



**NSLPP MEETING HELD ON 07/05/2025**

**Attachments:**

1. Site Plan
2. Architectural Plans

**ADDRESS/WARD:** 5-7 Lower Wycombe Road, Neutral Bay

**APPLICATION No:** 137/23/4

**PROPOSAL:** Modification of DA137/23 proposing various changes to basement, excavation methods, enclosure of car lift platform, window changes, changes to balconies and elevations, new plunge pool to eastern terrace, modified pool design and location, changes to landscaping and tree protection measures

**OWNER:** Vergome Pty Ltd

**APPLICANT:** Ingham Planning Pty Ltd

**AUTHOR:** Ben Rourke, Consultant Planner

**DATE OF REPORT:** 17 April 2025

**DATE LODGED:** 22 January 2025

**RECOMMENDATION:** Approval

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## EXECUTIVE SUMMARY

Modification of consent is sought to DA 137/2023 for demolition of a residential flat building and construction of a new 4 storey residential flat building comprising six apartments, basement parking with car lift, inground swimming pool and landscaping.

DA 137/2023 was approved on 1 November 2023 by the North Sydney Planning Panel for *Demolition of existing residential flat building and construction of new residential flat building containing six (6) apartments and construct swimming pool adjacent to the Foreshore*. Conditions of consent included a requirement for design amendments that changed curved blade walls, setbacks of front balconies, an open design car lift, relocation of the hydrant booster at the north-western corner, and fencing to a maximum height of 1.2m for the front and rear boundaries.

Subsequent to the original approval, two modifications of consent have been approved by Council to correct minor errors in the consent (DA 137/2024/2 and amend staging of conditions of consent (DA 137/2024/30

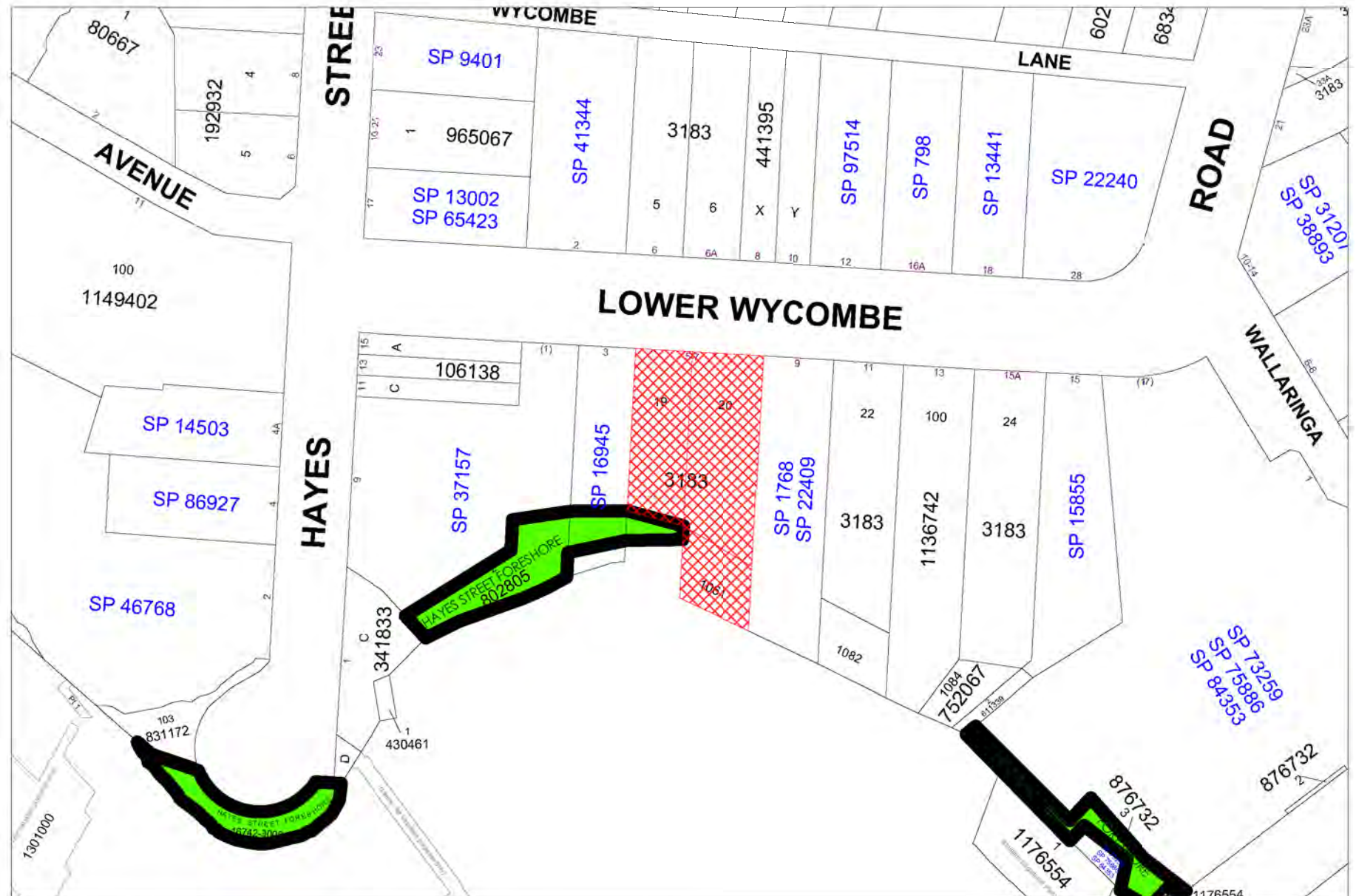
The current S.4.55(2) modification application seeks several design amendments including alterations to the façade with enclosure of the car lift to comply with AS-1735, and revisions to conditions of consent detailed in the following section. The modification application is required for referral to the NSLPP for determination as it includes modifications to conditions imposed by the Panel.

Notification of the proposed modification resulted in two (2) submissions with one (1) objection and one (1) submission in support. Issues raised in objection relate to the design of the car lift enclosure, including signage; impacts to streetscape character; impact of roof mounted A/C units; consequential view impacts; and concerns about applicant's view loss assessment. These issues have been addressed in this report, and do not warrant refusal or further design amendments.

Council's Landscape Officer advises that the design amendments are satisfactory subject to additional details being provided on landscape plans for planting two new Banksia trees within the rear foreshore garden area.

The proposed modifications are each considered to be satisfactory, resulting in *substantially the same development* compared with the development as originally approved. Accordingly, the application of modification of consent is recommended to the NSLPP for approval.

# LOCATION MAP



## DESCRIPTION OF PROPOSAL

Modification of consent pursuant to Section 4.55(2) of the *Environmental Planning and Assessment Act 1979* is sought to DA 137/23 relating to the design of the approved development, and certain conditions of consent. The proposed modifications are summarised as follows:

1. Roof - Increase height of lift and parapet, relocate air conditioning plant from basement to roof
2. Car lift – change design of lift from un-enclosed to an enclosed lift to comply with AS-1735.
3. Façade – design changes with additional glazing and car lift becoming enclosed,
4. Basement 1 & Basement 2 – extend north-eastern corner to accommodate car lift control room, store and circulation space for internal stairs
5. Trees 11 & 13 – replace two existing casuarinas with coastal banksias, and modify conditions C25, C26, C28, E16 and G14 regarding landscaping
6. Plunge pool – addition of small plunge pool to lower ground level for apartment LG01
7. Internal floorplan changes – for each apartment for improved amenity and compliance with the National Construction Code
8. Modify landscaping – including changes to satisfy condition C28 so that this condition may be deleted
9. Seawall – replace / repair dilapidated part of seawall as shown on Demolition Plans
10. Bicycle parking – increase to 7 spaces for compliance with condition C15 – modify conditions G27, I5 and K6 to reflect this.



**Figure 1: Photomontage of proposed elevation to Lower Wycombe Street**





**Figure 2: Approved Basement B1 plan**



**Figure 3: Proposed Basement B1 detailing areas of additional excavation**



**Figure 4: Approved Lower Ground floor plan**



**Figure 5: Proposed Lower Ground floor detailing areas of additional excavation. Note existing retaining structure outlined in a dark solid black adjacent to T14.**

## STATUTORY CONTROLS

### Environmental Planning & Assessment Act 1979

#### NORTH SYDNEY LEP 2013

Zoning	R3 (Medium Density Residential)
Item of Heritage	No
In Vicinity of Item of Heritage	No
Conservation Area	Yes, uncharacteristic item within the Kurraba Point Conservation Area (CA16).
FSBL	Yes

#### STATE ENVIRONMENTAL PLANNING POLICIES

- SEPP (Biodiversity and Conservation) 2021
  - Chapter 2 – Vegetation in non-rural areas
  - Chapter 6 – Water Catchments
- SEPP (Building Sustainability Index: BASIX) 2004

- SEPP (Housing) 2021
- SEPP (Resilience and Hazards) 2021  
Chapter 4 – Remediation of Land

## **POLICY CONTROLS**

NSDCP 2013

North Sydney Local Infrastructure Contributions Plan 2020

## **DESCRIPTION OF LOCALITY**

The subject site comprises three (3) separate allotments, collectively and commonly identified as No. 5-7 Lower Wycombe Road, Neutral Bay, and with the following legal descriptions:

- Lots 19 and 20 in DP 3183
- Lot 1061 in DP 752067

The site is an irregular shaped allotment, located on the southern side of Lower Wycombe Road (refer to Figure 18). The site has a frontage of 27.43m to Lower Wycombe Road, a maximum depth of 59.485m and a total area of 1306m<sup>2</sup>. The southern boundary of the site is partly formed by the Mean High Water Mark (MHW) of Sydney Harbour. Access to the site is provided from Lower Wycombe Road with two driveway crossing, and Hayes Street Beach from the rear of the site.

In the case of Lot 19 (the western lot) the southern boundary sits upslope from the beach. For Lot 20/Lot 1061 (the eastern lots) the MHW extends to a reclaimed area contained by a sea wall. The land features a moderate slope across the site from the street to the rear of the existing building, then steepening past the southern edge of the building to the foreshore.

The existing development comprises a 4-level apartment building with a semi-basement car park and a total of seven (7) units – six (6) x 2-bedroom units and a 4-bedroom unit.

Development in the surrounds comprises a mix of low-rise, older style residential flat buildings and detached dwelling houses on sloping and undulating sites. Refer to Figure 1.



***Figure 6 – 5-7 Lower Wycombe Road, Neutral Bay – site aerial cadastre and surrounds***



***Figure 7 – 5-7 Lower Wycombe Road, Neutral Bay – existing street view***

## RELEVANT HISTORY

### *Subject Application*

**Development Application No 137/23** was approved by the North Sydney Local Planning Panel (NSLPP) on 1 November 2023 granting consent for demolition of existing residential flat building and construction of new residential flat building containing six (6) apartments and construct swimming pool adjacent to the foreshore.

The Local Planning Panel gave the following reasons for approval:

*The Council Officer's Report recommendation and conditions are endorsed by the Panel, subject to the following amendments.*

*The Panel was satisfied that the amended proposal provided an appropriate response to the site constraints and character **noting that additional trees have been retained and others added to provide additional shade, habitat and amenity and to enhance the streetscape and harbour settings.** Palisade fencing has been nominated to street and pool setting to enhance the public interface. The bin and fire booster enclosure have been relocated to also improve the streetscape and landscape setting.*

The following relevant conditions were imposed or amended by the Panel's decision:

### **Design Amendments**

- A2. *The architectural plans referred to in Condition A1 are to be amended to incorporate the following changes:*
- a. *The curved blade walls to Unit LG.01, GF.02 and L1.02 are to be redesigned to be in line with the plane of the eastern elevation and reduced so as not to protrude beyond the master balcony edge of GF.02 and L1.02.*
  - b. *The balconies and planters to Units GF.01 and L1.01 are to be set back from the front boundary to match the main facade of the two storey section of No. 3 Lower Wycombe Street; The blade walls, planter and balcony edges are to be set a minimum of 3.8metres from the street boundary with Lower Wycombe Road.*
  - c. *The car lift is to remain an unroofed/open structure. The safety fencing associated with the car lift is to remain visually transparent utilising vertical pickets or similar. Any safety barrier facing the street frontage is to be set back 1.5 metres from the boundary to match the alignment of the fencing to the east of the car lift;*
  - d. *The hydrant booster assembly and "bin-store" shown in the northern western corner of the site is to be relocated to the north-eastern corner of the site, with the bin -store located behind the hydrant booster and notated to be a "holding area only". Additional landscaping is to be shown provided in the north-western corner including an additional canopy tree;*



- e. *All Fencing shown within the landscaped areas of the site to Lower Wycombe Street and the waterfront areas are to be open metal palisade or vertical blade fencing design with a maximum height of 1.2m above finished site level. All fencing is to be in a dark recessive colour;*

*The amendments required by this condition are to be incorporated in the Construction Certificate drawings and approved by the Certifying Authority prior to the issue of any Construction Certificate*

(Reason: *To maintain view sharing between the building and No. 9 Lower Wycombe Road, to improve streetscape articulation and reduce the impact of the car lift structure on the street)*

The following relevant conditions were imposed by the Panel:

***Car lift and safety barrier***

- C52. *The car lift and lift platform is to be designed and installed to return to street level when not in use. The safety barrier facing the Lower Wycombe Street frontage is to remain in the "closed" position when the car lift is not in use. The car lift is not to be left open to the street. The safety barrier is to be designed to match the metal palisade front fence.*

(Reason: *To ensure pedestrian safety and improve the presentation to Lower Wycombe Road)*

***Amendments to the Landscape Plan***

- C28 *The landscape plan referred to in Condition A1 must be amended as follows to provide an appropriate landscaped setting:*

