoining owner's property rights and residential amenity in the locality, without unreasonable inconvenience to the community)

(Reason: To encourage the minimisation of waste and recycling of building waste)

I. Ongoing/Operational Conditions

Hours of Operation

- I1. The hours of operation are restricted to:

Café – Monday to Friday 6:30am – 3:00pm (Only)

Upon expiry of the permitted hours:

- (a) all restaurant service (and entertainment) must immediately cease;
- (b) no person shall be permitted entry; and
- (c) all customers on the premises must be required to leave within the following half hour.

(Reason: To ensure that amenity of the surrounding locality is maintained, and hours of operation are consistent with those in surrounding locality)

RACHEL WU
GRADUATE ASSESSMENT OFFICER

DAVID HOY
TEAM LEADER (ASSESSMENTS)

STEPHEN BEATTIE
MANAGER DEVELOPMENT SERVICES

NORTH SYDNEY COUNCIL
CONDITIONS OF DEVELOPMENT APPROVAL
201 MILLER STREET, NORTH SYDNEY
DEVELOPMENT APPLICATION NO. 265/22

A. Conditions that Identify Approved Plans

Development in Accordance with Plans/Documentation

- A1. The development must be carried out in accordance with the following drawings and documentation and endorsed with Council's approval stamp, except where amended by the following conditions of this consent.

| Plan No. | Rev | Description | Prepared by | Dated |
|----------|-----|---|-----------------|------------|
| DAB100 | A | Basement 1 – Bin Room | Brass Tacks P/L | 04/08/2022 |
| DAG000 | D | Demolition Plan – Ground Floor Foyer | Brass Tacks P/L | 04/08/2022 |
| DAG100 | F | New Works Plan – Ground Floor Foyer | Brass Tacks P/L | 21/12/2022 |
| DAG101 | E | Reflected Ceiling Plan – Ground Floor Foyer | Brass Tacks P/L | 21/12/2022 |
| DAG103 | E | Internal Elevations – Ground Floor Foyer | Brass Tacks P/L | 21/12/2022 |
| DAG104 | D | Proposed External Elevations – Ground Floor Foyer | Brass Tacks P/L | 21/12/2022 |
| - | B | Finishes Schedule – Foyer Refurbishment | Brass Tacks P/L | 21/12/2022 |

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

Plans on Site

- A2. A copy of all stamped approved plans, specifications and documents (including the plans, specifications and documents submitted and approved with the Construction Certificate) must be kept on site at all times so as to be readily available for perusal by any officer of Council or the Principal Certifying Authority.

All documents kept on site in accordance with this condition must be provided to any officer of the Council or the certifying authority upon their request.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information and to ensure ongoing compliance)

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No Demolition of Extra Fabric

- A3. Alterations to, and demolition of the existing building shall be limited to that documented on the approved plans.

(Reason: To ensure compliance with the approved development)

External Finishes and Materials

- A4. External finishes and materials must be in accordance with the submitted schedule dated **21 December 2022**, prepared by **Brass Tacks P/L** and received by Council on 21 December 2022 unless otherwise modified by Council in writing.

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

C. *Prior to the Issue of a Construction Certificate (and ongoing, where indicated)*

Waste Management Plan

- C1. A Waste Management Plan is to be submitted for approval by the Certifying Authority prior to the issue of any Construction Certificate. The plan must include, but not be limited to:
- a) The estimated volume of waste and method of disposal for the construction and operation phases of the development;
 - b) The design of the on-site waste storage and recycling area; and
 - c) Administrative arrangements for waste and recycling management during the construction process.

The approved Waste Management Plan must be complied with at all times in the carrying out of the development.

(Reason: To encourage the minimisation of waste and recycling of building waste)

Colours, Finishes and Materials (Heritage Items)

- C2. A traditional palette of finishes, materials and colour schemes must be selected for the new building works appropriate to the architectural style of the original building and submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted fully satisfy the requirements of this condition prior to the release of the Construction Certificate.

(Reason: To ensure that exterior colours, finishes and materials are sympathetic to the significance of the heritage item.)

Heritage Architect to be Commissioned

- C3. An appropriately qualified and experienced heritage consultant registered with the NSW Heritage Office must be commissioned to assist the design development, contract documentation and construction works at the site for their duration by undertaking inspections of the works at key points in progress and providing advice in relation to potential intrusion on original building fabric.

Written details of the engagement of the experienced heritage architect must be submitted to the Principal Certifier prior to the issue of any Construction Certificate.

Note: If advice provided by the heritage architect is to the effect that works requiring development consent be carried out, such works would require a Modification under s4.55 of the *Environmental Planning and Assessment Act 1979* or further development application. This condition, and any advice given by the heritage architect, should not be construed as authorising the carrying of development with/ otherwise than in accordance with the development consent.

(Reason: To ensure that all matters relating to significant fabric and spaces are resolved and recorded using best practice for heritage conservation)

External Finishes and Materials

- C4. The external colours and finishes must be in accordance with the approved schedule of finishes and materials. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure quality built form of development)

Garbage and Recycling Facilities

- C5. Adequate provision must be made for the storage of waste and recyclable material generated by the premises. Plans and specifications which comply with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

(Reason: To ensure the provision of appropriate waste facilities and to ensure efficient collection of waste by collection contractors)

Provision of Accessible Paths of Travel

- C6. Access to and throughout the affected part of the building must be designed and constructed to provide access and facilities in accordance with the Building Code of Australia and Disability (Access to Premises – Buildings) Standards 2010. Plans and specifications complying with this condition must be submitted to the Certifying Authority for approval prior to the issue of any Construction Certificate. The Certifying Authority must ensure that the building plans and specifications submitted, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

Notes:

1. If, in complying with this condition, amendments to the development are required, the design changes must be submitted for the approval of Council prior to a Construction Certificate being issued. Approval of a modification application may be required.
2. It is not within Council's power to set aside National legislation which requires the upgrade of buildings to meet modern access standards. Such decisions remain the jurisdiction of the Building Professionals Board Access Advisory Committee who may grant an exemption in certain exceptional circumstances.
3. Information on making an application for an "unjustifiable hardship exemption" under the accessibility standards can be found in the website of the NSW Building Professional Boards at <http://www.bpb.nsw.gov.au/page/premises-standards>

(Reason: To ensure the provision of equitable and dignified access for all people in accordance with disability discrimination legislation and relevant Australian Standards)

Section 7.12 Contributions

- C7. A monetary contribution pursuant to the provisions of Section 7.12 of the Environmental Planning and Assessment Act 1979 is to be paid to Council, in accordance with the North Sydney Council's Contribution Plan, to provide for local infrastructure improvements.

Based on the cost of development at the date of determination, the total contribution payable to Council is \$10,444.18.

Indexation

The monetary contribution required under this consent will be indexed at the time of payment in accordance with quarterly movements in the Consumer Price Index (All Groups Index) for Sydney as published by the Australian Bureau of Statistics.

Timing of Payment

The contribution must be paid to Council prior to issue of any Construction Certificate for any work approved by this consent.

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A copy of the North Sydney Contribution Plan can be viewed at North Sydney Council's Customer Service Centre, 200 Miller Street, North Sydney or downloaded via Council's website at www.northsydney.nsw.gov.au.

(Reason: To provide for local infrastructure identified in the North Sydney Council Local Contributions Plan 2020)

Security Deposit/Guarantee Schedule

- C8. All fees and security deposits/guarantees in accordance with the schedule below must be provided to Council prior to the issue of any Construction Certificate:

| Security Deposit/Guarantee | Amount (\$) |
|--|---------------------|
| Street Tree Bond (on Council Property) | \$5,000.00 |
| TOTAL BONDS | \$\$5,000.00 |

Note: The following fees applicable

| Fees | |
|----------------------------|--------------------|
| Section 7.12 Contributions | \$10,444.18 |
| TOTAL FEES | \$10,444.18 |

The security required by the above schedule must be provided by way of a deposit with the Council; or other such guarantee that is satisfactory to Council (such as a bank guarantee). Any guarantee provided as security must name North Sydney Council as the nominated beneficiary and must not be subject to an expiry date.

(Reason: Compliance with the development consent)

Compliance with Accessibility Report

- C9. The recommendations contained in the Accessibility Review Report prepared by ABE Consulting, dated 29 August 2022, must be implemented during construction and use of the development.

(Reason: To ensure the provision of equitable and dignified access for all people in accordance with disability discrimination legislation and relevant Australian Standards)

D. Prior to the Commencement of any Works (and continuing where indicated)**Photographic Survey (Heritage Items)**

- D1. Prior to any works commencing a photographic survey recording, in accordance with the NSW Heritage Office Guidelines, "Photographic recording of Heritage Items using file or digital capture," is to be prepared to the satisfaction of Council's Historian and Conservation Planner. Two (2) copies of the photographic survey must be provided to Council.

(Reason: To provide a historical record of heritage significant fabric on site for archival purposes)

Commencement of Works' Notice

- D2. Building work, demolition or excavation in accordance with this development consent must not be commenced until the developer has given at least two days' notice to North Sydney Council of the person's intention to commence building work, demolition or excavation in accordance with this development consent.

(Reason: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

E. During Demolition and Building Work**Removal of Extra Fabric**

- E1. Should any portion of the existing building, trees, or curtilage of the site which is indicated on the approved plans to be retained be damaged for whatever reason, all the works in the area of the damaged portion are to cease and written notification of the damage is to be given to Council forthwith. No work is to resume until the written approval of Council to do so is obtained. Failure to comply with the provisions of this condition may result in the Council taking further action including legal proceedings if necessary.

(Reason: To ensure compliance with the terms of this development consent)

Dust Emission and Air Quality

- E2. The following must be complied with at all times:
- (a) Materials must not be burnt on the site.
 - (b) Vehicles entering and leaving the site with soil or fill material must be covered.
 - (c) Dust suppression measures must be carried out to minimise wind-borne emissions in accordance with the NSW Department of Housing's 1998 guidelines - Managing Urban Stormwater: Soils and Construction.

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- (d) Odour suppression measures must also be carried out where appropriate so as to prevent nuisance occurring at adjoining properties.

(Reason: To ensure residential amenity is maintained in the immediate vicinity)

Noise and Vibration

- E3. The works must be undertaken in accordance with the "Interim Construction Noise Guideline," published by the NSW Environment Protection Authority, to ensure excessive levels of noise and vibration do not occur so as to minimise adverse effects experienced on any adjoining land.

(Reason: To ensure residential amenity is maintained in the immediate vicinity)

No Work on Public Open Space

- E4. No work can be undertaken within adjoining public lands (i.e., Parks, Reserves, Roads etc) without the prior written consent of Council. In this regard the developer is to liaise with Council prior to the commencement of any design works or preparation of a Construction and Traffic Management Plan.

(Reason: Protection of existing public infrastructure and land and to ensure public safety and proper management of public land)

Developer's Cost of Work on Council Property

- E5. The developer must bear the cost of all works associated with the development that occurs on Council's property, including the restoration of damaged areas.

(Reason: To ensure the proper management of public land and funds)

No Removal of Trees on Public Property

- E6. No trees on public property (footpaths, roads, reserves, etc.) unless specifically approved by this consent shall be removed or damaged during construction including for the erection of any fences, hoardings or other temporary works.

(Reason: Protection of existing environmental infrastructure and community assets)

Construction Hours (Commercial Core and Mixed-use Zones)

- E7. Construction activities and works approved under this consent must be carried out only within the hours stipulated in the following table:

| Standard Construction Hours | | |
|--|------------------------|-------------------|
| Location | Day | Hours |
| B3 Commercial Core Zone B4 Mixed-use Zone | Monday - Friday | 7.00 am - 7.00 pm |
| | Saturday | 8.00 am - 1.00 pm |
| | Sunday, Public holiday | No work permitted |

Construction activities for development approved under this consent must be carried out in accordance with the standard construction hours above and any Construction Noise Management Plan required under this consent.

In the event of breach to the approved hours of construction Council take may take enforcement action under Part 9 of the EP&A Act 1979 and in accordance with Council's adopted Compliance and Enforcement Policy.

(Reason: To ensure that works do not interfere with reasonable amenity expectations of residents and the community)

Out-of-hours' Work Permits

- E8. Where it is necessary for works to occur outside those hours allowed by these conditions, an application may be made to Council's Customer Services Centre for a permit to carry out works outside of the approved hours. If a permit is issued the works approved must be carried out in accordance with any requirements specified in the permit. Permits will only be approved if **public safety is at risk**. Applications which seek a variation to construction hours solely to benefit the developer will require the lodgement and favourable determination of a modification application pursuant to the provisions of Section 96 of the Environmental Planning and Assessment Act 1979.