- The arborist requires that the booster and bin storage must be constructed above any roots of T1 (see p28 of report). Confirmation is required that this is what is proposed (via suspended slab or similar) and that no excavation for pipework or other shall be required within the TPZ of T1, T19, or any other protected tree shown for retention. Should such confirmation not be provided, the location of booster and bin storage shall be relocated outside the TPZ of any protected tree.*
- An amended SW Plan that does not direct any pipework or associated works through the TPZ of any protected tree shall be prepared in consultation with a AQ5 qualified arborist for approval by council.*
- The 9 x tree symbols shown on Landscape Plan prepared by Wyer & Co. dated 21/8/23 and referenced only as 'Native Trees' are assumed to be the Tristaniopsis laurina (75l) shown in the plant schedule. Confirmation of this is required and shall be shown on drawings. All these trees shall be the cultivar 'Luscious' rather than the straight species, and the replacement street tree shall be 150l (min) rather than the 75l indicated. An additional T. laurina 'Luscious (75l) shall be planted in the southwestern setback of the subject site, to the east of that shown in this location.*



- *2 x Corymbia maculata (75l) shall be included within the western setback amongst the existing Corymbia citriodora and replacement T. laurina shown.*
- ***Trees T11 and T13 (Casuarina cunninghamiana) are to be shown to be retained;***
- ***An additional canopy tree is to be shown within the front set back in the north west corner.***
- ***An additional 3 x Water gums (Tristaniopsis laurina) and 1 x Coastal Banksia (Banksia integrifolia) are to be included in suitable locations in the rear south-western portion of the site.***

*An amended landscape plan complying with this condition must be submitted to the Principal Certifier for approval prior to the issue of the relevant Construction Certificate. The Principal Certifier must ensure that the amended landscape plan and other plans and specifications submitted fully satisfy the requirements of this condition.*

*(Reason: To ensure residential amenity)*

The proposed Modifications include changes to the conditions above including deletion of Condition Nos A2, C52 & C28, and other consequential changes to conditions including changes to materials and fenestration, landscape design, tree retention & replenishment with the require works now incorporated in amended landscape plans prepared by Wyer and Co, Landscape Architects dated 18 December 2024.

**Modification Application No 137/23/2** was approved on 15 May 2024 under delegated authority to correct errors in relation to tree numbering and correct the date of determination. The date of operative consent was confirmed as “30 November 2023” with a lapsing date of 1 December 2028.

Conditions numbers C25, C26 and E16 were amended to correct tree reference numbers.

**Modification Application No.137/23/3** was approved 14 November 2024 to amend numerous conditions of consent with reference to the wording ‘any Construction Certificate’ and replacing this with ‘any relevant Construction Certificate’.

Work has yet to commence on the site.

## SUBMISSIONS

Notification was carried out for 14 days between 28/02/2025 – 14/03/2025, resulting in receipt of two submissions including one in support and one objection. Issues raised in the submission of objection are addressed in this report.

## REFERRALS

## LANDSCAPING

Council’s Landscape Development officer has considered the proposed Modification and has provided the following comments:

*Subject to strict adherence to all requirements of amended arb report dated 17/12/24, no objections raised subject to the following:*

- *The project arborist shall physically supervise any excavation within the TPZ of a protected tree.*
- *The 2 x Banksia integrifolia referenced by the arborist and in the SEE as replacements for T11 & T13 Casuarina cunninghamiana do not appear to be shown on amended LS Plan.*
- *A new LS plan clearly showing 2 x Banksia integrifolia (200l min) to be planted in the approximate locations of T11 & T13 shall be required.*

#### **Planning Comment:**

Impacts on existing established trees associated with additional site excavation has been considered in the applicant's submitted arborist report with particular attention to Tree T14 – a large and significant Lemon scented gum located near the north-eastern corner of the site.

While the modifications involve the repositioned retaining wall increases excavation within the Tree Protection Zone (TPZ) Council's landscape officer has confirmed that the works are acceptable subject to appropriate site monitoring and compliance with conditions. On this basis the changes to landscape conditions.

#### **CONSIDERATION**

Section 4.55(2) of the Environmental Planning and Assessment Act, 1979 enables a consent authority to modify a development consent upon application being sought by the applicant or any person entitled to act on the consent, provided that the consent authority:

- (a) *it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and***

**Comment** – Refer to assessment table below, demonstrating 'substantially the same development' is satisfactorily demonstrated in the modified plans and SEE.

- (b) *it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 4.8) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent,***

**Comment** – The original DA was referred to NSW Department of Primary Industries (DPI Fisheries, Sydney Water and Transport for NSW) with standard conditions advised in each case except for Fisheries who confirmed that their concurrence was not required. The proposed modifications do not materially change the approved development to warrant referral to these agencies.

- (c) *it has notified the application in accordance with—***

- (i) *the regulations, if the regulations so require, or***

***(ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and***

**Comment** – Notification was carried out in accordance with Council’s *Community Engagement Protocol* for 14 days between 28/02/2025 – 14/03/2025, resulting in receipt of two submissions including one in support and one objection. Issues raised in the submission of objection are addressed in this report.

*(d) it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be.*


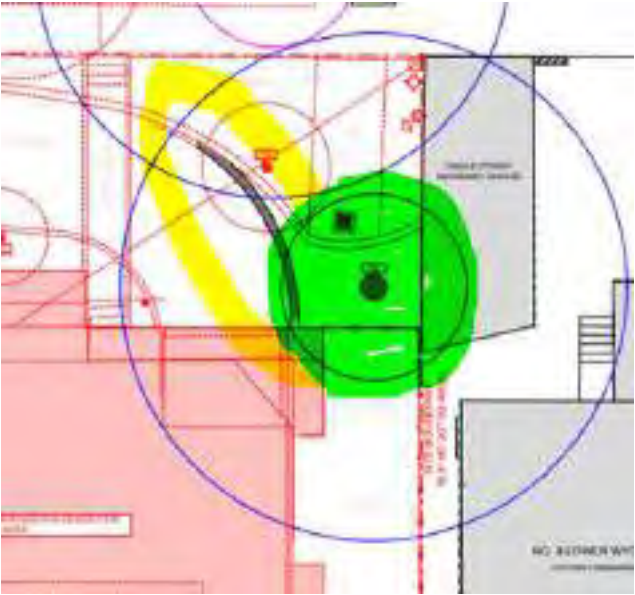
**Comment** – As stated two submissions were received including one in support and one objection. Issues raised in the submission of objection are addressed in this report.

## **ASSESSMENT OF MODIFICATIONS**

Pursuant to S.4.55(2)(a), an assessment of each of the proposed modifications is set out in the following table:

<b><i>Modification</i></b>	<b><i>Substantially the same development as per originally approved development?</i></b>
1. Roof - Increase height of lift and parapet, relocate air conditioning plant from basement to roof	<p><b>Yes</b></p> <p>The height increases are each minor relative to the scale of the approved development. In descending order of maximum height, the increases are:</p> <ul style="list-style-type: none"> <li>- lift overrun height (+200mm) from RL24.0 to RL24.2</li> <li>- relocation from basement of rooftop A/C plant and acoustic screen to RL24.0 (200mm below lift over run)</li> <li>- parapet (+150mm), to RL 23.15</li> </ul> <p>Relative to the height of the approved development fronting the street:</p> <ul style="list-style-type: none"> <li>- The highest point being the lift over run increases from 9.6m to 9.8m as measured at street level, representing a 2.1% increase in absolute height.</li> <li>- The 150mm increase in parapet height (maximum 9.75m at north-western corner) represents an increase of 1.6%.</li> </ul> <p>These increases in height are all minor and considered substantially the same development as approved. The height increase, broadly reflects the scale of the approved development and will be largely obscured by existing and proposed vegetation.</p> <p>The modifications have been considered against the relevant height objectives pursuant to NSLEP Clause 4.3 Height of buildings. As stated under the North LEP 2013 assessment section later in this report, the height of the originally approved development was assessed as being consistent with the objectives for height, noting the approved development maintains a similar height, bulk and footprint as the existing development on the site.</p>

Modification	<b><i>Substantially the same development as per originally approved development?</i></b>
	The proposed amendments maintain consistency with the objectives for height based on demonstrating being substantially the same development as approved, in particular the approved height, and maintaining satisfactory solar access, privacy and views.
2. Car lift – change design of lift from un-enclosed to an enclosed lift to comply with AS-1735.	<b>Yes</b> – An open ‘hoist’ lift does not meet current Australian Standards with a hoist restricted to two levels. An enclosed lift as per this modification is required compliant with AS1735 as advised in the Transport Engineer’s advice.
3. Façade – design changes with additional glazing and car lift becoming enclosed	<p><b>Yes</b> - Reasons cited by the applicant are to improve streetscape articulation and reduce visual impact of lift to street.</p> <p>The proposed lift enclosure / garage door represents a minor portion of the façade while maintaining ample surveillance and transparency plus façade articulation.</p> <p>The garage door maintains satisfactory articulation and design interest to streetscape, with additional windows facing the street as part of the modified design. This is demonstrated in Figure 2 below.</p>
 <p>Approved street facade</p> <p>Proposed street facade</p>	
	<b><i>Figure 8 – approved and amended façade - car lift enclosed and additional glazing to façade</i></b>

Modification	Substantially the same development as per originally approved development?
<p>4. Basement 1 &amp; Basement 2 – extend north-eastern corner to accommodate car lift control room, store and circulation space for internal stairs</p>	<p><b>Yes</b> – These extensions are both relatively minor in context of the area of each basement level, and do not impact on the streetscape, neighbouring properties or view from the foreshore and waterways.</p> <p>Impacts on established trees associated with additional excavation has been considered with particular attention to Tree T14 – Lemon scented gum located near the north-eastern corner of the site. The repositioned retaining wall increases excavation within the Tree Protection Zone (TPZ) as shown in the marked up Basement Plan in Figure 9.</p>  <p><b>Figure 9 - modified Basement 2 plan</b>      <b>additional excavation</b></p> <p>Advice from the applicant is that the Structural Root Zone (SRZ) for Tree T14 is affected by an existing curved retaining walls plus the existing building as verified on the Demolition Plan and Survey as shown on Figure 10 below.</p> <p>The proposed new retaining walls by comparison does not encroach into the SRZ and is therefore assessed on balance as an acceptable outcome, which is verified with advice from Council's Landscape Officer which accepts the modifications.</p>  <p><b>Figure 10 – demolition plan (approved under DA 137/2023)</b></p>



<b>Modification</b>	<b>Substantially the same development as per originally approved development?</b>
5. Trees 11 & 13 – replace two existing casuarinas with coastal banksias, and modify conditions C25, C26, C28, E16 and G14 regarding landscaping	<p><b>Yes</b> – Trees 11 &amp; 13 were both proposed and recommended for removal as part of the original DA, however, were conditioned to be retained by the Panel under conditions E16 and G14.</p> <p>Council’s Landscape Officer has advised that both trees may be removed subject to planting 2 x Banksia integrifolia (200l min) as referenced by the Arborist and the SEE, to be planted in the approximate locations of T11 &amp; T13. The modified Landscape Plan satisfies this requirement noting 3 x Banksia integrifolia proposed for planting in place of trees T11 &amp; T13.</p>
6. Plunge pool – addition of small plunge pool to lower ground level for apartment LG01	<p><b>Yes</b> – The proposed plunge pool retains the approved open terrace on the eastern side of the lower ground floor. The plunge pool is relatively small at 2m diameter / 3.2m<sup>2</sup> and comparable with a spa which is exempt development up to 2,000L.</p> <p>Noting the plunge pool will have a filter, existing condition C37 sets requirements for pool and spa pump installation to limit their noise levels.</p>
7. Internal floorplan changes – for each apartment for improved amenity and compliance with the National Construction Code	<p><b>Yes</b> – Each apartment on the three residential levels maintain the same floorplan as approved, with the exception of minor wall re-alignments to adjust room sizes. The internal changes do not increase the floor area or reduce setbacks to each boundary, while maintaining approved floor levels. There is no change to unit mix and overall yield and thus no need to revisit the s7.11 contribution.</p>
8. Modify landscaping – including changes to satisfy condition C28 so that this condition may be deleted	<p><b>Yes</b> – Council’s Landscape Officer has advised that the amended landscape plan is satisfactory, noting that the amended Landscape Plan increases the total quantity of plants from 2,000 to 2,118 plants. It is noted that the landscaped area reduces slightly from 549m<sup>2</sup> (assessed at 41.5% of site area) to 542m<sup>2</sup> (41.5%) however maintains a surplus above the required minimum of 40%.</p> <p>Condition C28 is set out below. Consideration of satisfying condition C28 and deleting this is addressed as follows.</p> <p><i>C28. The landscape plan referred to in Condition A1 must be amended as follows to provide an appropriate landscaped setting:</i></p> <ul style="list-style-type: none"> <li><i>The arborist requires that the booster and bin storage must be constructed above any roots of T1 (see p28 of report). Confirmation is required that this is what is proposed (via suspended slab or similar) and that no excavation for pipework or other shall be required within the TPZ of T1, T19, or any other protected tree shown for retention. Should such confirmation not be provided, the location of booster and bin storage shall be relocated outside the TPZ of any protected tree.</i></li> </ul> <p><b>Comment</b> – The hydrant booster and bin storage are relocated on the modification plans from the NW to the NE corner of the site. T1 &amp; T19 are retained on the amended plans.</p> <ul style="list-style-type: none"> <li><i>An amended SW Plan that does not direct any pipework or associated works through the TPZ of any protected tree shall be prepared in consultation with a AQ5 qualified arborist for approval by council.</i></li> </ul>