Notes:

- 1) Failure to obtain a permit for work outside of the approved hours will result in on the spot fines being issued, or Council pursuing any action required (including legal proceedings) to have the out of hours work cease, without prior warning.
- 2) Applications for out of hour's works should be lodged with Council no later than seven (7) calendar days prior to the date of the intended works.
- 3) Examples of activities for which permits may be granted include:
 - the erection of awnings,
 - footpath, road and other infrastructure works which cannot be carried out for public convenience reasons within normal hours,
 - the erection and removal of hoardings and site cranes, and
 - craneage of materials which cannot be done for public convenience reasons within normal working hours.
- 4) Examples of activities for which permits WILL NOT be granted include;
 - extended concrete pours
 - works which are solely to convenience the developer or client, and

- catch up works required to maintain or catch up with a construction schedule.
- 5) Further information on permits can be obtained from the Council website at www.northsydney.nsw.gov.au.

(Reason: To ensure that works do not interfere with reasonable amenity expectations of residents and the community)

Site Amenities and Facilities

- E9. Where work involved in the erection and demolition of a building is being carried out, amenities which satisfy applicable occupational health and safety and construction safety regulations, including any WorkCover Authority requirements, must be provided and maintained at all times. The type of workplace determines the type of amenities required.

Further information and details can be obtained from the Internet at www.workcover.nsw.gov.au.

(Reason: To ensure the health and safety of the community and workers on the site)

Health and Safety

- E10. All work undertaken must satisfy applicable occupational health and safety and construction safety regulations, including any WorkCover Authority requirements to prepare a health and safety plan. Site fencing must be installed sufficient to exclude the public from the site. Safety signs must be erected that warn the public to keep out of the site and provide a contact telephone number for enquiries.

Further information and details regarding occupational health and safety requirements for construction sites can be obtained from the internet at www.workcover.nsw.gov.au.

(Reason: To ensure the health and safety of the community and workers on the site)

Community Information

- E11. Reasonable measures must be undertaken at all times to keep nearby residents informed about the proposed work, such as by way of signs, leaflets, public meetings and telephone contact numbers, to ensure that adjoining residents are aware of the likely duration of the construction works on the site

(Reason: To ensure that residents are kept informed of activities that may affect their amenity)

Prohibition on Use of Pavements

- E12. Building materials must not be placed on Council's footpaths, roadways, parks or grass verges, (unless a permit is obtained from Council beforehand). A suitable sign to this effect must be erected adjacent to the street alignment.

(Reason: To ensure public safety and amenity on public land)

Plant and Equipment Kept Within Site

- E13. All plant and equipment used in the undertaking of the development/ works, including concrete pumps, wagons, lifts, mobile cranes, hoardings etc, must be situated within the boundaries of the site (unless a permit is obtained from Council beforehand) and so placed that all concrete slurry, water, debris and the like must be discharged onto the building site, and is to be contained within the site boundaries.

Details of Council requirements for permits on public land for standing plant, hoardings, storage of materials and construction zones and the like are available on Council's website at www.northsydney.nsw.gov.au.

(Reason: To ensure public safety and amenity on public land)

Waste Disposal

- E14. All records demonstrating the lawful disposal of waste must be retained and kept readily accessible for inspection by regulatory authorities such as North Sydney Council and the Environmental Protection Authority.

(Reason: To ensure the lawful disposal of construction and demolition waste)

Compliance with the Waste Management Report

- E16. The recommendations contained in the Construction & Demolition Waste Management Plan prepared by Elephants Foot Consulting, dated 29 August 2022, Revision E, must be implemented during construction and demolition phases of the proposed development.

(Reason: To ensure appropriate measures have been considered for site access, storage and the operation of the site during all phases of the demolition and construction process in a manner that respects adjoining owner's property rights and residential amenity in the locality, without unreasonable inconvenience to the community)

(Reason: To encourage the minimisation of waste and recycling of building waste)

F. Prescribed Conditions imposed under EP&A Act and Regulations and other relevant Legislation**National Construction Code**

- F1. All building work must be carried out in accordance with the provisions of the National Construction Code.

(Reason: Prescribed - Statutory)

Appointment of a Principal Certifying Authority (PCA)

- F2. Building work, demolition or excavation in accordance with the development consent must not be commenced until the developer has appointed a Principal Certifying Authority for the building work in accordance with the provisions of the EP&A Act and its Regulations.

(Reason: Statutory: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

Construction Certificate

- F3. Building work, demolition or excavation in accordance with the development consent must not be commenced until a Construction Certificate for the relevant part of the building work has been issued in accordance with the provisions of the EP&A Act and its Regulations.

(Reason: Statutory: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

Occupation Certificate

- F4. A person must not commence occupation or use of the whole or any part of a new building (*new building* includes an altered portion of, or an extension to, an existing building) unless an Occupation Certificate has been issued in relation to the building or part. Only the Principal Certifying Authority appointed for the building work can issue an Occupation Certificate.

(Reason: Statutory)

Critical Stage Inspections

- F5. Building work must be inspected by the Principal Certifying Authority on the critical stage occasions prescribed by the EP&A Act and its Regulations, and as directed by the appointed Principal Certifying Authority.

(Reason: Statutory)

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Commencement of Works

- F6. Building work, demolition or excavation in accordance with this development consent must not be commenced until the developer has given at least two (2) days' notice to North Sydney Council of the person's intention to commence the erection of the building.

(Reason: Statutory: To ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

Protection of Public Places

- F7. 1) A hoarding and site fencing must be erected between the work site and adjoining public place.
- 2) If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.
- 3) The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.
- 4) Any such hoarding, fence or awning is to be removed when the work has been completed.
- 5) No access across public reserves or parks is permitted.

Note: Prior to the erection of any temporary fence or hoarding over property owned or managed by Council, written approval must be obtained. Any application needs to be accompanied by plans indicating the type of hoarding and its layout. Fees are assessed and will form part of any approval given. These fees must be paid prior to the approval being given. Approval for hoardings will generally only be given in association with approved building works, maintenance or to ensure protection of the public. An application form for a Hoarding Permit can be downloaded from Council's website.

(Reason: To ensure public safety and the proper management of public land)

Site Sign

- F8. 1) A sign must be erected in a prominent position on the site
- a) stating that unauthorised entry to the work site is prohibited;
- b) showing the name of the principal contractor (or person in charge of the work site), and a telephone number at which that person may be contacted at any time for business purposes and outside working hours; and
- c) showing the name, address and telephone number of the Principal Certifying Authority for the work.

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- 2) Any such sign must be maintained while to building work or demolition work is being carried out but must be removed when the work has been completed.

(Reason: Prescribed - Statutory)

G. Prior to the Issue of an Occupation Certificate**Infrastructure Repair and Completion of Works**

- G1. Prior to the issue of any Occupation Certificate any and all works relating to the development:
- a. in the road reserve must be fully completed; and
 - b. to repair and make good any damaged public infrastructure caused as a result of any works relating to the development (including damage caused by, but not limited to, delivery vehicles, waste collection, contractors, sub-contractors, concrete vehicles) must be fully repaired;
- to the satisfaction of Council Engineers at no cost to Council.

(Reason: Maintain quality of public assets)

Utility Services

- G2. All utility services shall be adjusted to the correct levels and/or location/s required by this consent, prior to issue of an occupation certificate. This shall be at no cost to Council.

(Reason: To ensure compliance with the terms of this consent)

Disposal Information

- G3. Upon completion of works and prior to occupation, a report including the following information must be provided to Council's Open Space and Environmental Services Department:
- (a) the total tonnage of all waste and excavated material disposed of from the site (including any tipping dockets); and
 - (b) the disposal points and methods used.

(Reason: To ensure appropriate disposal methods are undertaken for auditing and inspection purposes)

Verification Statement (External Finishes and Materials)

- G4. Prior to the issue of any Occupation Certificate, a verification statement from a qualified designer or architect (preferably the original designer), must be submitted to Council and the Certifying Authority certifying that the external finishes and materials are in accordance with the approved schedule of finishes and materials identified in this consent.

“qualified designer” means a person registered as an architect in accordance with the Architects Act 2003 cf 50(1A) EP&A Regs 2000.

(Reason: To ensure the design quality and finishes for residential flat development)

I. Ongoing/Operational Conditions

Hours of Operation

11. The hours of operation are restricted to:

Café – Monday – Friday 6:30am – 3:00pm (Only)

Upon expiry of the permitted hours:

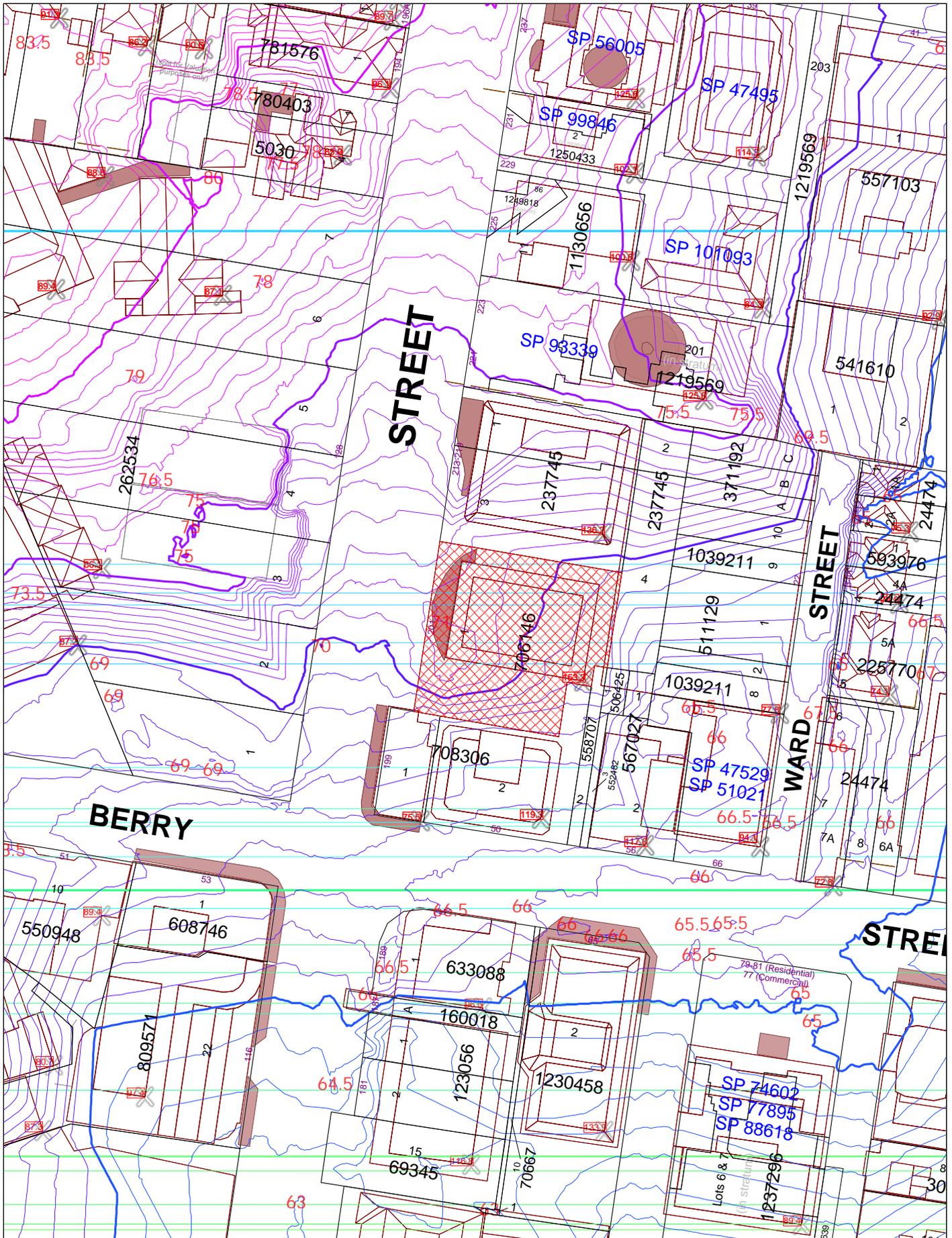
- (a) all restaurant service (and entertainment) must immediately cease;
- (b) no person shall be permitted entry; and
- (c) all customers on the premises must be required to leave within the following half hour.

(Reason: to ensure that amenity of the surrounding locality is maintained, and hours of operation are consistent with those in surrounding locality)

Existing Loading Dock

12. Vehicle deliveries and loading and unloading operations must occur within the site. The existing loading dock must be maintained at all times for use in connection with the development.