Modification	<b>Substantially the same development as per originally approved development?</b>
	<p><b>Comment</b> – This sub-condition was applied in error noting that the approved plans do not include a Stormwater Plan. Condition C19 rather requires a detailed Stormwater Plan prior to issue of the Construction Certificate.</p> <ul style="list-style-type: none"> <li><i>The 9 x tree symbols shown on Landscape Plan prepared by Wyer &amp; Co. dated 21/8/23 and referenced only as ‘Native Trees’ are assumed to be the Tristaniopsis laurina (75l) shown in the plant schedule. Confirmation of this is required and shall be shown on drawings. All these trees shall be the cultivar ‘Luscious’ rather than the straight species, and the replacement street tree shall be 150l (min) rather than the 75l indicated. An additional T. laurina ‘Luscious (75l) shall be planted in the southwestern setback of the subject site, to the east of that shown in this location.</i></li> </ul> <p><b>Comment</b> – A total of 14 x 100L and 1 x 150L <i>Tristaniopsis laurina</i> are proposed in the amended landscape plan including four shown at the south-western corner of the site.</p> <ul style="list-style-type: none"> <li><i>2 x Corymbia maculata (75L) shall be included within the western setback amongst the existing Corymbia citriodora and replacement T. laurina shown.</i></li> </ul> <p><b>Comment</b> – 2 x <i>Corymbia maculata</i> (100L) are proposed within the western setback as shown on the Landscape Plan - ground floor.</p> <ul style="list-style-type: none"> <li><i>Trees T11 and T13 (Casuarina cunninghamiana) are to be shown to be retained;</i></li> </ul> <p><b>Comment</b> – Refer to modification no.5 in this table supporting removal of T11 &amp; T13. The modified Landscape Plan satisfies this requirement noting 3 x <i>Banksia integrifolia</i> proposed for planting in place of trees T11 &amp; T13</p> <ul style="list-style-type: none"> <li><i>An additional canopy tree is to be shown within the front set back in the north west corner.</i></li> </ul> <p><b>Comment</b> – Relocation of the hydrant booster and bin holding area to the NE corner has enabled an additional canopy tree to be planted at the NW corner as shown on the modified Landscape Plan.</p> <ul style="list-style-type: none"> <li><i>An additional 3 x Water gums (Tristaniopsis laurina) and 1 x Coastal Banksia (Banksia integrifolia) are to be included in suitable locations in the rear south-western portion of the site.</i></li> </ul> <p><b>Comment</b> – The modified Landscape Plan includes 4 x water gums at the south western corner, plus 5 x Banksias</p>
9. Seawall – replace / repair dilapidated part of seawall as shown on Demolition Plans	Demolition works to part of the seawall are noted on the Demolition Plan with these works also acknowledged in the original Notice of Determination. Condition C53 requires details of materials and finishes for the restored seawall prior to issue of a Construction Certificate. `

<b>Modification</b>	<b><i>Substantially the same development as per originally approved development?</i></b>
10. Bicycle parking – increase to 7 spaces for compliance with condition C15 – modify table in conditions G27, I5 and K6	Condition C15 is acknowledged as requiring 7 bicycle spaces with the modified plans – Basement 2 providing these. Based on this, conditions G27, I5 and K6 – ‘Allocation of Spaces’ which contain the same parking space table are to be amended to require 7 bicycle spaces rather than 10 spaces as stated in each of these conditions.
11. Deletion of condition A2 requiring design amendments	<p><i>A2. The architectural plans referred to in Condition A1 are to be amended to incorporate the following changes:</i></p> <p><i>a. The curved blade walls to Unit LG.01, GF.02 and L1.02 are to be redesigned to be in line with the plane of the eastern elevation and reduced so as not to protrude beyond the master balcony edge of GF.02 and L1.02.</i></p> <p><b>Comment</b> – The amended plans delete the blade walls and incorporate the changes required by the Panel satisfying this requirement.</p> <p><i>b. The balconies and planters to Units GF.01 and L1.01 are to be set back from the front boundary to match the main facade of the two-storey section of No. 3 Lower Wycombe Street; The blade walls, planter and balcony edges are to be set a minimum of 3.8 metres from the street boundary with Lower Wycombe Road.</i></p> <p><b>Comment</b> – The amended plans satisfy the front setback requirement with the ground level patio and first storey balcony matching No.3 Lower Wycombe Road, and the 3.8m side setback required by this condition is achieved.</p> <p><i>c. The car lift is to remain an unroofed/open structure. The safety fencing associated with the car lift is to remain visually transparent utilising vertical pickets or similar. Any safety barrier facing the street frontage is to be set back 1.5 metres from the boundary to match the alignment of the fencing to the east of the car lift;</i></p> <p><b>Comment</b> – This condition cannot reasonably be complied with given necessary standards for maintaining public safety and providing for appropriate maintenance of the car lift. The condition is recommended for deletion noting these requirements. The amended car lift replaces the open hoist design with an enclosed lift – refer to modification #2.</p> <p><i>d. The hydrant booster assembly and “bin-store” shown in the northern western corner of the site is to be relocated to the north-eastern corner of the site, with the bin -store located behind the hydrant booster and notated to be a “holding area only”. Additional landscaping is to be shown provided in the north-western corner including an additional canopy tree;</i></p> <p><b>Comment</b> – This condition is made redundant by the amended Site Plan and Landscape Plan which relocate the hydrant booster and bin store to the north-western corner – refer to modification #8.</p> <p><i>e. All Fencing shown within the landscaped areas of the site to Lower Wycombe Street and the waterfront areas are to be open metal palisade or vertical blade fencing design with a maximum height of 1.2m above finished site level. All fencing is to be in a dark recessive colour.</i></p> <p><b>Comment</b> – This condition is satisfied by the amended plans showing an open metal fencing measured to 1.2m.</p>

<b>Modification</b>	<b><i>Substantially the same development as per originally approved development?</i></b>
	<b>Summary</b> – Condition A2 is now satisfied by the modifications and may be deleted.
12. Amend condition A1 – approved plans	The schedule of approved plans under condition 1 will require replacing with a new schedule referring to the modified architectural and landscape plans. An updated condition A1 is set out in the recommendations of this report.
13. Amend condition A5 – to refer to new plans	An updated condition A5 is set out in the recommendations of this report.
14. Amend conditions C9 & C10 regarding reflectivity to permit pebble / ballast finish to roof, rather than ‘factory pre-finished’	Updated conditions C9 & C10 A1 is set out in the recommendations of this report.  Pebble / ballast finish is applied on site rather than ‘ <i>must be factory pre-finished</i> ’, hence these two conditions may be amended to simply state ‘ <i>will have</i> ’ low glare and reflective properties.
15. Amend condition C24 – updated Arborist Report reference	Updated condition C24 is to reference the Arboricultural Impact Assessment dated 17/12/2024 by Arborlogix.
16. Amend condition C27 – updated Arborist Report reference	Updated condition C24 is to reference the Arboricultural Impact Assessment dated 17/12/2024 by Arborlogix.
17. Amend condition C48 - updated reference to BASIX Certificate	The updated BASIX certificates 1381833M_06 dated 13/23/2024 is to be referenced in amended condition C48.
18. Amend condition C52 – delete requirement regarding platform lift	Condition C52 applies specifically to an open car lift platform. This condition is to be deleted on the basis a standard enclosed car lift is supported as per modifications #2 and #3.
19. Amend condition E15 - updated Arborist Report reference	Updated condition E15 is to reference the Arboricultural Impact Assessment dated 17/12/2024 by Arborlogix.

### **3. Whether any submissions were made concerning the proposed modification.**

Notification was carried out in accordance with Council’s *Community Engagement Protocol* for 14 days between 28/02/2025 – 14/03/2025, resulting in receipt of two submissions including one in support and one objection. Issues raised in the submission of objection are addressed as follows:

#### **1) Addition of Enclosed Car Lift Structure – Planning, Safety and Visual Impact**

***The proposed enclosed car lift directly contradicts Council’s Condition A2(c) of the previously approved DA requiring an unroofed/open structure.***

**Comment** – A2(c) states *The car lift is to remain an unroofed/open structure. The safety fencing associated with the car lift is to remain visually transparent utilising vertical pickets or similar. Any safety barrier facing the street frontage is to be set back 1.5 metres from the boundary to match the alignment of the fencing to the east of the car lift.*

Reasons cited for the enclosed lift and revised façade are to improve streetscape articulation and reduce visual impact of the lift as required to the street. The proposed lift enclosure / garage door represents a minor portion of façade while maintaining sufficient surveillance and transparency plus façade articulation. The car lift door and reveals will maintain satisfactory articulation and design interest to streetscape. It is also noted that the location of the car lift entry has been selected to protect existing significant trees in the NW and NE corner of the site and there are limited alternative location to place this structure.

***Creates a significant pedestrian safety hazard due to poor sightlines of pedestrians to vehicles exiting across a heavily trafficked footpath used by:***

- *Aged residents from Lansdowne Gardens facility*
- *Local residents / visitors accessing Hayes St retail and Neutral Bay Wharf*
- *Visitors to local attractions like Nutcote (historic home) arriving from the ferry*

**Comment** - Lower Wycombe Road has numerous garages fronting the street similar to proposed modified garage. The proposed garage / lift door has a setback of 1.5m from the front boundary, enabling diagonal sight lines between approaching pedestrians and departing cars.

***Developer's claim to lack of lift suppliers for the current approval is unsubstantiated***

**Comment** – Refer to transport engineering advice at Appendix B to the SEE. Open ‘hoist’ lift not suitable for cars, and is restricted to two levels. An enclosed lift as per this modification is required compliant with AS1735.

- ***Would set an undesirable precedent in the street and represent a poor planning outcome that is an inferior solution to that of the existing car parking access to the current buildings.***
- ***The car lift structure dominates the streetscape and means that the entry into the new complex becomes secondary and unappealing.***

**Comment** – Refer to comments above, the car lift is not considered to dominate the façade and maintains an appealing form to the streetscape. The use of a car lift was considered and

- *Although not shown in the documents, the proposed enclosed car lift would likely require large ‘maximum clearance’ signage directly facing to the street consistent with the example photographs below which given the car parks prominent position in the building façade and to the street, will lead to a poor visual outcome.*

**Comment** – Clearance height signage is not required for private residential parking. Should the developer add such signage it may be installed as exempt development, being of minimal impact.

## **2. Rooftop A/C Units – Height, Noise and Amenity Impacts**

**Comment** – Refer to engineer’s advice at Appendix A of the SEE, noting that locating air-conditioning plant on a rooftop is a common design approach for residential flat buildings. As advised in the assessment table – modification #1, relocating the air-conditioning units to the roof is considered acceptable. The top of air conditioning plant sits below top of lift over-run, and behind the lift overrun as viewed from Lower Wycombe Rd, plus will be screened by existing street trees.



Noise generation from its operation will be mitigated by an acoustic screen as shown on the plans. In addition to this, separation to neighbours and existing condition of consent #C34 satisfactorily addresses plant noise.

### **3. Misleading View Impact Analysis**

- *Transparency of the retained trees (Lemon Scented Gums) results in visibility of the rooftop of the A/C units and plant, plus further height breaches of lift motor room.*
- *Combined height increases will be substantially more visible than portrayed Increased parapet height (+150mm), lift overrun height (+200mm), rooftop A/C plant (below LOR)*
- *Further breaches of height planes beyond existing concessions are inappropriate given adverse visual impacts to both the street and also adjoining landowners.*

**Comment** – As assessed under modification no.1 the height increases are each relatively minor in relation to the approved height of the development. The view analysis submitted by the applicant is indicative only. Whilst the trees are not solid as shown, the trees will serve to obscure view of the roof line and rooftop structures including the lift over run and air conditioning plant. Any available harbour views are obtained looking diagonally downwards through the side setback areas rather than over the roof.

The request for variation to the 8.5m height standard was supported in the original approved DA, with the grounds for variation to the standard remaining acceptable for these minor modifications based on no increase in impacts compared with the approved development.

#### ***S.4.55(3) & S.4.15(1) CONSIDERATION***

***In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 4.15 (1) as are of relevance to the development the subject of the application.***

***The consent authority must also take into consideration the reasons given by the consent authority for the grant of the consent that is sought to be modified.***

#### **State Environmental Planning Policies**

##### ***State Environmental Planning Policy (Housing) 2021***

#### **Comment:**

- *Chapter 2, Part 3 – Retention of Existing Affordable Housing*

The approved development was assessed as not being defined as affordable rental housing under the SEPP. The proposed modifications do not change this, with no further consideration of Chapter 2 being required.

- *Chapter 4 - Design of residential apartment development*

The approved development was assessed as satisfactory under the provisions of the former *SEPP 65 – Design Quality of Residential Apartment Development* which was transferred to Chapter 4 of the Housing SEPP. The proposed modifications are assessed as substantially the same development compared with the approved design and therefore satisfactory with regards to the provisions of Chapter 4 of the SEPP.

#### ***SEPP (Sustainable Buildings) 2022***

The modified plans are supported by a BASIX Certificate confirming the revised design is BASIX compliant.

#### ***SEPP (Biodiversity and Conservation) 2021***

- *Chapter 2 – Vegetation in non-rural areas*
- *Chapter 6 – Water Catchments*

**Comment** – The proposed modifications result in no clearing. The site is located within the Sydney Harbour Catchment, with the amended plans resulting in no change in site coverage. Conditions of consent regarding stormwater drainage shall continue to apply in modifying the consent.

#### ***SEPP (Resilience and Hazards) 2021***

- *Chapter 2 – Coastal management*

**Comment** – The site is mapped within the Coastal environment area and Coastal use area, with the approved development found to be suitably designed for the site and its foreshore setting. The modified design does not alter this assessment.

- *Chapter 4 – Remediation of Land*

**Comment** – The site is located in an established residential area and was found to be suitable for residential redevelopment under the original assessment. The modified design does not alter this assessment.

### **NORTH SYDNEY LOCAL ENVIRONMENT PLAN 2013**

#### **Permissibility**

The modifications maintain the approved development as a Residential Flat Building (RFB). The R3 (Medium Density Residential) zone prohibits a RFB, however the original DA was submitted on 10 May 2023 prior to the date when North Sydney LEP 2013 was amended to prohibit RFBs in the R3 zone (Amendment no.35 made 19 May 2023). As the proposed modifications maintain the approved development, they are therefore permissible with consent.

#### **Zone objectives**

The objectives of the R3 Medium Density Residential are stated below:

- *To provide for the housing needs of the community within a medium density residential environment.*

- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To encourage the development of sites for medium density housing if such development does not compromise the amenity of the surrounding area or the natural or cultural heritage of the area.*
- *To provide for a suitable visual transition between high density residential areas and lower density residential areas.*
- *To ensure that a high level of residential amenity is achieved and maintained.*

The modified proposal is assessed as substantially the same as the approved development and remains consistent with zone objectives, maintaining the approved development as a residential flat building which is compatible with its surrounds, with the modifications maintaining a high level of residential amenity.

#### **Cl.4.3 Height of buildings**

The site is within an area mapped with a maximum building height of 8.5m. DA 137/2023 was approved with a maximum height of 13.7m to the lift over run, with the variation to the height standard approved under Clause 4.6 – Exception to development standards.

The amended plans increase the height to the lift over run by 200mm to a maximum of 13.9m. The SEE advises the increase is due to increased slab thickness being required for services whilst maintaining internal ceiling heights at 2.7m as required. As discussed in the S.4.55 assessment table the increase in height is minor and is considered acceptable on merit.

Consideration of the objectives for height is also required as follows:

- (a) to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient,*
- (b) to promote the retention and, if appropriate, sharing of existing views,*
- (c) to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development,*
- (d) to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings,*
- (e) to ensure compatibility between development, particularly at zone boundaries,*
- (f) to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area,*
- (g) to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone C4 Environmental Living.*

**Comment** – The height of the originally approved development was assessed as being consistent with the objectives for height and with the objectives of the zone, noting the development maintains a similar height, bulk and footprint as the existing development on the site.

In considering the variation to the building height standard, case law ([Realize Architecture Pty Ltd v Canterbury-Bankstown Council \[2023\]](#)) established that for development approved with a variation to a development standard (in this case building height), an application for modification of consent does not require a new request pursuant to C.4.6 to vary the standard.

With regards to the approved development and its height of 13.7m, the applicant's original request to vary the 8.5m height standard set out grounds for justification including retention of views, privacy, solar access, and compatibility with the surrounds, with these grounds continuing to apply to the proposed modifications. This is on the basis that the height increase of 0.2m / 1.5% is minor, and that the modifications are assessed as resulting in *substantially the same development* as approved. Accordingly, the proposed increase in building height as part of the modifications is considered acceptable.

#### **Cl.5.7 Development below the mean high water mark**

The approved development includes re-building and restoration of the existing seawall and swimming pool located within the foreshore and below the mean high water mark. The proposed modifications to these approved works include restoration of part of the seawall are relatively minor and necessary to maintain the seawall.

#### **Cl.5.10 Heritage conservation**

The objectives of this clause focus on conserving heritage elements, noting the site is located within the Kurraba Point Heritage Conservation Area. As advised in the original DA assessment the existing 1980s residential flat building is uncharacteristic for the area. The approved development and as modified is considered more sympathetic to its setting in context of both the streetscape and as viewed from the foreshore and harbour.

#### **Cl.6.9 Limited development on foreshore area**

Clause 6.9 requires consideration noting the development as approved slightly extends within the foreshore area, with this accepted based on it maintaining the existing foreshore building line and not causing any adverse impacts on the foreshore. The modified design maintains the approved bulk, scale, architectural form and foreshore building line. Accordingly it maintains a satisfactory form of development within the foreshore area.

#### **Cl.6.10 Earthworks**

The approved development includes two basement levels requiring substantial earthworks based on the steep fall of the site. The proposed modifications result in the same cut depth of 10m maximum to RL3.9. Additional cut near the north-eastern corner as part of the modified basement design is assessed as acceptable based on the project arborists advice as discussed under modification #4 in this report.

#### **NORTH SYDNEY DCP 2013**

The proposal was assessed as compliant with the relevant provisions of the DCP. Amendments as proposed to the plans are assessed against the relevant DCP provisions as follows.

## NORTH SYDNEY DCP 2013

The proposal was assessed as compliant with the relevant provisions of the DCP. Amendments as proposed to the plans are assessed against the relevant DCP provisions as follows.

<b>Part B Section 1 – Residential Development</b>		
<b>Control</b>	<b>Compliance</b>	<b>Comments</b>
<b>1.2 Social Amenity</b>		
<b>Population Mix</b>	Yes	No change from approval
<b>Universal Design and Adaptable Housing</b>	Yes	No change from approval – 2 of 6 units may be adapted.
<b>1.3 Environmental Criteria</b>		
<b>Topography</b>	Yes	
<b>Views</b>	Yes	No change from approval – vistas to the harbour looking past the development
<b>Solar Access</b>	Yes	<p>Approved development achieves compliant solar access to eastern and western side neighbours. The minor increase to the parapet height (+150mm) results in a minor increase in overshadowing as follows:</p> <ul style="list-style-type: none"> <li>- to no.3 LOWER WYCOMBE Rd (duplex neighbouring to west) to its east side windows between 9am – midday)</li> <li>- to no.9 LOWER WYCOMBE Rd (6 units neighbouring to east) to its west side windows between midday – 3pm)</li> </ul> <p>The minor increases in shadow casts will unlikely be perceptible, while noting that the rear south facing living areas and private open space areas will not be affected by these minor increases in shadow casts.</p> <p>Furthermore the retention of several established trees as part of the modified development will maintain filtered sunlight / shade to both neighbouring properties, and to Hayes Street Beach.</p>
<b>Acoustic Privacy</b>	Yes	No change to approval noting no increase in density or private open space areas. The addition of a small plunge pool at the lower level south-eastern corner is unlikely to cause undue noise disturbance given its small size, with the existing pool filter housing condition also apply to the plunge pool.
<b>Visual Privacy</b>	Yes	No change to approved development noting size, level and location of balconies remains generally unchanged, with no larger side facing windows.
<b>1.4 Quality built form</b>		
<b>Context and streetscape</b>	Yes	Minor changes to façade including enclosing the car lift and additional windows maintain a positive contribution to the streetscape. Additional landscaping to the southern side will complement the development as viewed from the foreshores and harbour.
<b>Siting</b>	Yes	No change to approved development
<b>Setback – Front</b>	Yes	No change to approved development. The modified design incorporates a well articulated and modulated façade to the streetscape.
<b>Setback – Side</b>	Yes	No change to approved development.
<b>Minimum 3m for residential flat buildings</b>		
<b>Setback – Rear</b>	Yes	No change to approved development
<b>Building Separation</b>	Yes	No change to approved development.



<b>Form, Massing Scale</b>	Yes	Increase in parapet height by 150mm is unlikely to result in any increase in perceptible scale.
<b>Built Form Character</b>	Yes	Minor changes to façade and rear elevation maintain a high standard of design and complementary to its foreshore setting and streetscape.
<b>Dwelling Entry</b>	Yes	Entry to development remains clear and unobstructed to/from the street
<b>Roofs</b>	Yes	No change to approved flat roof form consistent with other residential flat buildings in locality
<b>Materials</b>	Yes	No change to approved materials
<b>Balconies - Apartments Min.8m² and 2m depth</b>	Yes	Minor changes to approved balconies at ground level maintain required area and depth
<b>Front Fences</b>	Yes	Minor change to fence design with relocation of bin enclosure and hydrant booster from NW to NE corner, maintains approved fence height and form.
<b>1.5 Quality Urban Environment</b>		
<b>High Quality Residential Accommodation</b>	Yes	As per above.
<b>Vehicle Access and Parking</b>	Yes	As per above.
<b>Site coverage requirements for residential flat buildings</b>  Site area: 1306m² Site coverage 45% (max)	Yes	No change from approved development apart from minor increase in built area at north-eastern corner of basement, with site coverage increasing from 40.3% (526m²) to 41.2% (538m²), compliant with the control.
<b>Landscape Area and Un-built Upon Area for Residential Flat Buildings</b>  Site area: 1306m²  Landscaped area: 40% (min)  Un-built upon area: 15% (max)	Yes       Yes	<u>Landscaped area</u> The minimum landscaped area requirement for the site is 40% (522.4m²). The proposed development comprises a total landscaped area of 607m² (46.5%) of the site – demonstrating compliance with this control.  <u>Un-built upon area</u> Approved un-built upon area = 19.7% (257.6m²) of site area. Modified un-built upon area = 17.3% (226m²) – complies.
<b>Excavation</b>  1m or more from property boundaries  max 70% of site area	Yes	Acceptable – see above (under Clause 6.10 of NSLEP 2013). The modified excavation area maintains more than 1m setback from property boundaries.  Approved footprint of excavation = 438m² (33.5%). Modified footprint of excavation = 464m² (35.5%)
<b>Garbage Storage</b>	Yes	Modified location from NW corner to NE corner is acceptable.
<b>1.6 Efficient Use of Resources</b>		
<b>Energy Efficiency</b>	Yes	A BASIX Certificate is submitted with the S.4.55 application package
<b>Passive Solar Design</b>	Yes	Modified design maintains compl with ADG.

<b>Natural Ventilation</b>	Yes	See above.
<b>Stormwater Management</b>	Yes	Acceptable – as confirmed by Council’s Development Engineer.

## CHARACTER STATEMENTS – PART C

### *Section 6 – South Cremorne Planning Area*

#### *Section 6.2 – Kurraba Point Conservation Area*

The site is within the Kurraba Point Conservation Area with Part C, Section 6.2 of the DCP applying. Given the merits of the modified design, it is considered to be well aligned with the established and desired future character and built form of the area.

## ENVIRONMENTAL APPRAISAL

## CONSIDERED

1.	Statutory Controls	Yes
2.	Policy Controls	Yes
3.	Design in relation to existing building and natural environment	Yes
4.	Landscaping/Open Space Provision	Yes
5.	Traffic generation and Carparking provision	Yes
6.	Loading and Servicing facilities	Yes
7.	Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8.	Site Management Issues	Yes
9.	All relevant S4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979	Yes

## CONCLUSION & REASONS

The proposed modifications are considered to be generally consistent with the originally approved development application and s.4.55 of the EP & A Act 1979. Furthermore, the modifications do not result in any material amenity impact to adjoining properties or the surrounding area. The proposed modifications are consistent with the reasons for the grant of development consent to the originally approved development and is considered to be acceptable.

Having regard to the provisions of section 4.55 & 4.15(2) of the Environmental Planning and Assessment Act 1979, the proposed development as modified is substantially the same development as originally consented to. The application is therefore recommended for approval.

## RECOMMENDATION

PURSUANT TO SECTION 4.55 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

**THAT** the North Sydney Local Planning Panel, as the Consent Authority, approve the modification of Development Consent No. 137/23 dated 1 November 2023 in respect of a proposal for demolition of existing residential flat building and construction of new residential flat building containing six (6) apartments and construct swimming pool adjacent to the foreshore at 5-7 Lower Wycombe Road, Neutral Bay under the provisions of Section 4.55 of the Environmental Planning and Assessment Act only insofar as will provide for the following:

### 1. Amend condition A1 as follows:

#### Development in Accordance with Plans/Documentation

A1.