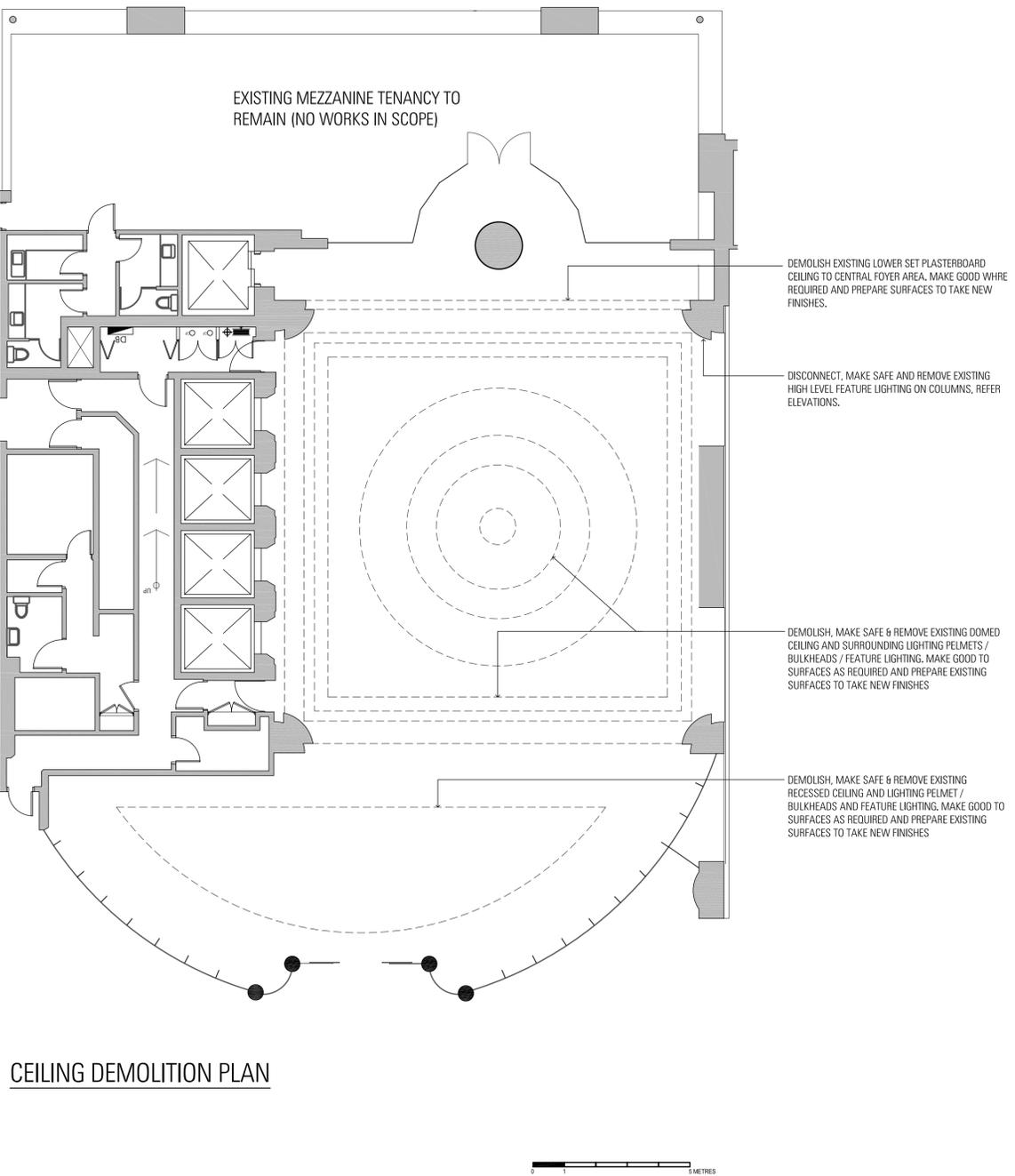
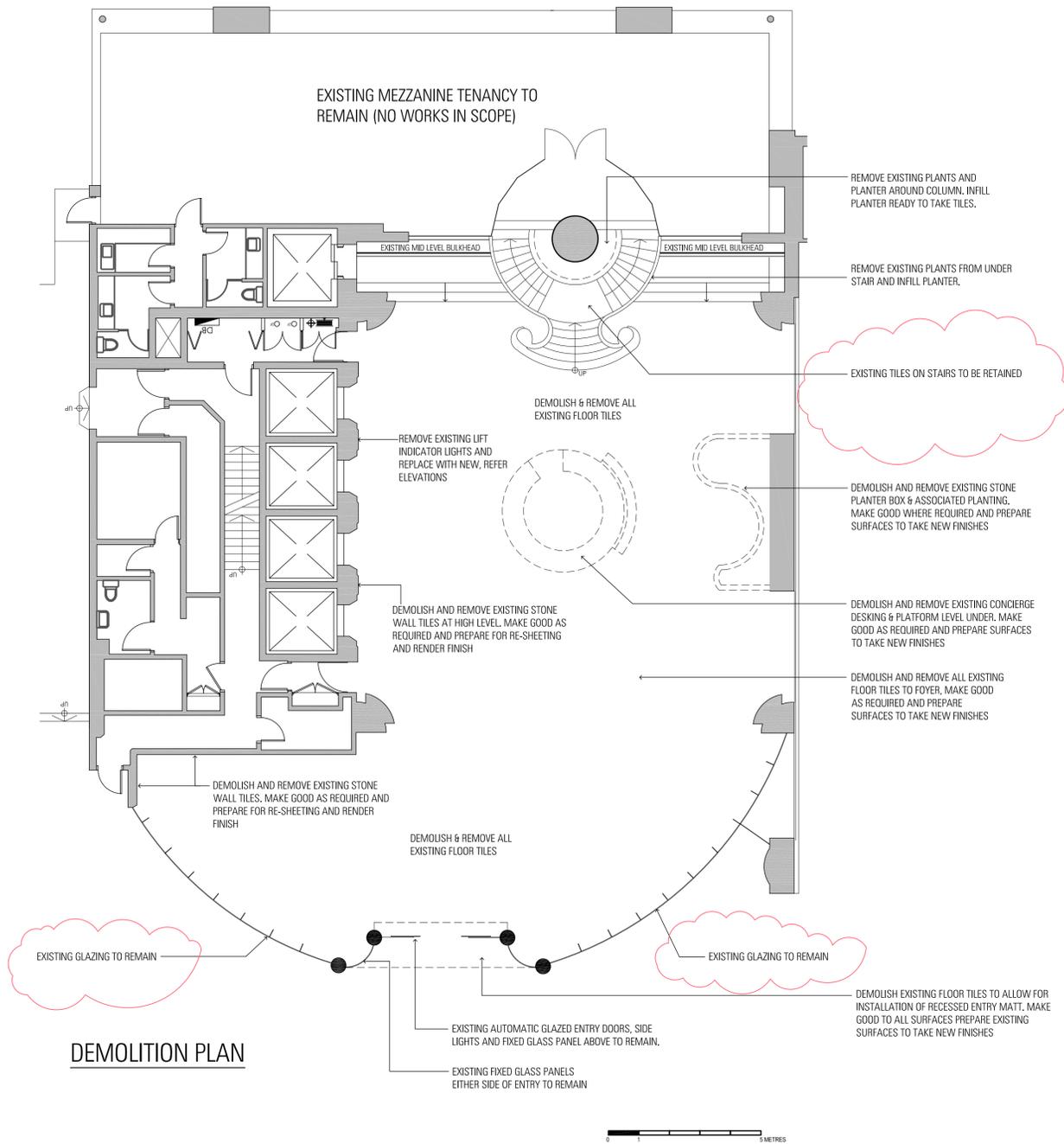
(Reason: To ensure that deliveries occur within the site and do not adversely affect traffic or pedestrian amenity)



North Sydney Council

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Further details can be obtained by calling (02) 9936 8100 or e-mail mapping@northsydney.nsw.gov.au.



GENERAL CONSTRUCTION NOTES

ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO FABRICATION OF ANY ITEMS.

GLAZING MATERIALS TO COMPLY WITH AS1288.

CONTRACTOR TO MAKE GOOD TO ANY SURFACES REQUIRED. DUE TO DEMOLITION. ALL WORKS TO BE UNDERTAKEN TO COMPLY WITH AS2601-2001 AND ALL RELEVANT AUSTRALIAN STANDARDS

GYPROCK AQUACHEK TO BE USED TO ALL PARTITION WALLS TO WET AREAS.

ALL WORKS TO BE IN ACCORDANCE WITH THE NCC, BUILDING CODE OF AUSTRALIA, AUSTRALIA STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS.

CONTRACTOR TO ENSURE CONSISTENCY BETWEEN SIMILAR MATERIALS IS MAINTAINED.

CONTRACTOR TO NOTIFY BRASS TACKS OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURE.

ALL CONTRACTORS SHOP DRAWINGS/ SETTING OUT TO BE SUBMITTED TO BRASS TACKS FOR APPROVAL PRIOR TO CONSTRUCTION.

PROVIDE WATERPROOFING AND DRAINAGE TO WET AREAS. APPLICATION OF MEMBRANE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND ALL RELEVANT CURRENT AUSTRALIAN CODES AND STANDARDS.

— EXISTING WALLS SHOWN SOLID
 - - - - DEMOLITION REQUIRED SHOWN DASHED

DA ISSUE

| Issue | As per | Description | Date |
|-------|--|-------------|----------|
| DA D | DA AMENDED | | 21.12.22 |
| DA C | DA AMENDED | | 20.12.22 |
| DA B | DA AMENDED. EXISTING GLAZING TO REMAIN | | 12.12.22 |
| DA A | ISSUE FOR DA APPROVAL | | 4.08.22 |
| DA - | PRELIMINARY ISSUE FOR REVIEW / CO-ORDINATION | | 8.07.22 |

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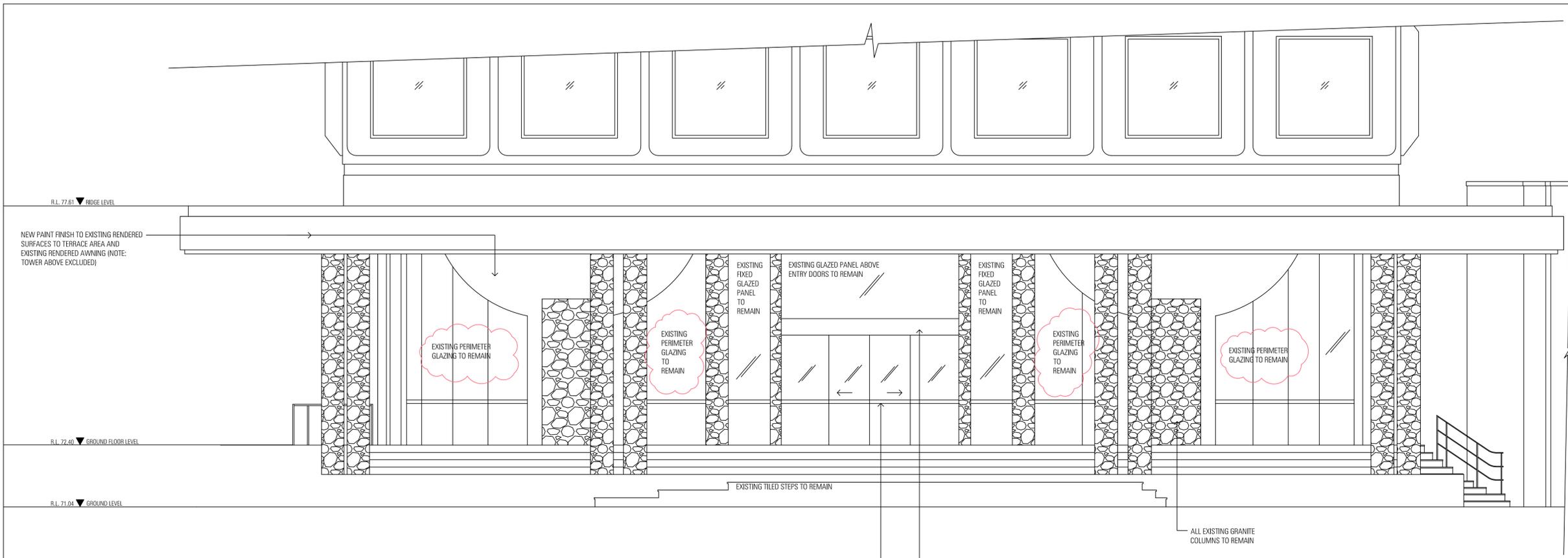
DO NOT SCALE from this drawing. Contractors must verify all dimensions on site prior to starting any work or making any shop drawings. Figured dimensions are to be taken in preference to scale readings.

BRASS TACKS PTY LTD
 UNIT 105 CAMPBELL ST
 SURRY HILLS NSW 2010
 M:042082837
 ABN:6448794284
REFINED. RESOLVED. REALISED.

| | |
|------------|--|
| project | BASE BUILDING REFURBISHMENT 201 MILLER ST, NORTH SYDNEY |
| drawing | DEMOLITION PLAN GROUND FLOOR FOYER |
| client | LASALLE INVESTMENT MANAGEMENT |
| scale | 1:100 @ A1 project no 22-156.01 |
| issue | DA |
| drawing no | DA.G.000 |
| revision | D |

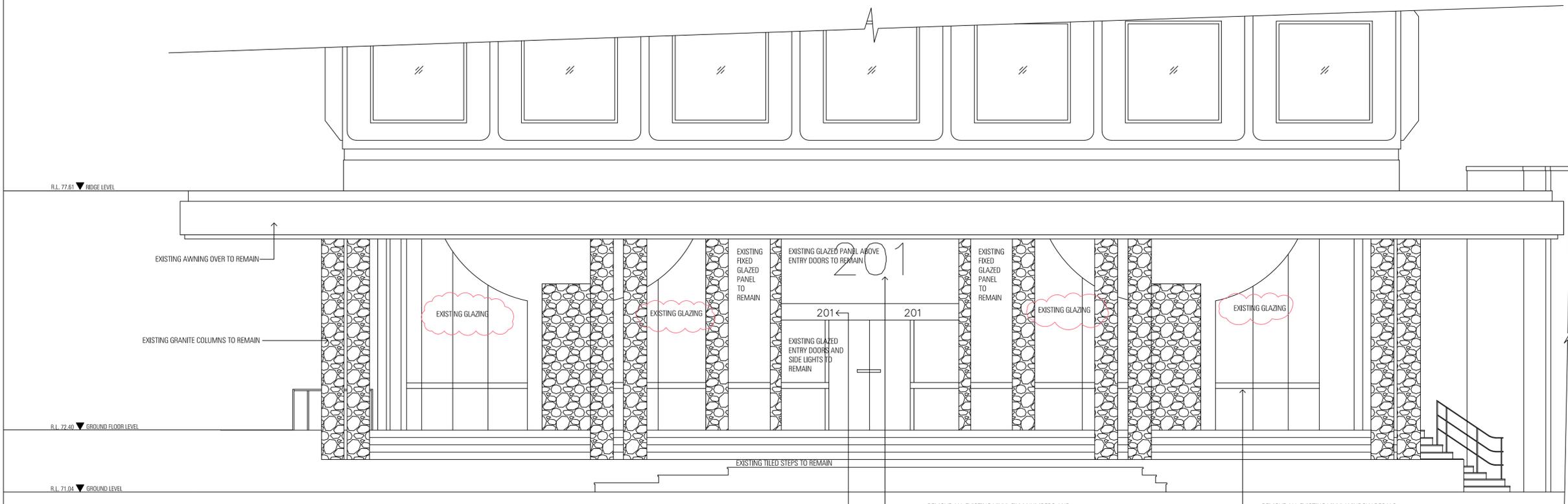
DEMOLITION PLAN

CEILING DEMOLITION PLAN



E PROPOSED EXTERNAL ELEVATION
1:50

NOTE:
NEW EXTERNAL BUILDING NUMBER/
SIGNAGE TO FUTURE DA SUBMISSION.



E EXISTING EXTERNAL ELEVATION
1:50

GENERAL CONSTRUCTION NOTES

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EXISTING WALLS SHOWN SOLID

FINISHES NOTES

1. CONTRACTOR TO PROVIDE SAMPLES, FOR ALL FINISHES, TO DESIGNER FOR APPROVAL. PRIOR TO MANUFACTURE
2. ALLOW TO UNDERTAKE ALL NECESSARY FLOOR PREPARATION TO ACHIEVE A LEVEL AND SUITABLE SUBSTRATE FOR NEW FINISH.
3. ALL FLOOR JUNCTIONS TO BE LEVEL WHERE 2 FINISHES MEET.
4. ALL WORKS AND MATERIALS TO BE INSTALLED TO COMPLY WITH RELEVANT CODES AND STANDARDS, INCLUDING AS/NZS 3661.1:1993.
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6. CONTRACTOR TO CONFIRM LOCATIONS OF ANY JOINS REQUIRED IN FLOOR & WALL FINISHES WITH DESIGNER PRIOR TO MANUFACTURE
7. PAINTING TO BE UNDERTAKEN TO AS 2311 AND AS 2312 AND TO BE A 3 PART PROCESS MINIMUM.
8. ALL NEW PLASTERBOARD WALLS TO BE PAINTED, REFER TO M4 FINISHES SCHEDULE.
9. PROVIDE ALUMINIUM FLAT BAR ANGLE BETWEEN ALL CARPET AND VINYL JUNCTIONS AND CARPET AND TILE JUNCTIONS. REFER TO DETAILS.
10. CONTRACTOR TO CONFIRM ALL LEAD TIMES FOR FINISHES & NOTIFY DESIGNER OF ANY EXTENDED LEAD TIMES ON APPOINTMENT.

DA ISSUE

| | | |
|------|--|----------|
| DA D | AMENDED ISSUE | 20.12.22 |
| DA C | AMENDED ISSUE | 12.12.22 |
| DA B | ISSUE FOR DA APPROVAL | 26.08.22 |
| DA A | ISSUE FOR DA APPROVAL | 4.08.22 |
| DA - | PRELIMINARY ISSUE FOR REVIEW (CO-ORDINATION) | 8.07.22 |

Issue: Author: Description: Date:
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L02/105 CAMPBELL ST
SURRY HILLS NSW 2010
M:040283837
A:614487942834
REFINED, RESOLVED, REALISED

project
**BASE BUILDING REFURBISHMENT
201 MILLER ST, NORTH SYDNEY**

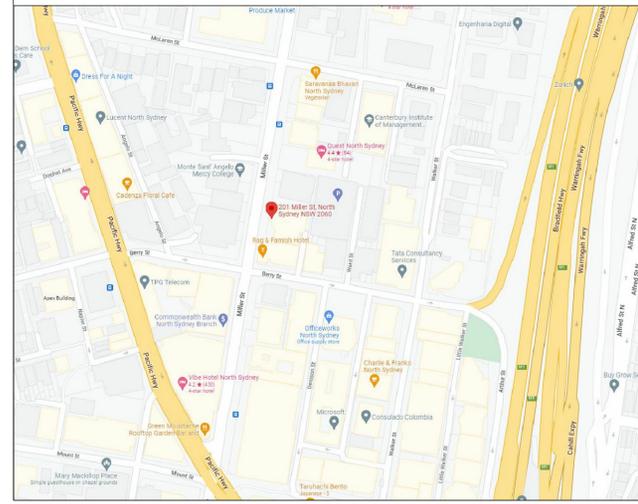
drawing
**PROPOSED EXTERNAL ELEVATIONS
GROUND FLOOR FOYER**

client
LASALLE INVESTMENT MANAGEMENT

scale: 1:50 @ A1 project no: 22-156.01

issue: DA
drawing no: DA.G.104
revision: D

LOCATION PLAN
SITE: 201 MILLER ST NORTH SYDNEY



GENERAL CONSTRUCTION NOTES

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EXISTING WALLS SHOWN SOLID

FINISHES LEGEND
FINISHES CODE, REFER TO A4 FINISHES SCHEDULE BY BRASS TACKS FOR SPECIFICATION.

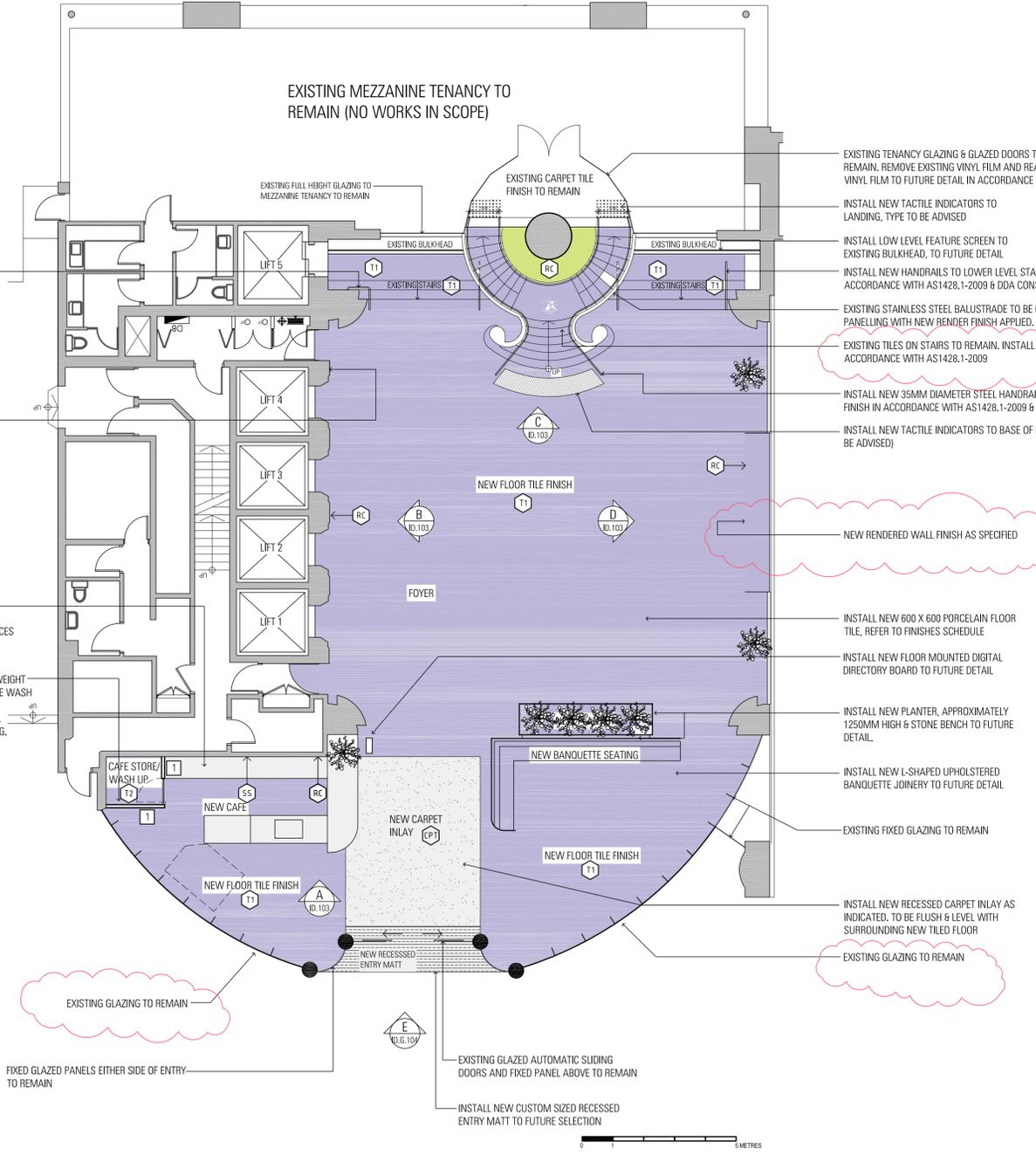
FINISHES NOTES

- CONTRACTOR TO PROVIDE SAMPLES, FOR ALL FINISHES, TO DESIGNER FOR APPROVAL, PRIOR TO MANUFACTURE
- ALLOW TO UNDERTAKE ALL NECESSARY FLOOR PREPARATION TO ACHIEVE A LEVEL AND SUITABLE SUBSTRATE FOR NEW FINISH.
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- ALL NEW PLASTERBOARD WALLS TO BE PAINTED, REFER TO A4 FINISHES SCHEDULE.
- PROVIDE ALUMINIUM FLAT BAR ANGLE BETWEEN ALL CARPET AND VINYL JUNCTIONS AND CARPET AND TILE JUNCTIONS, REFER TO DETAILS.
- CONTRACTOR TO CONFIRM ALL LEAD TIMES FOR FINISHES & NOTIFY DESIGNER OF ANY EXTENDED LEAD TIMES ON APPOINTMENT.

PARTITION LEGEND

- APPROX 3200MM HIGH PLASTERBOARD PARTITION, 13MM GYPROCK LINING EITHER SIDE OF 60MM STEEL STUD FRAME WITH STUDS AT 600MM CTS (MAXIMUM), WITH 75MM DACRON INSULATION TO CAVITY.