Plan No.	Issue	Description	Prepared by	Dated
DA 002	4	Proposed Site Plan	PBD Architects	13/12/2024
DA 003	3	Site Analysis Plan	PBD Architects	13/12/2024
DA 004	3	Demolition Plan	PBD Architects	13/12/2024
DA 100	6	Basement 2	PBD Architects	13/12/2024
DA 102	6	Basement 1	PBD Architects	13/12/2024
DA 103	6	Communal Area	PBD Architects	13/12/2024
DA 104	6	Lower Ground Floor	PBD Architects	13/12/2024
DA 105	7	Ground Floor	PBD Architects	13/12/2024
DA 106	7	Level 1	PBD Architects	13/12/2024
DA 107	6	Level 2	PBD Architects	13/12/2024
DA 108	3	Roof Plan	PBD Architects	13/12/2024
DA 200	6	East Elevation	PBD Architects	13/12/2024
DA 201	6	West Elevation	PBD Architects	13/12/2024
DA 202	6	North Elevation	PBD Architects	13/12/2024
DA 203	6	South Elevation	PBD Architects	13/12/2024
DA 301	6	Section A	PBD Architects	13/12/2024
DA302	6	Section B	PBD Architects	13/12/2024
DA 400	3	Schedule of Materials	PBD Architects	13/12/2024
DA 620	3	Adaptable Unit Layout – Lower Ground	PBD Architects	13/12/2024
DA 621	01	Adaptable Unit Layout Level 2	PBD Architects	13/12/2024
S.4.55_00	01	Existing Tree Schedule Plant Schedule Specification	Wyer and Co	18/12/2024
S.4.55_01	01	Existing Tree Plan	Wyer and Co	18/12/2024
S.4.55_02	01	Landscape Masterplan	Wyer and Co	18/12/2024
S.4.55_3	01	Landscape Plan – Basement 01	Wyer and Co	18/12/2024
S.4.55_4	01	Landscape Plan – Lower Ground Floor	Wyer and Co	18/12/2024
S.4.55_05	01	Landscape Plan – Ground Floor	Wyer and Co	18/12/2024
S.4.55_06	3	Landscape Plan – Level 01	Wyer and Co	18/12/2024
S.4.55_07	3	Landscape Plan – Level 02	Wyer and Co	18/12/2024

2. **Delete condition A2**
3. **Amend conditions G27, I5 and K6 – ‘Allocation of Spaces’ – amend bicycle parking spaces from ‘10’ spaces to ‘7’ spaces**
4. **Amend condition A5 to refer to amended plans as set out in amended condition A1**
5. **Amend conditions C9 & C10 with regard to finishes, replacing “*must be factory pre-finished*” with “*will have*”**
6. **Amend condition C24 to refer to the amended Arboricultural Impact Assessment dated 17/12/2024 by Arborlogix.**
7. **Amend condition C27 to refer to the amended Arboricultural Impact Assessment dated 17/12/2024 by Arborlogix.**
8. **Amend condition C48 to refer to updated BASIX Certificate 1381833M\_06 dated 13/12/2024**
9. **Delete condition C52 – open car lift**
10. **Amend condition E15 to refer to the amended Arboricultural Impact Assessment dated 17/12/2024 by Arborlogix.**

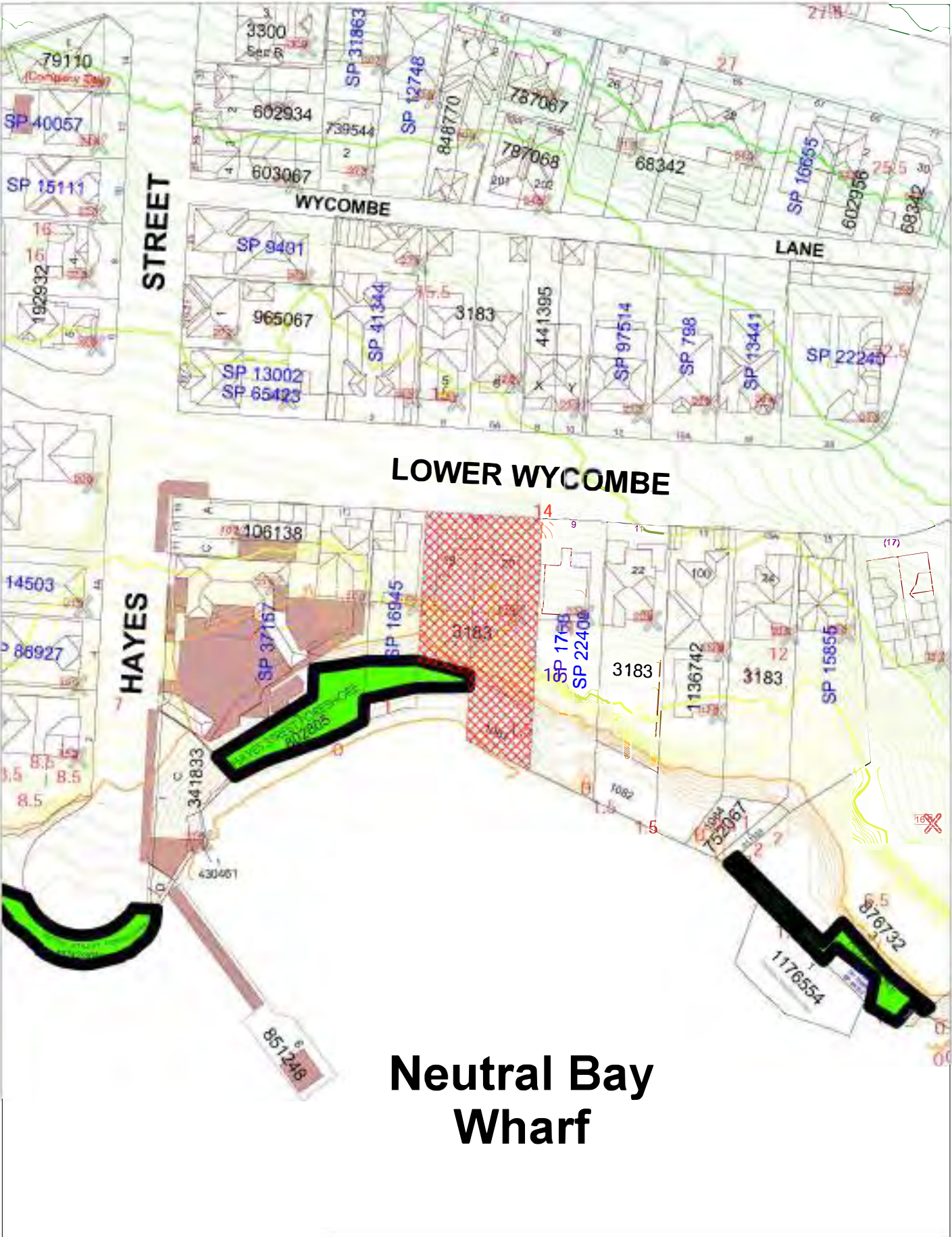
**BEN ROURKE**  
**CONSULTANT PLANNER**

**DAVID HOY**  
**TEAM LEADER ASSESSMENTS**

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**STEPHEN BEATTIE**  
**MANAGER DEVELOPMENT SERVICES**

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PROJECT INFORMATION

5-7 Lower Wycombe Rd, Neutral Bay	
Site Area	1,306 m²
Height Control	8.5 m - Merit Based
Zoning	R3 - Medium Density Residential

UNIT MIX

Level	Studio	1 Bed	2 Bed	3 Bed	Total
LOWER GROUND	0	0	0	1	0
GROUND	0	0	0	2	0
LEVEL 1	0	0	0	2	0
LEVEL 2	0	0	0	1	0
TOTAL	0	0	0	6	6
	0%	0%	0%	100%	100%

CAR PARKING REQUIREMENTS

	Parking Area 2 Rates	No. of Units / Area	Required Min.	Proposed	
<b>Residential</b>					
Studio	0	0	0	0	0
1 Bed	0	0	0	0	0
2 Bed	0	0	0	0	0
3 Bed	0	6	1.5	9	
		<b>total residential</b>	<b>1.5</b>	9	
Visitor	0.25 per dwelling	6	1.0	2	
		TOTAL		11	

OTHER PARKING REQUIREMENTS

Bicycle	(Residential) 1 per dwelling (Visitor) 1 per 10 dwellings	6 6	6 0.6	6 1	
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OTHER REQUIREMENTS

	DCP / ADG Req	Required	Proposed
Solar Access	70% of total number of dwellings	4	1
Communal Open Space	Minimum area equal to 25% of the site	328m2	561.5m2 (43%)
Cross Ventilation	Minimum 60% of units	5	6 (83%)
Site Coverage	Maximum 45% of site area	588m2	538m2 (41.2%)
Un-Built Upon Area	Maximum 15% of site area	196m2	226m2 (17.3%)
Landscape Area	Minimum 40% of site area	522m2	542m2 (41.5%)
Livable Housing	Silver	20% of all dwellings (1.2 units)	2
Adaptable Housing	Minimum 20%	2	2

PROPOSED MODIFICATIONS BY LEVELS:

- 1. Basement 2 & 1:**
- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
  - Proposed updated basement design floor levels to:  
Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level  
Basement 1: RL 6.90 (approved RL7.10)
  - Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
  - Updated external area at Communal Open Space.
  - Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree7.
- 2. Foreshore:**
- Proposed removal of trees T1 & T3 and updated landscape design.
  - Repositioning of proposed pool and associated landscaping.
  - Revised foreshore access stair and pool equipment enclosure.
  - Proposed sectional removal and reconstruction of existing Seawall
- 3. Lower Ground:**
- General update to interior layout (revised nominated adaptable unit)
  - General update to services and stair layout adjusted to the retention design
  - Minor adjustments to glazing locations.
  - Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
  - Proposed extended balcony width off Living area to provide an adequate and usable private open space.
  - Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.
- 4. Ground Floor:**
- General update to interior layout.
  - Minor adjustments to façade glazing locations.
  - Proposed extended GF.01 balcony width off Living area to provide an adequate and usable private open space.
  - Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
  - Repositioning of proposed hydrant boost/ bin holding as per Condition A2(d) with associated landscaping amendments to suit.
- 5. Level 1:**
- General update to interior layout.
  - Minor adjustments to façade glazing locations.
  - Amendment to northern façade with an adjusted balcony extent.
  - Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
  - Proposed planting over garage structure at level 1.
- 6. Level 2:**
- General update to interior layout.
  - Minor adjustments to façade glazing locations including removal of West facing glazing off-living areas.
  - Amendment to northern façade with an adjusted balcony extent.
  - Nominated adaptable unit to Level 2.
- 7. Roof:**
- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
  - Proposed increase of lift overrun by 200mm (RL 24.20).
  - Proposed increase of parapet level to RL 23.15.
- 8. Façade:**
- Updated façade finishes generally including adjustments to Southern façade.
  - General glazing update along the façades.

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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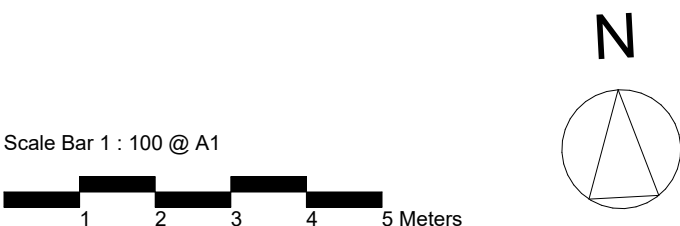
LEGEND:

- AW AWNING  
AH ACCESS HATCH  
AC A/C CONDENSER UNITS  
FH FIRE HYDRANT  
FHR FIRE HOSE REEL  
FS FIRE STAIRS  
GC GARBAGE CHUTE  
HW HIGHLIGHT WINDOW  
MV MECHANICAL RISER TO FUTURE DETAIL  
MB MAIL BOX TO FUTURE DETAIL  
R 240L RECYCLING BIN  
SK SKYLIGHT  
HWU HOT WATER UNITS

MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING  
LV ALUMINIUM ELLIPTICAL FIXED LOUVERS  
AW AWNING (TO FUTURE DETAIL)  
CONC CONCRETE  
FB FACE BRICK  
GB FRAMELESS TOUCHENED GLASS BALUSTRADE (TO FUTURE DETAIL)  
MC METAL CLADDING  
MF METAL FENCING (TO FUTURE DETAIL)  
PC COMPOSITE PANEL CLADDING  
PSK PRIVACY SCREEN (TO FUTURE DETAIL)  
PFK PAINT FINISH TYPEK  
RD ROLLER DOOR  
RP RIVER PEBBLES  
RW STONE  
ST STONE  
SC STONE CLADDING  
TC TIMBER CLADDING  
VB EXTERNAL VENETIAN BLINDS

Issue	Date	Description
01	05/05/2023	ISSUE FOR DEVELOPEMENT APPLICATION
02	18/08/2023	AMMENDED PLANS
03	13/12/2024	ISSUE FOR S4.55 APPLICATION



CLIENT:

VERGOME PTY LTD



P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Surry Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevic NSW 7768

PROJECT:

PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

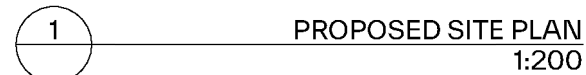
DRAWING TITLE:

PROJECT SUMMARY

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: NTS	DRAWING NO: <b>DA-001</b>	ISSUE: <b>03</b>
PROJECT NO: 2225		

FOR S4.55(2) APPLICATION





GENERAL NOTES:

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- FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC/OTHER STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS
- DRAWINGS SPECIFICATIONS AND SCHEDULES TO BE READ IN CONJUNCTION
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS
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- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCES AND CONSTRUCTION DETAILS TO BE DETERMINED BY STRUCTURAL WALL SYSTEMS AND CONSULTANT WILL BE REQUIRED

AW	AWNING
AH	ACCESS HATCH
AC	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
HW	HIGHLIGHT WINDOW
MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAILBOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
HWU	HOT WATER UNITS



AFG	ALUMINIUM FRAMED GLAZING
LV	ALUMINIUM ELLIPTICAL FIXED LOUVERS
AW	AWNING (TO FUTURE DETAIL)
CONC	CONCRETE
FB	FACE BRICK
GB	FRAMELESS TOUCHENED GLASS BALUSTRADE (TO FUTURE DETAIL)
MC	METAL CLADDING
MT	METAL FLASHING (TO FUTURE DETAIL)
PC	COMPOSITE PANEL CLADDING
PSX	PRIVACY SCREEN (TO FUTURE DETAIL)
PfX	PAINT FINISH TYPEX
RD	ROLLER DOOR
RP	RIVER PEBBLES
RS	RENDERED FINISH/SELECTED PAINT FINISH
ST	STONE
SC	STONE CLADDING
TC	TIMBER CLADDING
VB	EXTERNAL VENETIAN BLINDS

STRUCTURAL ROOT ZONE (SRZ)

TREE PROTECTION ZONE (TPZ)

TREE TO BE REMOVED

Scale Bar 1 : 100 @ A1



**P** - 02 9698 8140  
**E** - info@pbdarchitects.com.au  
**W** - pbdarchitects.com.au

Level 2, 52 Albion Street,  
 Sunny Hills NSW 2010

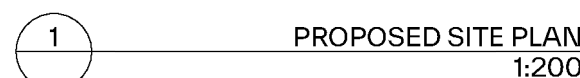
ABN 36 147 035 550  
 Nominated Architect:  
 Paul Buljevic NSW 7768

DRAWING TITLE:

**PROPOSED SITE PLAN**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:200@A1	DRAWING NO: <b>DA-002</b>	ISSUE: <b>04</b>
PROJECT NO: 2225		





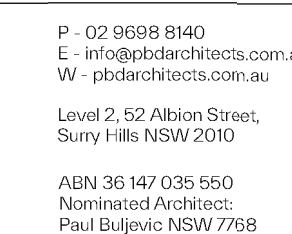
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**MATERIALS LEGEND:**

- |      |   |
|------|---|
| AFG  | ALUMINUM FRAMED GLAZING                               |
| LVG  | ALUMINUM ELLIPTICAL FIXED LOUVERS                     |
| AWW  | AWNINGS (TO FUTURE DETAIL)                            |
| CONC | CONCRETE  |
| FB   | FACE BRICK  |
| GB   | FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL) |
| MC   | METAL CLADDING  |
| MF   | METAL PENCINES (TO FUTURE DETAIL)                     |
| PC   | COMPOSITE PANEL CLADDING                              |
| PSX  | PRIVACY SCREENS (TO FUTURE DETAIL)                    |
| PFX  | ROLLER SHUTTER TYPE X                                 |
| RD   | ROLLER DOOR   |
| RF   | RIVER PEBBLES   |
| RW   | RENDERED FINISH/SELECTED PAINT FINISH                 |
| ST   | STONE   |
| SC   | STONE CLADDING  |
| TC   | TIMBER CLADDING                                       |
| VB   | EXTERNAL VENETIAN BLINDS                              |

CLIENT:  
**VERGOME PTY LTD**

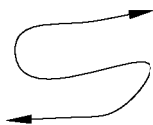


DRAWING TITLE:

# SITE ANALYSIS PLAN

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:200@A1	DRAWING NO:	ISSUE:
PROJECT NO: 2225	<b>DA-003</b>	<b>03</b>

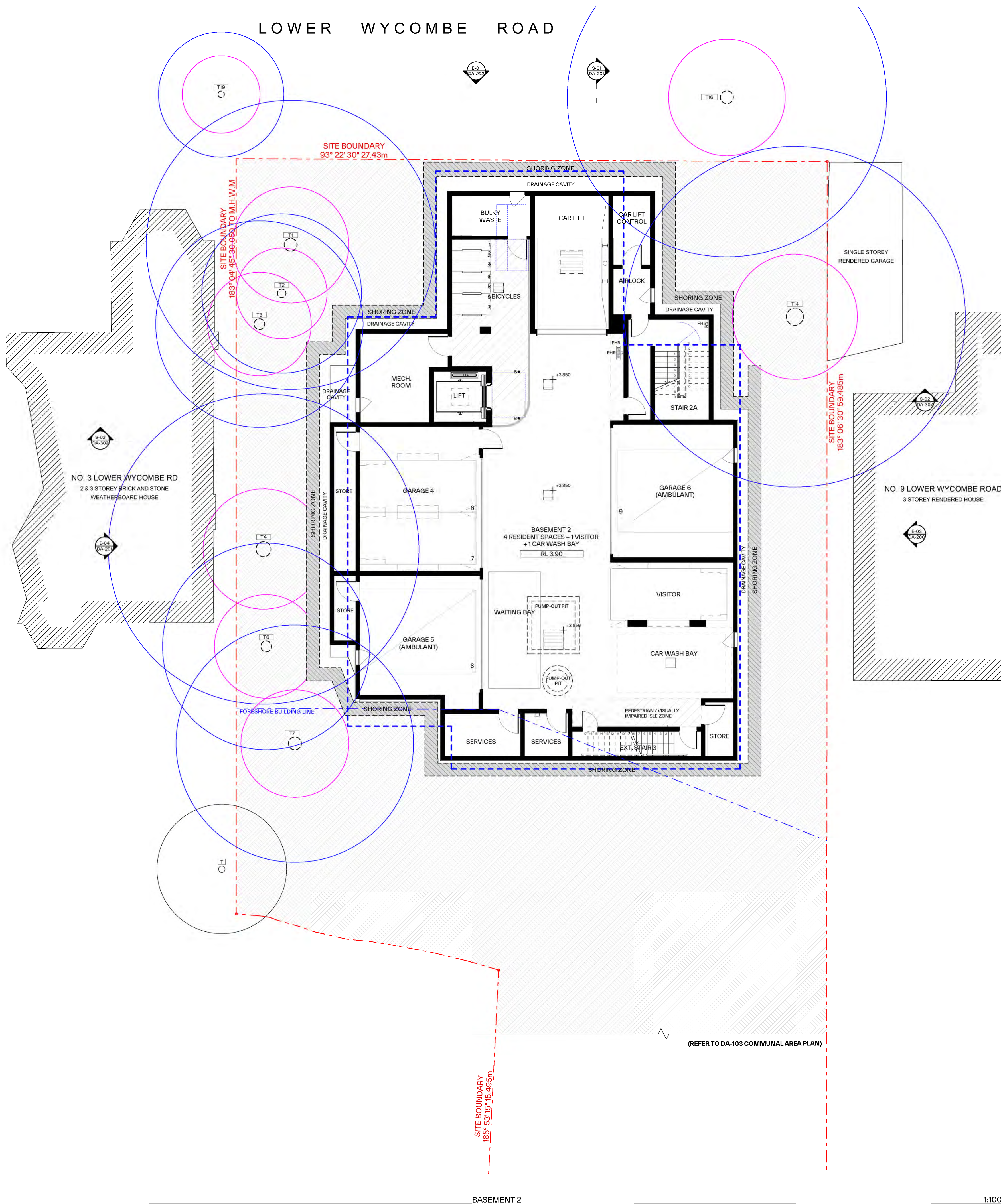




- General glazing update along the facades.

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:120.00@A1	DRAWING NO: <b>DA-004</b>	ISSUE: <b>03</b>
PROJECT NO: 2225		





## PROPOSED MODIFICATIONS BY LEVELS:

## 1. Basement 2 &amp; 1:

- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
- Proposed updated basement design floor levels to:
  - Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level
  - Basement 1: RL 6.90 (approved RL7.10)
- Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
- Updated external area at Communal Open Space.
- Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree 7.

## 2. Foreshore:

- Proposed removal of trees T1 & T3 and updated landscape design.
- Repositioning of proposed pool and associated landscaping.
- Revised foreshore access stair and pool equipment enclosure.
- Proposed sectional removal and reconstruction of existing Seawall

## 3. Lower Ground:

- General update to interior layout (revised nominated adaptable unit)
- General update to services and stair layout adjusted to the retention design
- Minor adjustments to glazing locations.
- Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
- Proposed extended balcony width off Living area to provide an adequate and usable private open space.
- Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.

## 4. Ground Floor:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Proposed extended GF.01 balcony width off Living area to provide an adequate and usable private open space.
- Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
- Repositioning of proposed hydrant boost/bin holding as per Condition A2(d) with associated landscaping amendments to suit.

## 5. Level 1:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Amendment to northern facade with an adjusted balcony extent.
- Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
- Proposed planting over garage structure at level 1.

## 6. Level 2:

- General update to interior layout.
- Minor adjustments to facade glazing locations including removal of West facing glazing off living areas.
- Amendment to northern facade and adjusted balcony extent.
- Nominated adaptable unit to Level 2.

## 7. Roof:

- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
- Proposed increase of lift overrun by 200mm (RL 24.20).
- Proposed increase of parapet level to RL 23.15.

## 8. Facade:

- Updated facade finishes generally including adjustments to Southern facade.
- General glazing update along the facades.

## GENERAL NOTES:

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## LEGEND:

AW	AWNING
AH	ACCESS HATCH
AC	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARAGE CHUTE
HV	HIGHLIGHT WINDOW
MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAILBOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
HVU	HOT WATER UNITS

## MATERIALS LEGEND:

AFG	ALUMINIUM FRAMED GLAZING
LV	ALUMINIUM ELLIPTICAL FIXED LOUVERS
AW	AWNING (TO FUTURE DETAIL)
CONC	CONCRETE
FB	FACE BRICK
GB	FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL)
MC	METAL CLADDING
MF	METAL FENCING (TO FUTURE DETAIL)
PC	COMPOSITE PANEL CLADDING
PSK	PRIVACY SCREEN (TO FUTURE DETAIL)
PSF	PAINT FINISH TYPEX
RD	ROLLER DOOR
RP	RIVER PEBBLES
RW	RENDERED FINISH/SELECTED PAINT FINISH
ST	STONE
SC	STONE CLADDING
TC	TIMBER CLADDING
VB	EXTERNAL VENETIAN BLINDS

## PLAN LEGEND

	OUTLINE OF DA APPROVED ENVELOPE
	TREES TO BE RETAINED
	TREES TO BE REMOVED
	TREE PROTECTION ZONE (TPZ)
	STRUCTURAL ROOT ZONE (SRZ)

Issue	Date	Description
01	05/05/2023	ISSUE FOR DEVELOPMENT APPLICATION
02	18/06/2023	ISSUE FOR RFI
03	21/07/2023	REVISED DESIGN IN RESPONSE TO COUNCIL FEEDBACK
04	15/08/2023	FINAL DRAFT
05	18/08/2023	AMENDED PLANS
06	13/12/2024	ISSUE FOR S4.55 APPLICATION

## CLIENT:

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P - 02 9698 8140  
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ABN 36 147 035 550  
Nominated Architect:  
Paul Buljavec NSW 7798

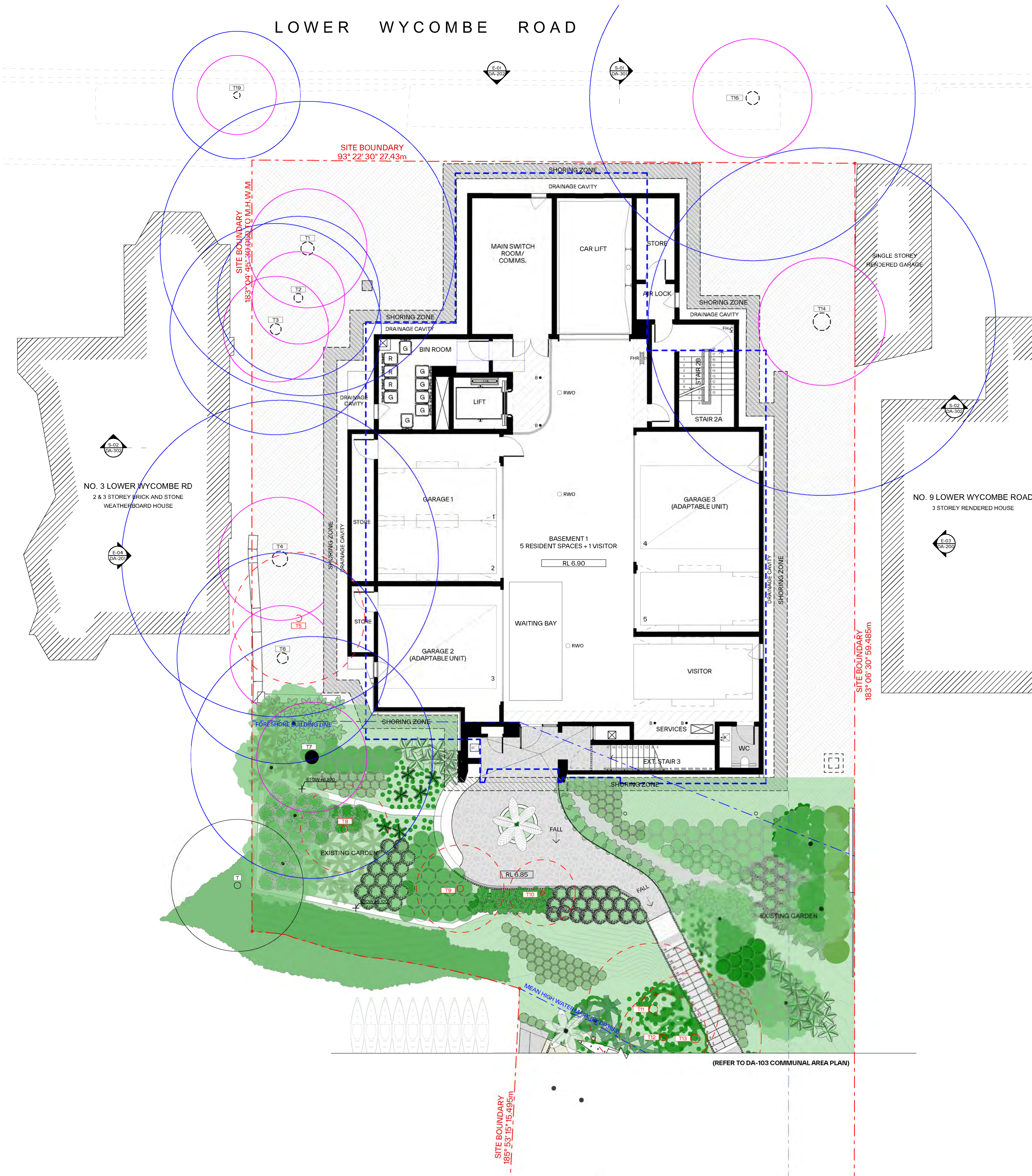
PROJECT:  
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

DRAWING TITLE:  
**BASEMENT 2 FLOOR PLAN**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:100@A1	DRAWING NO: <b>DA-100</b>	ISSUE: <b>06</b>
PROJECT NO: 2225		

FOR S4.55(2) APPLICATION





PROPOSED MODIFICATIONS BY LEVELS:

- 1. Basement 2 & 1:**
- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
  - Proposed updated basement design floor levels to:
    - Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level
    - Basement 1: RL 6.90 (approved RL7.10)
  - Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
  - Updated external area at Communal Open Space.
  - Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree 7.
- 2. Foreshore:**
- Proposed removal of trees T1 & T3 and updated landscape design.
  - Repositioning of proposed pool and associated landscaping.
  - Revised foreshore access stair and pool equipment enclosure.
  - Proposed sectional removal and reconstruction of existing Seawall
- 3. Lower Ground:**
- General update to interior layout (revised nominated adaptable unit)
  - General update to services and stair layout adjusted to the retention design
  - Minor adjustments to glazing locations.
  - Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
  - Proposed extended balcony width off Living area to provide an adequate and usable private open space.
  - Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.
- 4. Ground Floor:**
- General update to interior layout.
  - Minor adjustments to facade glazing locations.
  - Proposed extended GF.01 balcony width off Living area to provide an adequate and usable private open space.
  - Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
  - Repositioning of proposed hydrant boost/bin holding as per Condition A2(d) with associated landscaping amendments to suit.
- 5. Level 1:**
- General update to interior layout.
  - Minor adjustments to facade glazing locations.
  - Amendment to northern facade with an adjusted balcony extent.
  - Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
  - Proposed planting over garage structure at level 1.
- 6. Level 2:**
- General update to interior layout.
  - Minor adjustments to facade glazing locations including removal of West facing glazing off living areas.
  - Amendment to northern facade and adjusted balcony extent.
  - Nominated adaptable unit to Level 2.
- 7. Roof:**
- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
  - Proposed increase of lift overrun by 200mm (RL 24.20).
  - Proposed increase of parapet level to RL 23.15.
- 8. Façade:**
- Updated facade finishes generally including adjustments to Southern façade.
  - General glazing update along the facades.