NOTE:
ALL NEW WORKS WILL COMPLY WITH AS1428.1-2009 WHERE POSSIBLE



INSTALL NEW HANDRAILS TO LOWER LEVEL STAIRS IN ACCORDANCE WITH AS1428.1-2009 & DDA CONSULTANT REPORTS

EXISTING WALLS TO BE RENDERED, WALLS TO BE SHEETED IN SUBSTRATE TO TAKE RENDER WHERE REQUIRED

INSTALL NEW CAFE JOINERY & EQUIPMENT, BENCHING & ASSOCIATED SERVICES, REFER TO ENGINEERS DOCUMENTATION FOR FULL SERVICES SCOPE.

CONSTRUCT NEW PARTITION WALLS & LIGHTWEIGHT CEILING, REFER TO PARTITION LEGEND, TO CAFE WASH ROOM, REFER TO HYDRAULIC ENGINEERS DOCUMENTATION FOR ASSOCIATED SERVICES, NEW TILED FLOOR FINISH AND COVERED SKIRTING.

EXISTING TENANCY GLAZING & GLAZED DOORS TO MEZZANINE TO REMAIN, REMOVE EXISTING VINYL FILM AND REAPPLY NEW FROSTED VINYL FILM TO FUTURE DETAIL IN ACCORDANCE WITH AS1428.1-2009

INSTALL NEW TACTILE INDICATORS TO LANDING, TYPE TO BE ADVISED

INSTALL LOW LEVEL FEATURE SCREEN TO EXISTING BULKHEAD, TO FUTURE DETAIL

INSTALL NEW HANDRAILS TO LOWER LEVEL STAIRS IN ACCORDANCE WITH AS1428.1-2009 & DDA CONSULTANT REPORTS

EXISTING STAINLESS STEEL BALUSTRADE TO BE CLAD IN FC SHEET PANELLING WITH NEW RENDER FINISH APPLIED.

EXISTING TILES ON STAIRS TO REMAIN, INSTALL NEW CONTRAST NOSING IN ACCORDANCE WITH AS1428.1-2009

INSTALL NEW 35MM DIAMETER STEEL HANDRAIL WITH POWDERCOATED FINISH IN ACCORDANCE WITH AS1428.1-2009 & DDA CONSULTANT REPORTS

INSTALL NEW TACTILE INDICATORS TO BASE OF EXISTING STAIR, (TYPE TO BE ADVISED)

NEW RENDERED WALL FINISH AS SPECIFIED

INSTALL NEW 600 X 600 PORCELAIN FLOOR TILE, REFER TO FINISHES SCHEDULE

INSTALL NEW FLOOR MOUNTED DIGITAL DIRECTORY BOARD TO FUTURE DETAIL

INSTALL NEW PLANTER, APPROXIMATELY 1250MM HIGH & STONE BENCH TO FUTURE DETAIL.

INSTALL NEW L-SHAPED UPHOLSTERED BANQUETTE JOINERY TO FUTURE DETAIL

EXISTING FIXED GLAZING TO REMAIN

INSTALL NEW RECESSED CARPET INLAY AS INDICATED, TO BE FLUSH & LEVEL WITH SURROUNDING NEW TILED FLOOR

EXISTING GLAZING TO REMAIN

EXISTING GLAZING TO REMAIN

FIXED GLAZED PANELS EITHER SIDE OF ENTRY TO REMAIN

EXISTING GLAZED AUTOMATIC SLIDING DOORS AND FIXED PANEL ABOVE TO REMAIN

INSTALL NEW CUSTOM SIZED RECESSED ENTRY MATT TO FUTURE SELECTION



DA ISSUE

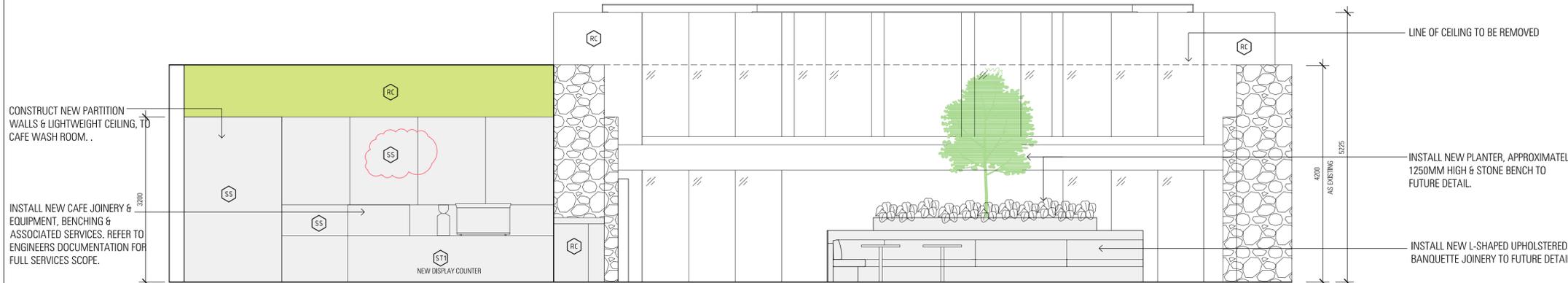
| Issue | Amended Issue | Date |
|-------|--|----------|
| DA F | AMENDED ISSUE | 21.12.22 |
| DA E | AMENDED ISSUE | 20.12.22 |
| DA D | AMENDED ISSUE | 12.12.22 |
| DA C | ISSUE FOR DA APPROVAL | 26.08.22 |
| DA B | ISSUE FOR DA APPROVAL | 4.08.22 |
| DA A | UPDATED ISSUE | 19.07.22 |
| DA - | PRELIMINARY ISSUE FOR REVIEW / CO-ORDINATION | 8.07.22 |

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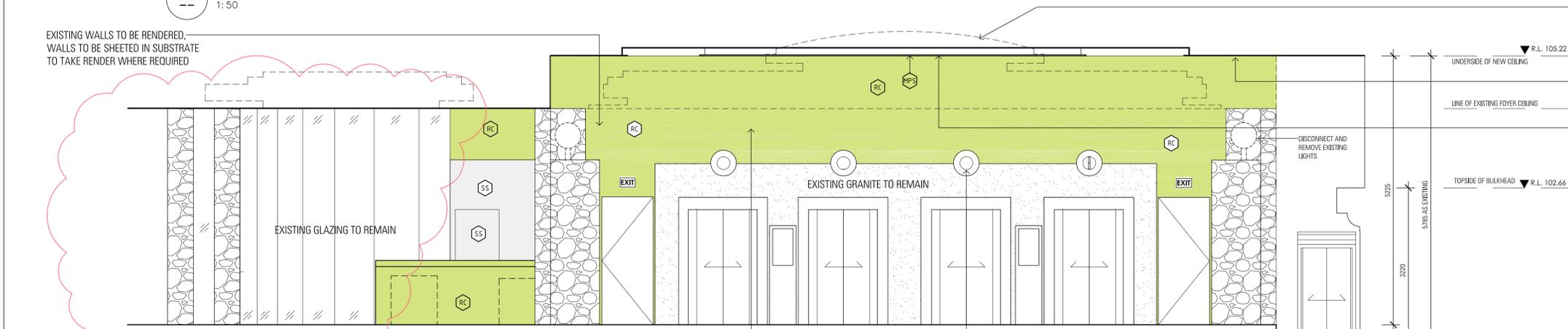
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SURRY HILLS NSW 2010
M:040283837
A:64487942834
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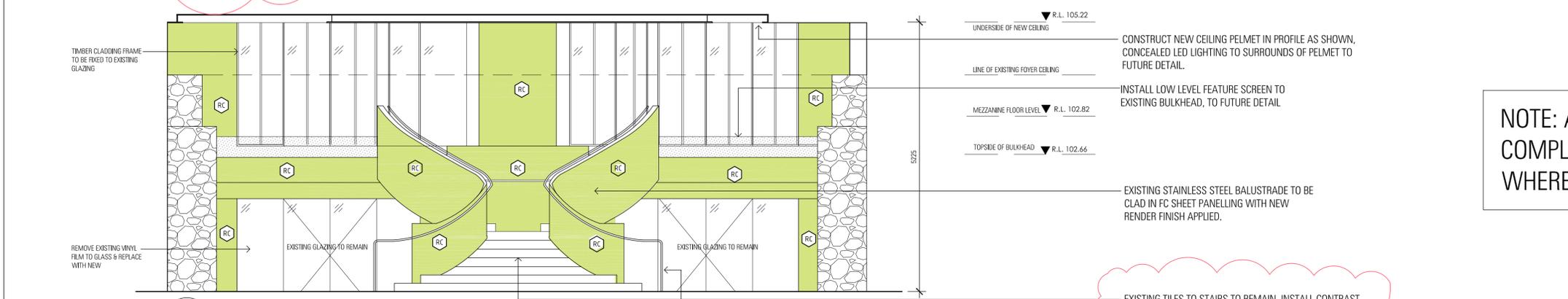
| | |
|------------|--|
| project | BASE BUILDING REFURBISHMENT 201 MILLER ST, NORTH SYDNEY |
| drawing | NEW WORKS PLAN GROUND FLOOR FOYER |
| client | LASALLE INVESTMENT MANAGEMENT |
| scale | 1:100 @ A1 project no 22-156-01 |
| issue | DA |
| drawing no | DA.G.100 |
| revision | F |



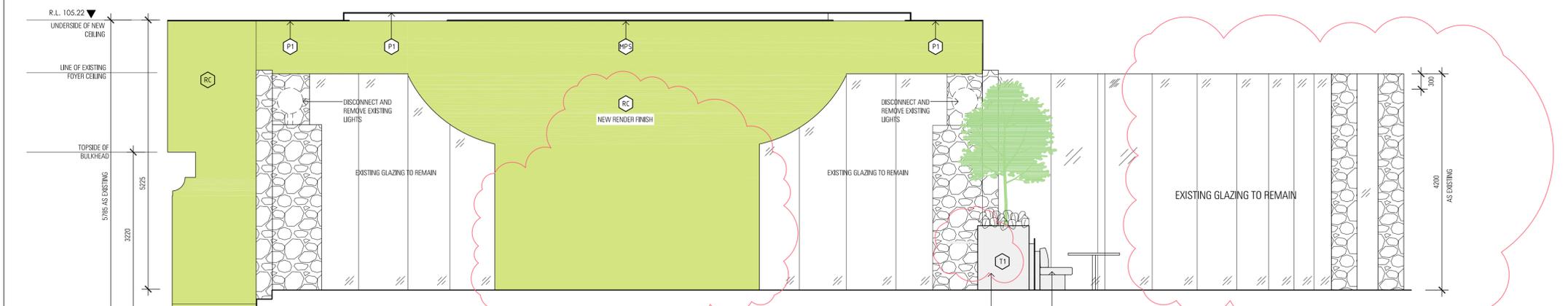
A ELEVATION
1:50



B ELEVATION
1:50



C ELEVATION
1:50



D ELEVATION
1:50

DEMOLISH, MAKE SAFE & REMOVE EXISTING DOMED CEILING AND SURROUNDING LIGHTING PELMETS / BULKHEADS / FEATURE LIGHTING. MAKE GOOD TO SURFACES AS REQUIRED AND PREPARE EXISTING SURFACES TO TAKE NEW FINISHES

CONSTRUCT NEW PAINTED SET PLASTERBOARD CEILING AT NEW HEIGHT AS NOMINATED, TO BE FLUSH WITH EXISTING CEILING OVER MEZZANINE ENTRY.

CONSTRUCT NEW FEATURE CEILING PANEL, SHAPE FEATURE PANEL TO BE LINED IN FINISH AS NOMINATED. LOCATION OF ANY JOINS REQUIRED TO FUTURE DETAIL.

NOTE: ALL NEW WORKS WILL COMPLY WITH AS1428.1-2009 WHERE POSSIBLE

GENERAL CONSTRUCTION NOTES

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FINISHES LEGEND

(X) FINISHES CODE. REFER TO A4 FINISHES SCHEDULE BY BRASS TACKS FOR SPECIFICATION.

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DA ISSUE

| DA | E | AMENDED ISSUE | 21.12.22 |
|----|---|--|----------|
| DA | D | AMENDED ISSUE | 20.12.22 |
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| DA | A | ISSUE FOR DA APPROVAL | 4.08.22 |
| DA | - | PRELIMINARY ISSUE FOR REVIEW / CO-ORDINATION | 8.07.22 |

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UNIT 105 CAMPBELL ST
SURRY HILLS NSW 2010
M:042823837
A:84487942834

REFINED, RESOLVED, REALISED

project
**BASE BUILDING REFURBISHMENT
201 MILLER ST, NORTH SYDNEY**

drawing
**INTERNAL ELEVATIONS
GROUND FLOOR FOYER**

client
LASALLE INVESTMENT MANAGEMENT

scale
1:50 @ A1 project no 22-156-01

issue
drawing no
revision

DA
DA.G.103
E

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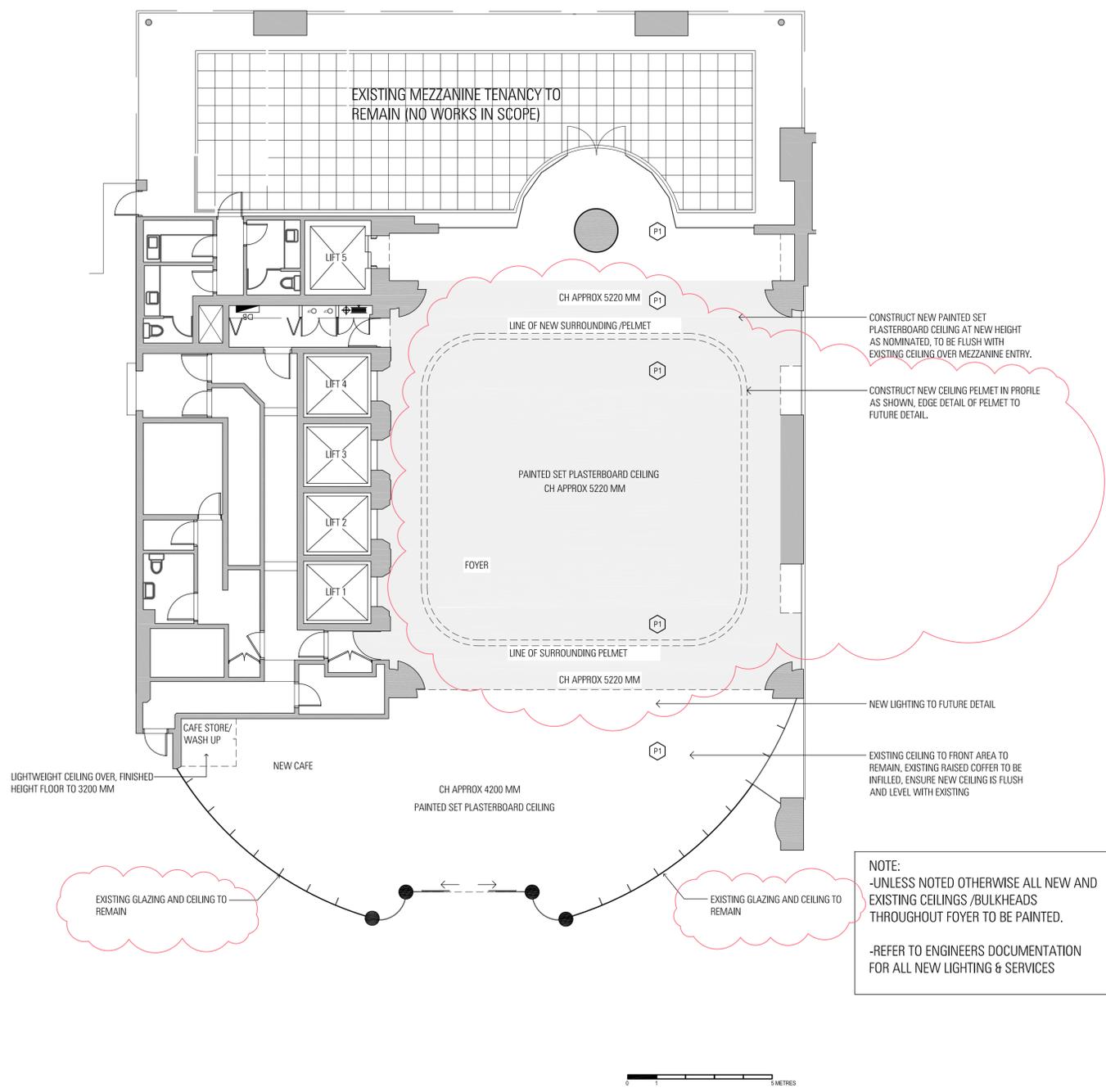
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EXISTING WALLS SHOWN SOLID



NOTE:
 -UNLESS NOTED OTHERWISE ALL NEW AND EXISTING CEILINGS /BULKHEADS THROUGHOUT FOYER TO BE PAINTED.
 -REFER TO ENGINEERS DOCUMENTATION FOR ALL NEW LIGHTING & SERVICES

DA ISSUE

| | | |
|------|---|----------|
| DA E | AMENDED ISSUE | 21.12.22 |
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Issue: Amen Description Date
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 UNIT 105 CAMPBELL CT
 SURRY HILLS NSW 2010
 M:042082837
 A:0440794284
REFINED. RESOLVED. REALISED.

| | |
|------------|--|
| project | BASE BUILDING REFURBISHMENT 201 MILLER ST, NORTH SYDNEY |
| drawing | REFLECTED CEILING PLAN GROUND FLOOR FOYER |
| client | LASALLE INVESTMENT MANAGEMENT |
| scale | 1:100 @ A1 project no 22-156-01 |
| issue | DA |
| drawing no | DA.G.101 |
| revision | E |

GENERAL CONSTRUCTION NOTES

ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO FABRICATION OF ANY ITEMS.

GLAZING MATERIALS TO COMPLY WITH AS1288.

CONTRACTOR TO MAKE GOOD TO ANY SURFACES REQUIRED DUE TO DEMOLITION. ALL WORKS TO BE UNDERTAKEN TO COMPLY WITH AS2601:2001 AND ALL RELEVANT AUSTRALIAN STANDARDS.

GYPROCK AQUACHEK TO BE USED TO ALL PARTITION WALLS TO WET AREAS.

ALL WORKS TO BE IN ACCORDANCE WITH THE NCC, BUILDING CODE OF AUSTRALIA, AUSTRALIA STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS.

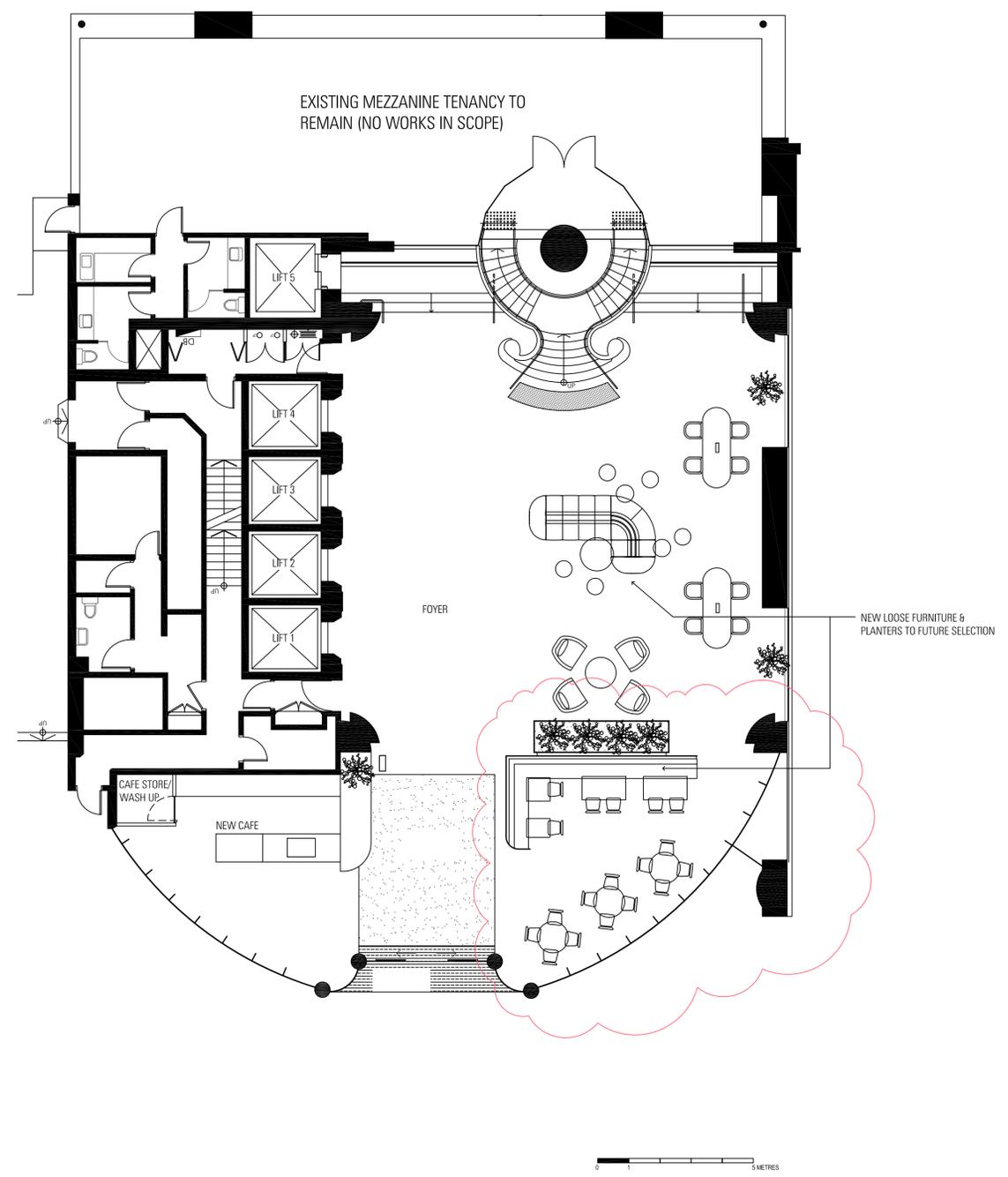
CONTRACTOR TO ENSURE CONSISTENCY BETWEEN SIMILAR MATERIALS IS MAINTAINED.

CONTRACTOR TO NOTIFY BRASS TACKS OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURE.

ALL CONTRACTORS SHOP DRAWINGS/ SETTING OUT TO BE SUBMITTED TO BRASS TACKS FOR APPROVAL PRIOR TO CONSTRUCTION.

PROVIDE WATERPROOFING AND DRAINAGE TO WET AREAS. APPLICATION OF MEMBRANE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS AND ALL RELEVANT CURRENT AUSTRALIAN CODES AND STANDARDS.

EXISTING WALLS SHOWN SOLID



DA ISSUE

| | | | |
|----|---|------------------------------|----------|
| DA | C | AMENDED ISSUE | 12.12.22 |
| DA | B | ISSUE FOR DA APPROVAL | 4.08.22 |
| DA | B | UPDATED ISSUE | 19.07.22 |
| DA | A | UPDATED ISSUE | 19.07.22 |
| DA | - | PRELIMINARY ISSUE FOR REVIEW | 8.07.22 |
| DA | - | COORDINATION | |

Issue: Action Description Date
 These drawings are subject to copyright and may not be copied, used or reproduced in any way without the express permission of Brass Tacks Pty Ltd.

DO NOT SCALE from this drawing. Contractors must verify all dimensions on site prior to starting any work or making any shop drawings. Figured dimensions are to be taken in preference to scale readings.

BRASS TACKS PTY LTD
 UNIT 1/5 CAMPBELL CT
 SURRY HILLS NSW 2010
 M:0402833837
 ABN:64407942834
 —
 REFINED, RESOLVED, REALISED.

project
**BASE BUILDING REFURBISHMENT
 201 MILLER ST, NORTH SYDNEY**

drawing
**LOOSE FURNITURE PLAN
 GROUND FLOOR FOYER**

client
LASALLE INVESTMENT MANAGEMENT

scale 1:100 @ A1 project no 22-156-01

issue DA
 drawing no DA.G.102
 revision C

FINISHES SCHEDULE - 201 MILLER ST NORTH SYDNEY
FOYER REFURBISHMENT

Brass
Tacks.

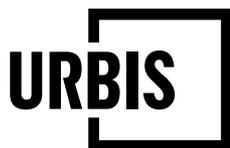
Issue: DA ISSUE Date: 21.12.22
Amendment **B**

| Code | Description | Finish/Notes | Supplier |
|------|-----------------|---|---|
| ST1 | STONE SLAB | 20MM THICK STONE SLAB SMERALDO, QUARTZITE POLISHED FINISH STONE TO BE SEALED BEFORE AND AFTER INSTALLATION WITH PENETRATING SEALER TO SUPPLIERS RECOMMENDATIONS | ARTE DOMUS CONTACT: MATTHEW CROLL 0419 227 157 |
| RC | RENDER | ROCKCOTE RENDERED WALL FINISH: PRODUCT: CLAY PLASTER DÉCOR WITH REPEL COLOUR: NATURAL PRODUCT COLOUR FINISH: LIGHT TEXTURE | ROCKCOTE CONTACT: TRAVIS GREEN 0418 190 191 |
| SS | STAINLESS STEEL | LINISHED STAINLESS STEEL | STEELCOLOR PTY LTD CONTACT: JULIAN 0402 749 156 |
| T1 | FLOOR TILE | 600X600 PORCELAIN TILE (CREAM TILE) CHALON CREMA NATURAL FINISH: P3 SLIP RATING GROUT COLOUR TO BE ADVISED | BISANNA TILES TIM STOKES 9310 2500 |

| | | | |
|-----|---------------------------|--|--------------------------------|
| T2 | FLOOR TILE | CAFÉ FLOOR TILE, SPECIFICATION TO BE ADVISED P5 SLIP RATING | |
| F1 | FABRIC | UPHOLSTERY - TYPE TO BE ADVISED | |
| P1 | PAINT FINISH | DULUX ' LEXICON QUARTER' LOW VOC CODE: SW1E1 LOW SHEEN FINISH TO WALLS MATTE FINISH TO CEILINGS SEMI GLOSS FINISH TO ARCHITRAVES | DULUX |
| AL1 | POWDERCOATED ALUMINIUM | ALUMINIUM WITH POWDERCOAT FINISH: DULUX DURATEC ELEMENTS, COLOUR: SURFMIST (SAMPLE OF FINISH TO BE SUBMITTED TO DESIGNER FOR APPROVAL PRIOR TO MANUFACTURE) | JOINER |
| CPT | CARPET INLAY | AXIMINSTER 100% WOOL CARPET INLAY COLOUR TO BE ADVISED | FELTEX |
| M1 | ENTRY MATT | RECESSED ENTRY MATT & MATT WELL, WITH 3MM FLAT BAR EDGING AROUND, RUBBER INSERT, COLOUR TO BE ADVISED | BIRRUS MATTING 1300 369 858 |
| | | | |

***SCHEDULE TO BE READ IN CONJUNCTION WITH DOCUMENTATION**

**** SAMPLES TO BE SUBMITTED TO DESIGNER FOR APPROVAL PRIOR TO ORDER**



**ANGEL PLACE
LEVEL 8, 123 PITT STREET
SYDNEY NSW 2000**

URBIS.COM.AU
Urbis Pty Ltd
ABN 50 105 256 228

29 August 2022

Heritage Officer
North Sydney Council
200 Miller Street,
North Sydney NSW 2060

Dear Sir/Madam,

**RE: GROUND FLOOR INTERNAL LOBBY/FOYER WORKS, EXTERNAL WINDOW
GLAZING AND NEW CAFE FIT-OUT AT 201 MILLER STREET, NORTH SYDNEY
– HERITAGE IMPACT ASSESSMENT**

Urbis has been engaged by LaSalle Investment Management (The Applicant) to prepare this brief Heritage Impact Statement (HIS) in support of the proposed ground floor works to 201 Miller Street, North Sydney (Lot 1 of DP 706146) (subject site). This HIS has been prepared in support of a Development Application (DA) for alterations and additions to the ground floor lobby and part change of use to the ground floor to include a café at the subject site

Subsequently this HIS has been prepared to assess the potential heritage impact of the proposed works on the known heritage values of the subject site. A brief overview of the subject site's context, historical background and significance is also outlined below.



1. HERITAGE LISTING

The subject site is listed as a local heritage item under Part 1 of Schedule 5 of the *North Sydney Local Environmental Plan (LEP) 2013* as 'Commercial building', 201 Miller Street, North Sydney, item no. I0904, and in proximity to the following heritage items:

- 'The Rag & Famish Hotel', 199 Miller Street, item no. I0901
- 'Monte Sant Angelo Group', 128 Miller Street, item no. I0896
- 'O'Regan', 192 Miller Street, item no. I0899

Figure 1 provides an overview of the subject site's heritage context.



Figure 1 Cadastral map showing the location of the subject site (outlined in yellow) within its current heritage context

Source: NSW Government, *EPlanning Spatial Viewer*, June 2022



2. SITE CONTEXT AND DESCRIPTION

The subject site is located at 201 Miller Street, North Sydney, legally described as Lot 1 of Deposited Plan 706146. It is situated on the eastern side of Miller Street and north of Berry Street.

The subject site is a twenty-two storey Late 20th century international style office tower. It is comprised of pre-cast concrete with dark grey fibreglass storey-high window frames. The fibreglass was originally orange in colour but was changed to green in 1989 and later to grey.

The original foyer and interiors were replaced in 1989 by Post-modern style alterations consisting of granite and marble cladding, curved mouldings and staircases. There is little to no remnant original fabric internally.

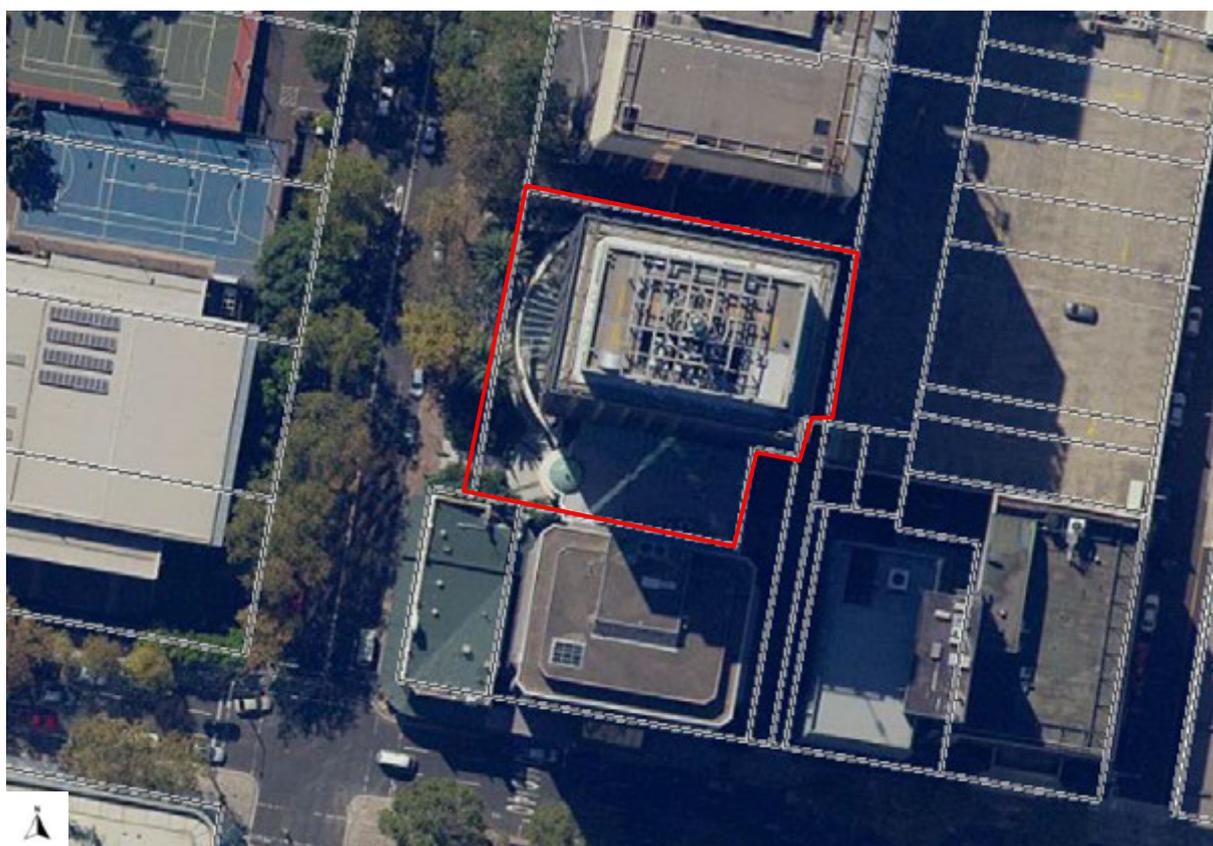


Figure 2 Aerial photograph showing the location of the subject site (outlined in red) within its context

Source: SIX Maps, June 2022



The following images provide an overview of the existing finishes of the foyer interior.



Figure 3 – View to the existing primary entry from Miller Street.



Figure 4 – View south to primary entry from Miller Street.



Figure 5 – View north to primary entry from Miller Street.



Figure 6 – View east into the ground floor lobby from the Miller Street entry.



Figure 7 – View of existing loose seating within the northern section of the ground floor lobby. New café seating is proposed in this area.



Figure 8 – View to Miller Street entry where café fitout is proposed including new bifold windows to façade.

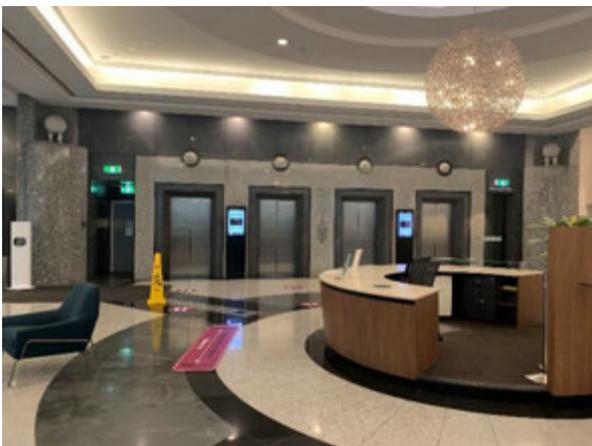


Figure 9 – View across the ground floor lobby showing the existing concierge and elevators providing access to the upper floors.



Figure 10 – View west across the lobby toward the Miller Street entry.



3. HISTORICAL BACKGROUND

The following historical background has been extracted in full from the State Heritage Inventory (SHI) form available for the subject site on the NSW Government website:¹

The location of the current building originally included several houses and shops located immediately adjacent to the Rag and Famish Hotel on the corner with Berry Street. In January 1970, major construction, engineering and building design firm and subsidiary of Transfield, Sabemo Pty Ltd, lodged a Building Application (24/70) for the construction of a 22-storey commercial building on the site, with 3 parking floors and 2 plant equipment floors. At the time Sabemo had been very active in the increasingly high-rise commercial development of the North Sydney CBD, beginning with the design and construction of Transfield House at 102 Arthur Street in 1962 (demolished 2006), which was officially opened by Commonwealth Treasurer Harold Holt on 9 July 1962 and had involved one of the first uses in Sydney of the slip form method of concrete pouring, which enabled a quicker construction time. In 1969, Sabemo completed their own office building nearby, the 'Sabemo Centre' at 223 Miller Street (demolished 2017), which was notable as the first post-tensioned, pre-stressed concrete building in Australia, and distinctive through the design of its moulded windows and the fibreglass dome on the roof combined with a substantial garden forming the long setback of the building from Miller Street.

Approved by Council on 29 May 1970 and with a cost of \$2,500,000, the Sabemo Design Group (supervising architect, M. Bayly) created a building at 201 Miller Street with a very distinctive design that included orange fibreglass storey-high window frames devised as a complete facade grid, and a ground floor foyer consisting of an open bone-coloured fibreglass tunnel beneath an illuminated ceiling of moulded orange acrylic modules. The orange fibreglass theme was also continued in the interior with lift cabins in the material and bathroom stalls being made of monolithic walls of bone-colour fibreglass with orange doors. Sabemo Managing Director, Vittorio Moratelli, explained of the colour choice: "I wanted a colour building to give a happy atmosphere. When you looked up at Miller Street from the Warringah Expressway all you saw was a row of office blocks like a 'Grey Wall of China'. At first I thought we would put a yellow building here but we could not get just the right sort of yellow. So we chose orange." The choice of fibreglass as a construction material meant that the weight of the building was substantially reduced, which allowed for greater areas of pillar-free office space. The fibreglass moulding was undertaken at the Seven Hills Sabemo plant at a cost of \$5,500,000. At the time of its completion in 1972, Eva Buhrich of the Sydney Morning Herald noted "Probably the most novel event [of architecture that year] was that an office building in North Sydney had orange fibreglass facades".

Following completion, in August 1973 Legal & General Assurance Society Limited bought the building and it was named 'IBIS House', as the primary tenant of the building was the Sydney headquarters of information/research firm IBIS Research Services. From 1976 the building was also the headquarters of the NSW Water Resources Commission who remained until at least 1986.

¹ 'Commercial building', State Heritage Inventory (SHI) form, database no. 2181331, NSW Government available at <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2181331>



In 1988, Legal & General undertook a substantial \$35 million refurbishment of the building, commissioning architects McNamara Soder Associates to redesign the building in a more-current Postmodern style. A Development Application (1321/88) was subsequently lodged in July 1988 for ground floor and general internal refurbishments of the main office tower and the construction of a 2-level Pavilion building in the south-western corner of the site over the existing carpark roof and was approved by Council on 24 May 1989. These Post-modern style modifications constructed from 1989 included changing the orange façade colour to a dark green, a new portico entrance and lobby, one of the most substantial asbestos-removal schemes in Australia at the time, and a new separate Pavilion building which was intended for a restaurant or office use. It was also at this time that the two substantial Canary Island Date Palms in the Miller Street front gardens were added.

4. STATEMENT OF SIGNIFICANCE

The following Statement of Significance has been extracted in full from the State Heritage Inventory (SHI) form available for the subject site on the NSW Government website:²

An example of a highly integrated office tower in the Late Twentieth Century International style of considerable quality and distinctive detailing designed and built by prominent construction firm Sabemo Pty Ltd, contributing much to the urban streetscape of this high-rise area. It was notable when first completed in 1972-1973 for its unusual and prominent orange-coloured fibreglass exterior and finish. Although substantially modified in 1989 in the Post-modern style, which included interiors, a new Pavilion building, and the change of the orange exterior to more muted green and later grey colours, the building retains its distinctive original exterior form and construction.

² 'Commercial building', State Heritage Inventory (SHI) form, database no. 2181331, NSW Government available at <https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2181331>



5. THE PROPOSAL

The Applicant is seeking to alter the existing fit-out of the ground floor lobby, including provision of a new café with seating for approximately 22 people. In summary, this will include:

Demolish and Remove

- Perimeter curved glass and glazing;
- Remove existing lift indicator lights and replace with new;
- Demolish and remove existing stone wall tiles;
- Demolish and remove existing floor tiles and vinyl film;
- Remove existing plants and planter around internal column and infill;
- Remove existing plants from below stairs and infill;
- Demolish and remove existing stone floor tiles from stair treads/risers;
- Remove existing concierge desk platform and make good;
- Demolish lower set plasterboard ceiling to foyer;
- Remove existing feature lighting, domed ceiling, bulkheads and lighting pelmets; and
- Curved panels on the perimeter wall.

External Alterations

- Installation of slimline aluminium framed bifold windows on the western elevation;
- New bulkhead above the new bifolds; and
- New replacement curved glazed panel on the perimeter.

Internal Alterations

- Replacement of lobby flooring (abutting lifts, entry and café) with tiling;
- New oval-shaped polished steel ceiling feature to lobby space;
- New landing tactiles, floor tiling, steel handrail and stainless-steel balustrades;
- New painted plasterboard ceiling, ceiling pelmet and feature ceiling panel;
- New stone slab panelling to wall;
- New porcelain floor tiling;
- New internal lighting;
- New floor-mounted directory board;
- New recessed carpet inlay;
- New custom sized entry matt;



- New café fit-out including benches and joinery;
- Installation of new banquette seating;
- New planter; and
- New foyer seating for approximately 39 people.

Urbis has been provided with drawing documentation prepared by Brass Tacks. This HIS has relied on these plans for the impact assessment included below. These plans should be referred to for detail.

Table 1 Provided Plans

| Author | Drawing No. | Drawing Name | Revision | Date |
|-------------|-------------|--|----------|----------|
| Brass Tacks | DA.G.Site | Site Location Plan | A | 02.08.22 |
| Brass Tacks | DA.B1.100 | Basement 1 – Bin Room | A | 04.08.22 |
| Brass Tacks | DA.G.000 | Demolition Plan Ground Floor Plan | A | 04.08.22 |
| Brass Tacks | DA.G.100 | New Works Plan Ground Floor Foyer | C | 26.08.22 |
| Brass Tacks | DA.G.101 | Reflected Ceiling Plan Ground Floor Foyer | C | 26.08.22 |
| Brass Tacks | DA.G.102 | Loose Furniture Plan Ground Floor Foyer | B | 04.08.22 |
| Brass Tacks | DA.G.103 | Internal Elevations Ground Floor Foyer | B | 26.08.22 |
| Brass Tacks | DA.G.104 | Proposed External Elevations Ground Floor Foyer | B | 26.08.22 |
| Brass Tacks | DA.G.NF | Notification Plan | A | 02.08.22 |
| Brass Tacks | - | Finishes Schedule | A | 04.08.22 |





6. HERITAGE IMPACT ASSESSMENT

As noted above in the Statement of Significance, the subject site at 201 Miller Street, North Sydney, is significant due to its Late 20th Century international office tower style, coloured fibreglass exterior and finish, and its association with then prominent construction company Sabemo Pty Ltd. The significant fabric to the subject site relates primarily to its external makeup, with little to no original fabric remaining to the interiors following refurbishment in c. 1989.

The proposed works have been assessed against the relevant statutory controls in the tables below.

6.1. NORTH SYDNEY LOCAL ENVIRONMENTAL PLAN (LEP) 2013

Table 2 - Discussion regarding Schedule 5.10 of the *North Sydney LEP 2013*

| Clause | Discussion |
|---|--|
| <p>(2) Requirement for consent</p> <p><i>Development consent is required for any of the following—</i></p> <p><i>(a) demolishing or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance)—</i></p> <p><i>(i) a heritage item...</i></p> | <p>As identified in Section 1, the subject site is as a local heritage item under Part 1 of Schedule 5 of the <i>North Sydney LEP 2013</i> as 'Commercial building', 201 Miller Street, North Sydney, item no. I0904, and is in proximity to a number of additional heritage items also listed under the LEP.</p> <p>Whilst the proposal consists of alterations and additions to the ground floor fit-out and ground floor external glazing, consent is required in accordance with this clause.</p> |
| <p>(4) Effect of proposed development on heritage significance</p> <p><i>The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).</i></p> | <p>The proposed alterations and additions to the ground floor interior and exterior of the subject site will have an overall neutral impact on the known heritage significance of the subject site.</p> <p>As identified in Section 4, the significance of the subject site is largely derived from its uncommon use of coloured fibreglass external finishes. However, the subject site has undergone significant modifications, particularly to the interior, since the late 1980s. All existing fit-out is therefore of neutral contribution to the overall heritage significance of the site. The majority of the proposed works will consist of alterations and additions to the interior in line with the provision of a new fit-out and the</p> |



| | |
|--|---|
| | <p>operation of a new ground floor foyer café. Some minor external works will also be undertaken including the installation of bifold windows on the western elevation, a new low-height masonry wall to support bifolds, replacement curved glazed panel to the perimeter, and new sliding doors and entry matt.</p> <p>It is noted that whilst some minor visual impact will result from the external proposed works, all fabric intended for replacement, to both the interior and exterior, is neither original nor significant fabric. The visual impact of the proposed works will be minimal with internal fit-out limited in visibility from outside the subject site and the external works designed to be of a contemporary neutral style utilising slimline aluminium framing to the proposed bifold windows. Further, the general layout, window fenestration pattern, fixed glazed panelling and existing tiled steps to the external elevation will all remain, mitigating against the potential for visual interruption within the streetscape. Overall, the proposed works will have no adverse impact on the subject site, heritage items in proximity or surrounding streetscape.</p> |
| <p>(5) Heritage assessment</p> <p><i>The consent authority may, before granting consent to any development—</i></p> <p><i>(a) on land on which a heritage item is located, or</i></p> <p><i>(b) on land that is within a heritage conservation area, or</i></p> <p><i>(c) on land that is within the vicinity of land referred to in paragraph (a) or (b),</i></p> <p><i>require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would</i></p> | <p>The preparation of this HIS report satisfies this requirement and has provided sufficient background to assess the potential impacts of the works against the known significance of the subject site.</p> |



affect the heritage significance of the heritage item or heritage conservation area concerned.

6.2. NORTH SYDNEY DEVELOPMENT CONTROL PLAN (DCP) 2013

Table 3 - Discussion regarding Part B, Section 13 of the *North Sydney DCP 2013*

| Clause | Discussion |
|---|--|
| <p>13.5.1 Protecting heritage significance</p> <p><i>P1 Retain features (including natural and cultural landscape features) that contribute to the significance of the item.</i></p> | <p>The proposed works will be undertaken to non-significant, highly modified internal fabric and will have no impact on the significant external coloured fibreglass finishes present to the upper levels.</p> <p>Where minor works are undertaken to the existing outward facing windows with visibility from Miller Street, these works are considered to be of a neutral impact given that they will remain essentially the same spatially with static window glazing replaced with bifolds and the construction of a new rendered and painted low height masonry wall. Upon closure the windows will have minimal visual difference to their existing state. The alteration in window type will facilitate use associated with the proposed new café, provide additional ventilation for pedestrians, and is subsequently of an acceptable neutral impact.</p> |
| <p><i>P3 New work is to be consistent with the setback, massing, form and scale of the significant features of the heritage item.</i></p> | <p>The proposed works will be consistent with the existing setback, massing, form and scale of the subject site. With the exception of the installation of bifold windows on the western elevation, new low-height masonry wall, and replacement curved glazed panel to the perimeter, all works will be undertaken to the interiors and will have no impact on the greater form, scale, massing and setback of the building. Further, the works stated above that will be undertaken to external sections of the ground floor to the subject building will have no</p> |



| | |
|--|---|
| | overall impact on these elements. |
| <i>P4 Retain significant fabric, features or parts of the heritage item that represent key periods of the item's history or development.</i> | The significant fabric to the subject building, notably the external, coloured fibreglass finishes, will not be impacted by the proposed works and will be retained in their current state. |
| <i>P5 Locate change away from original areas of the heritage item that are intact. For example, where a building's significance is related to the front of a building, locate new work to the rear.</i> | As noted above, the proposed works will not impact the significant fibreglass finishes and will for the most part be relegated to the interiors which have been greatly modified since the 1980s. In addition, the modifications to the exterior will be located away from the significant remnant external fabric and the minor works undertaken to these sections will be of no adverse impact. |
| 13.5.5 Interior layouts | Refer to Section 2 for images providing context to the current condition of the ground floor interior and western elevation. |
| <i>P1 Applications are to be accompanied by current photographs of interior features, including walls, floors, ceilings, windows and fireplaces etc.</i> | |
| <i>P2 Minimise change to the original or significant internal room configuration/layout (as appropriate) so that the evolution of the building remains discernable. This can be achieved by retaining wall nibs, decorative ceilings, joinery and original features such as fire places.</i> | The ground floor to the subject site, to which the internal fit-out works and new café are proposed, do not maintain any significant or historically notable room configurations or layout. As noted in Section 3, the interiors to the subject building have been greatly modified since the 1980s in line with the requirements of the changing tenancies. The proposed works will therefore have no adverse impact on the interiors of the subject site. |
| <i>P4 Retain access and relationship to original building entrances and associated hallways.</i> | The proposed works will have no impact on existing access to the subject building via Miller Street. |
| <i>P5 Retain significant internal original features including joinery, door sets, fire places, flooring, cornices and ceilings.</i> | The subject site does not comprise any significant internal fabric or original features of note. |



| | |
|--|--|
| <p><i>P7 Ensure new openings have similar dimensions or are compatible with existing openings, such as width and height of double doors.</i></p> | <p>The proposed works will not create new openings or require alterations to the height, width or other dimensions to existing openings. Where the new bifold windows on the western elevation, replacement curved glazed panel to the perimeter, and new low-level masonry wall will be installed the new works will conform to the existing dimensions and openings.</p> |
| <p><i>P8 Provide for reversibility of internal changes (where appropriate and reasonable).</i></p> | <p>The proposed new café and ground floor fit-out works will be entirely reversible and may be removed to accommodate appropriate future tenant requirements.</p> |

The proposed works will comprise a new ground floor café, new internal fit-out works to the ground floor lobby, and minor alterations to the Miller Street (western) elevation associated with the installation of new bifold windows. These works will not impact on the identified significant external fabric and will only be undertaken to modified, later fabric.

There are no changes to the primary entry of the building and the proposed works will improve the overall aesthetic with neutral colours proposed that are in keeping with the existing character of the building. Inclusion of a cafe will encourage use of the lobby creating an interactive environment for users of the commercial building.

In line with the above, the proposed works will be minor in nature and will have no adverse impact on the heritage significance of the subject site at 201 Miller Street, North Sydney, and are recommended for approval from a heritage perspective.

Should any further clarification be sought, please do not hesitate contact the undersigned via the details listed below.

Kind regards,

Samara Allen
Senior Consultant
+61 2 8233 9980
sallen@urbis.com.au