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

- AW AWNING  
AH ACCESS HATCH  
AC A/C CONDENSER UNITS  
FH FIRE HYDRANT  
FHR FIRE HOSE REEL  
FS FIRE STAIRS  
GC GARBAGE CHUTE  
HW HIGHLIGHT WINDOW  
MV MECHANICAL RISER TO FUTURE DETAIL  
MB MAILBOX TO FUTURE DETAIL  
R 240L RECYCLING BIN  
SK SKYLIGHT  
HWJ HOT WATER UNITS

MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING  
LV ALUMINIUM ELLIPTICAL FIXED LOUVERS  
AW AWNING (TO FUTURE DETAIL)  
CONC CONCRETE  
FB FACE BRICK  
GB FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL)  
MC METAL CLADDING  
MF METAL FENCING (TO FUTURE DETAIL)  
PC COMPOSITE PANEL CLADDING  
PSK PRIVACY SCREEN (TO FUTURE DETAIL)  
PFK PAINT FINISH TYPEX  
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ST STONE  
SC STONE CLADDING  
TC TIMBER CLADDING  
VB EXTERNAL VENETIAN BLINDS

PLAN LEGEND

- OUTLINE OF DA APPROVED ENVELOPE
- TREES TO BE RETAINED
- TREES TO BE REMOVED
- TREE PROTECTION ZONE (TPZ)
- STRUCTURAL ROOT ZONE (SRZ)

Issue	Date	Description
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Nominated Architect:  
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PROJECT:

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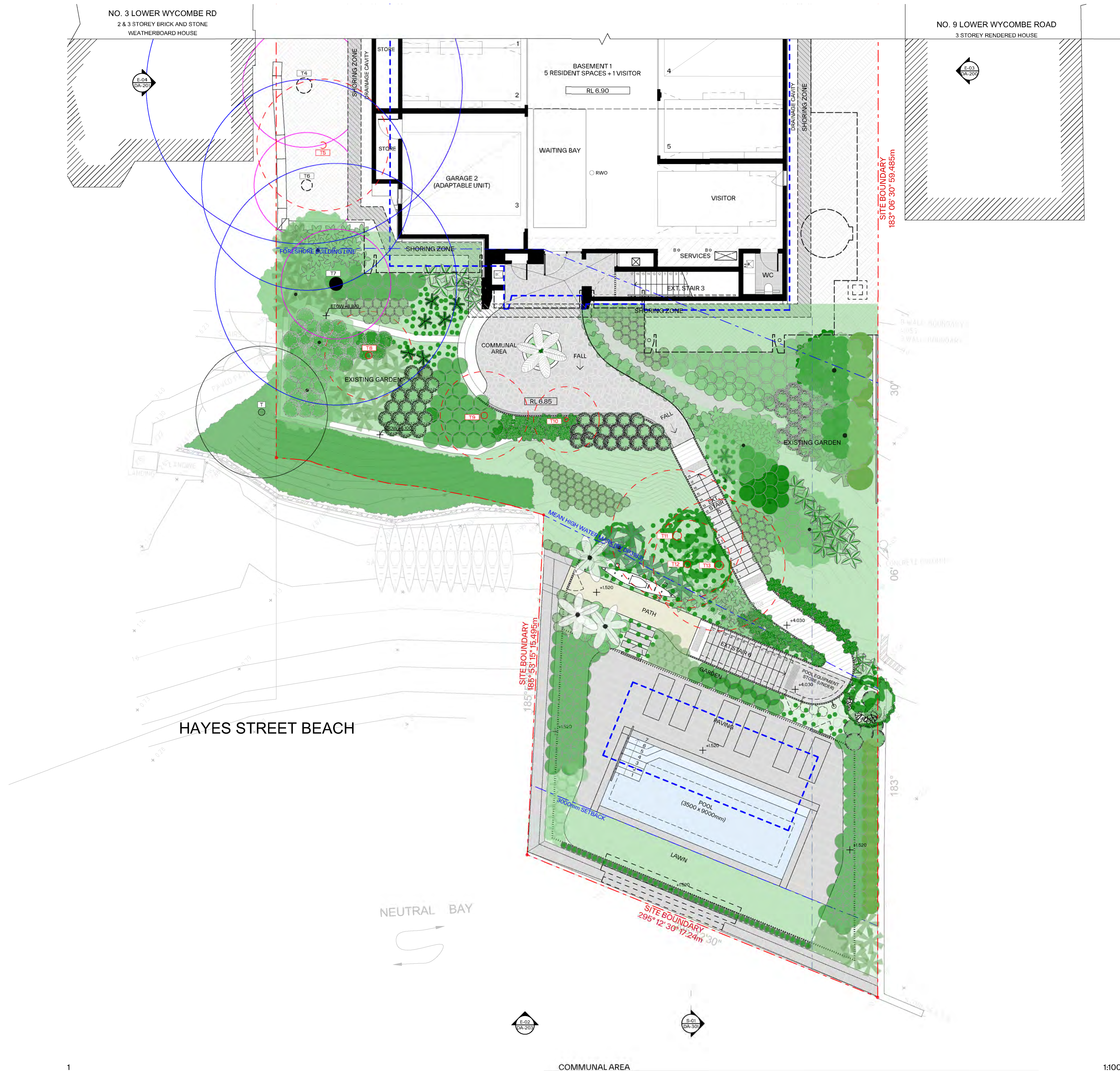
DRAWING TITLE:

**BASEMENT 1 FLOOR PLAN**

DRAWING BY:	CHECKED BY:	DATE:
SCALE:	DRAWING NO:	ISSUE:
1:100, 1:100A1	<b>DA-102</b>	<b>06</b>
PROJECT NO:		
2225		

FOR S4.55(2) APPLICATION





PROPOSED MODIFICATIONS BY LEVELS:

- 1. Basement 2 & 1:**
- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
  - Proposed updated basement design floor levels to:
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    - Basement 1: RL 6.90 (approved RL7.10)
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- Proposed removal of trees 11 & 13 and updated landscape design.
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  - General update to services and stair layout adjusted to the retention design
  - Minor adjustments to glazing locations.
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  - Repositioning of proposed hydrant boost/bin holding as per Condition A2(d) with associated landscaping amendments to suit.
- 5. Level 1:**
- General update to interior layout.
  - Minor adjustments to facade glazing locations.
  - Amendment to northern facade with an adjusted balcony extent.
  - Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
  - Proposed planting over garage structure at level 1.
- 6. Level 2:**
- General update to interior layout.
  - Minor adjustments to facade glazing locations including removal of West facing glazing off-living areas.
  - Amendment to northern facade and adjusted balcony extent.
  - Nominated adaptable unit to Level 2.
- 7. Roof:**
- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
  - Proposed increase of lift overrun by 200mm (RL 24.20).
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- 8. Facade:**
- Updated facade finishes generally including adjustments to Southern facade.
  - General glazing update along the facades.

GENERAL NOTES:

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MATERIALS LEGEND:

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MC METAL CLADDING  
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PC COMPOSITE PANEL CLADDING  
PSK PRIVACY SCREEN (TO FUTURE DETAIL)  
PFK PAINT FINISH TYPE K  
RD ROLLER DOOR  
RP RIVER PEBBLES  
RW RENDERED FINISH/SELECTED PAINT FINISH  
ST STONE  
SC STONE CLADDING  
TC TIMBER CLADDING  
VB EXTERNAL VENETIAN BLINDS

PLAN LEGEND

- OUTLINE OF DA APPROVED ENVELOPE
- TREES TO BE RETAINED
- TREES TO BE REMOVED
- TREE PROTECTION ZONE (TPZ)
- STRUCTURAL ROOT ZONE (SRZ)

Issue	Date	Description
01	05/05/2023	ISSUE FOR DEVELOPMENT APPLICATION
02	18/06/2023	ISSUE FOR #11
03	21/07/2023	REVISED DESIGN IN RESPONSE TO COUNCIL FEEDBACK
04	15/08/2023	FINAL DRAFT
05	18/08/2023	AMENDED PLANS
06	13/12/2024	ISSUE FOR S4.55 APPLICATION

CLIENT:

VERGOME PTY LTD



P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Sunny Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Bujovic NSW 7768

PROJECT:  
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

DRAWING TITLE:  
**COMMUNAL AREA PLAN**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:100, 1:100A1	DRAWING NO: <b>DA-103</b>	ISSUE: <b>06</b>
PROJECT NO: 2225		

FOR S4.55(2) APPLICATION



## PROPOSED MODIFICATIONS BY LEVELS:

## 1. Basement 2 &amp; 1:

- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
- Proposed updated basement design floor levels to:
  - Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level
  - Basement 1: RL 6.90 (approved RL7.10)
- Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
- Updated external area at Communal Open Space.
- Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree 7.

## 2. Foreshore:

- Proposed removal of trees T1 & T3 and updated landscape design.
- Repositioning of proposed pool and associated landscaping.
- Revised foreshore access stair and pool equipment enclosure.
- Proposed sectional removal and reconstruction of existing Seawall

## 3. Lower Ground:

- General update to interior layout (revised nominated adaptable unit)
- General update to services and stair layout adjusted to the retention design
- Minor adjustments to glazing locations.
- Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
- Proposed extended balcony width off Living area to provide an adequate and usable private open space.
- Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.

## 4. Ground Floor:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Proposed extended GF:01 balcony width off Living area to provide an adequate and usable private open space.
- Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
- Repositioning of proposed hydrant boost/bin holding as per Condition A2(d) with associated landscaping amendments to suit.

## 5. Level 1:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Amendment to northern facade with an adjusted balcony extent.
- Additional southern balcony access off unit L1:02 Dining and adjustments to planters generally.
- Proposed planting over garage structure at level 1.

## 6. Level 2:

- General update to interior layout.
- Minor adjustments to facade glazing locations including removal of West facing glazing off living areas.
- Amendment to northern facade and adjusted balcony extent.
- Nominated adaptable unit to Level 2.

## 7. Roof:

- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
- Proposed increase of lift overrun by 200mm (RL 24.20).
- Proposed increase of parapet level to RL 23.15.

## 8. Façade:

- Updated facade finishes generally including adjustments to Southern façade.
- General glazing update along the facades.

## GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY (NOT FOR CONSTRUCTION) - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
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- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

## LEGEND:

AW	AWNING
AH	ACCESS HATCH
AC	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
HV	HIGHLIGHT WINDOW
MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAILBOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
HVU	HOT WATER UNITS

## MATERIALS LEGEND:

AFG	ALUMINIUM FRAMED GLAZING
LV	ALUMINIUM ELLIPTICAL FIXED LOUVERS
AW	AWNING (TO FUTURE DETAIL)
CONC	CONCRETE
FB	FACE BRICK
GB	FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL)
MC	METAL CLADDING
MF	METAL FENCING (TO FUTURE DETAIL)
PC	COMPOSITE PANEL CLADDING
PSK	PRIVACY SCREEN (TO FUTURE DETAIL)
PF	PAINT FINISH TYPEX
RD	ROLLER DOOR
RP	RIVER PEBBLES
RW	RENDERED FINISH/SELECTED PAINT FINISH
ST	STONE
SC	STONE CLADDING
TC	TIMBER CLADDING
VB	EXTERNAL VENETIAN BLINDS

## PLAN LEGEND

	OUTLINE OF DA APPROVED ENVELOPE
	TREES TO BE RETAINED
	TREES TO BE REMOVED
	TREE PROTECTION ZONE (TPZ)
	STRUCTURAL ROOT ZONE (SRZ)

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Nominated Architect:  
Paul Buljovic NSW 7768

PROJECT:

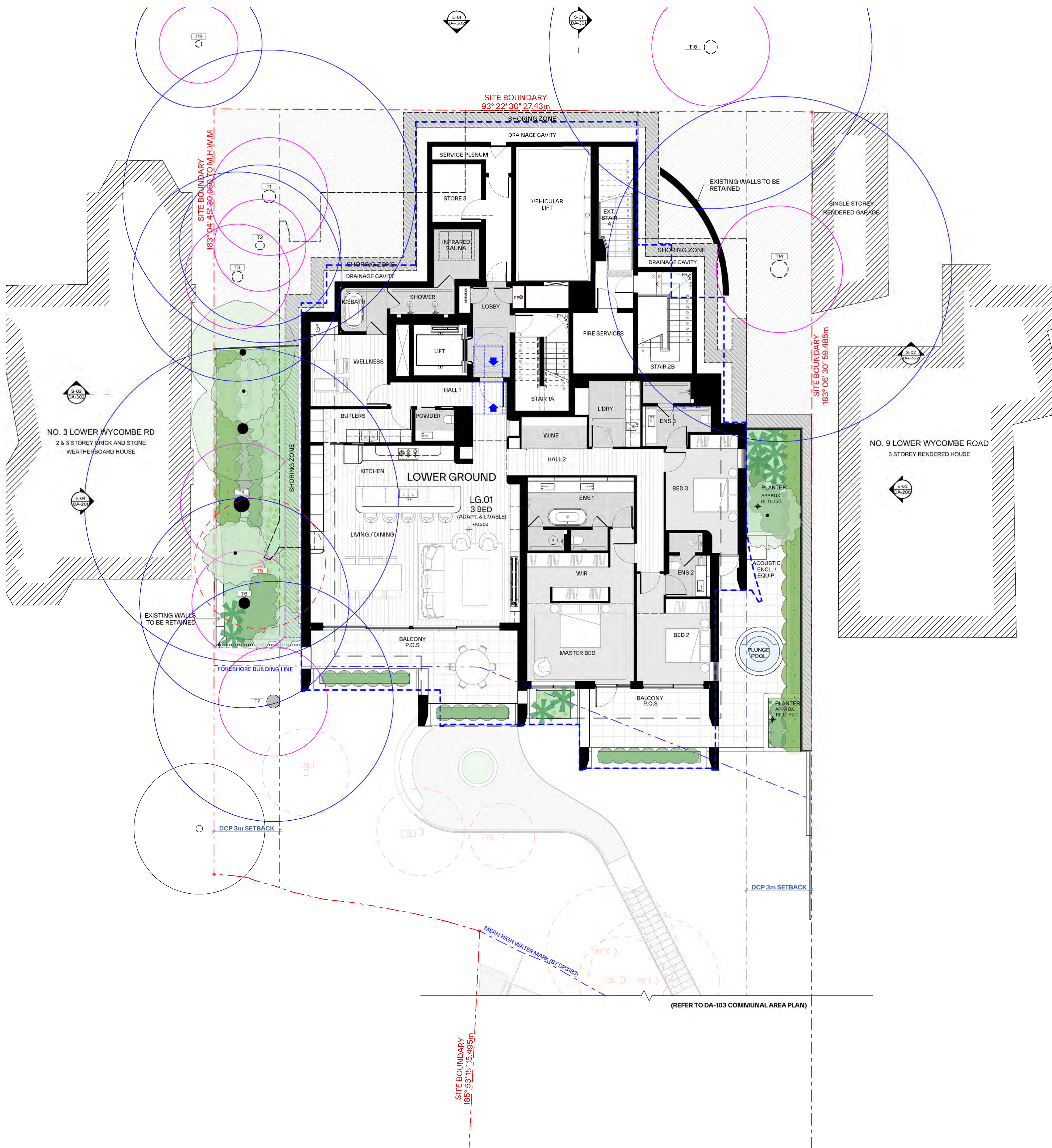
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

DRAWING TITLE:

**LOWER GROUND FLOOR PLAN**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:100, 1:1@A1	DRAWING NO: <b>DA-104</b>	ISSUE: <b>06</b>
PROJECT NO: 2225		

FOR S4.55(2) APPLICATION





PROPOSED MODIFICATIONS BY LEVELS:

1. Basement 2 & 1:

- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
- Proposed updated basement design floor levels to:
  - Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level
  - Basement 1: RL 6.90 (approved RL7.10)
- Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
- Updated external area at Communal Open Space.
- Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree 7.

2. Foreshore:

- Proposed removal of trees 11 & 13 and updated landscape design.
- Repositioning of proposed pool and associated landscaping.
- Revised foreshore access stair and pool equipment enclosure.
- Proposed sectional removal and reconstruction of existing Seawall

3. Lower Ground:

- General update to interior layout (revised nominated adaptable unit)
- General update to services and stair layout adjusted to the retention design
- Minor adjustments to glazing locations.
- Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
- Proposed extended balcony width off Living area to provide an adequate and usable private open space.
- Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.

4. Ground Floor:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Proposed extended GF.01 balcony width off Living area to provide an adequate and usable private open space.
- Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
- Repositioning of proposed hydrant boost/bin holding as per Condition A2(d) with associated landscaping amendments to suit.

5. Level 1:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Amendment to northern facade with an adjusted balcony extent.
- Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
- Proposed planting over garage structure at level 1.

6. Level 2:

- General update to interior layout.
- Minor adjustments to facade glazing locations including removal of West facing glazing off-living areas.
- Amendment to northern facade and adjusted balcony extent.
- Nominated adaptable unit to Level 2.

7. Roof:

- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
- Proposed increase of lift overrun by 200mm (RL 24.20).
- Proposed increase of parapet level to RL 23.15.

8. Façade:

- Updated facade finishes generally including adjustments to Southern façade.
- General glazing update along the facades.

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

- AW AWNING
- AH ACCESS HATCH
- AC A/C CONDENSER UNITS
- FH FIRE HYDRANT
- FHR FIRE HOSE REEL
- FS FIRE STAIRS
- GC GARBAGE CHUTE
- HV HIGHLIGHT WINDOW
- MV MECHANICAL RISER TO FUTURE DETAIL
- MB MAILBOX TO FUTURE DETAIL
- R 240L RECYCLING BIN
- SK SKYLIGHT
- HVU HOT WATER UNITS

MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING
- LV ALUMINIUM ELLIPTICAL FIXED LOUVERS
- AW AWNING (TO FUTURE DETAIL)
- CONC CONCRETE
- FB FACE BRICK
- GB FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL)
- MC METAL CLADDING
- MF METAL FENCING (TO FUTURE DETAIL)
- PC COMPOSITE PANEL CLADDING
- PSK PAINT FINISH TYPE K
- RD ROLLER DOOR
- RP RIVER PEBBLES
- RW RENDERED FINISH/SELECTED PAINT FINISH
- ST STONE
- SC STONE CLADDING
- TC TIMBER CLADDING
- VB EXTERNAL VENETIAN BLINDS

PLAN LEGEND

- OUTLINE OF DA APPROVED ENVELOPE
- TREES TO BE RETAINED
- TREES TO BE REMOVED
- TREE PROTECTION ZONE (TPZ)
- STRUCTURAL ROOT ZONE (SRZ)

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07	13/12/2024	ISSUE FOR S4.55 APPLICATION

CLIENT:

VERGOME PTY LTD



P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Sunny Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Buljavec NSW 7768

PROJECT:

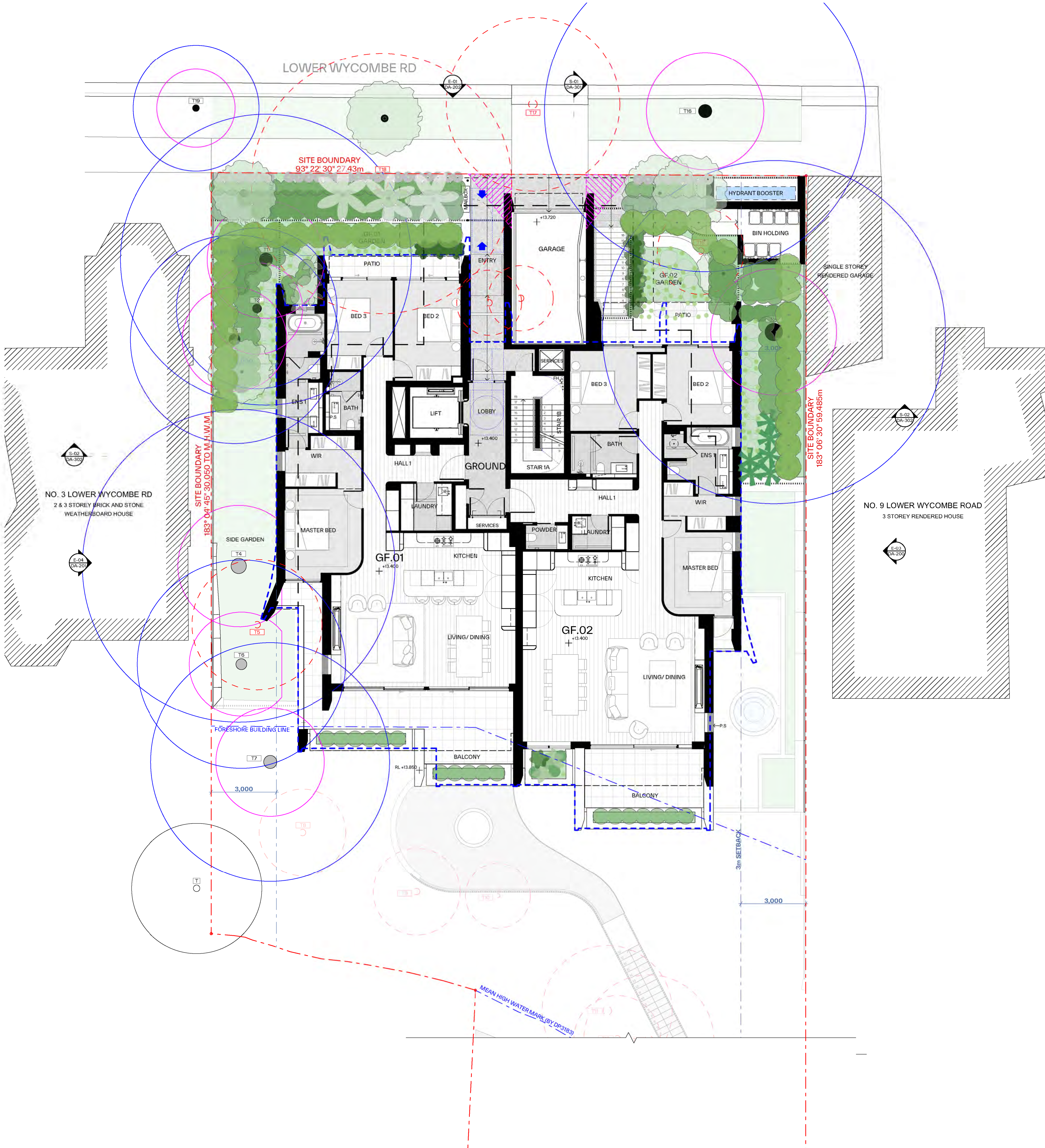
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

DRAWING TITLE:

GROUND FLOOR PLAN

DRAWING BY:	CHECKED BY:	DATE:
SCALE:	DRAWING NO:	ISSUE:
1:100, 1:1@A1	DA-105	07
PROJECT NO:		
2225		

FOR S4.55(2) APPLICATION





## PROPOSED MODIFICATIONS BY LEVELS:

## 1. Basement 2 &amp; 1:

- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
- Proposed updated basement design floor levels to:
  - Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level
  - Basement 1: RL 6.90 (approved RL7.10)
- Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
- Updated external area at Communal Open Space.
- Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree 7.

## 2. Foreshore:

- Proposed removal of trees 11 & 13 and updated landscape design.
- Repositioning of proposed pool and associated landscaping.
- Revised foreshore access stair and pool equipment enclosure.
- Proposed sectional removal and reconstruction of existing Seawall

## 3. Lower Ground:

- General update to interior layout (revised nominated adaptable unit)
- General update to services and stair layout adjusted to the retention design
- Minor adjustments to glazing locations.
- Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
- Proposed extended balcony width off Living area to provide an adequate and usable private open space.
- Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.

## 4. Ground Floor:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Proposed extended GF.01 balcony width off Living area to provide an adequate and usable private open space.
- Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
- Repositioning of proposed hydrant boost/bin holding as per Condition A2(d) with associated landscaping amendments to suit.

## 5. Level 1:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Amendment to northern facade with an adjusted balcony extent.
- Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
- Proposed planting over garage structure at level 1.

## 6. Level 2:

- General update to interior layout.
- Minor adjustments to facade glazing locations including removal of West facing glazing off living areas.
- Amendment to northern facade and adjusted balcony extent.
- Nominated adaptable unit to Level 2.

## 7. Roof:

- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
- Proposed increase of lift overrun by 200mm (RL 24.20).
- Proposed increase of parapet level to RL 23.15.

## 8. Façade:

- Updated facade finishes generally including adjustments to Southern façade.
- General glazing update along the facades.

## GENERAL NOTES:

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## LEGEND:

AW	AWNING
AH	ACCESS HATCH
AC	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
HW	HIGHLIGHT WINDOW
MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAILBOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
HWU	HOT WATER UNITS

## MATERIALS LEGEND:

AFG	ALUMINIUM FRAMED GLAZING
LV	ALUMINIUM ELLIPTICAL FIXED LOUVERS
AW	AWNING (TO FUTURE DETAIL)
CONC	CONCRETE
FB	FACE BRICK
GB	FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL)
M/C	METAL CLADDING
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PC	COMPOSITE PANEL CLADDING
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VB	EXTERNAL VENETIAN BLINDS

## PLAN LEGEND

	OUTLINE OF DA APPROVED ENVELOPE
	TREES TO BE RETAINED
	TREES TO BE REMOVED
	TREE PROTECTION ZONE (TPZ)
	STRUCTURAL ROOT ZONE (SRZ)

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07	13/12/2024	ISSUE FOR S4.55 APPLICATION

CLIENT:

VERGOME PTY LTD



P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au  
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ABN 36 147 035 550  
Nominated Architect:  
Paul Buljavec NSW 7768

PROJECT:

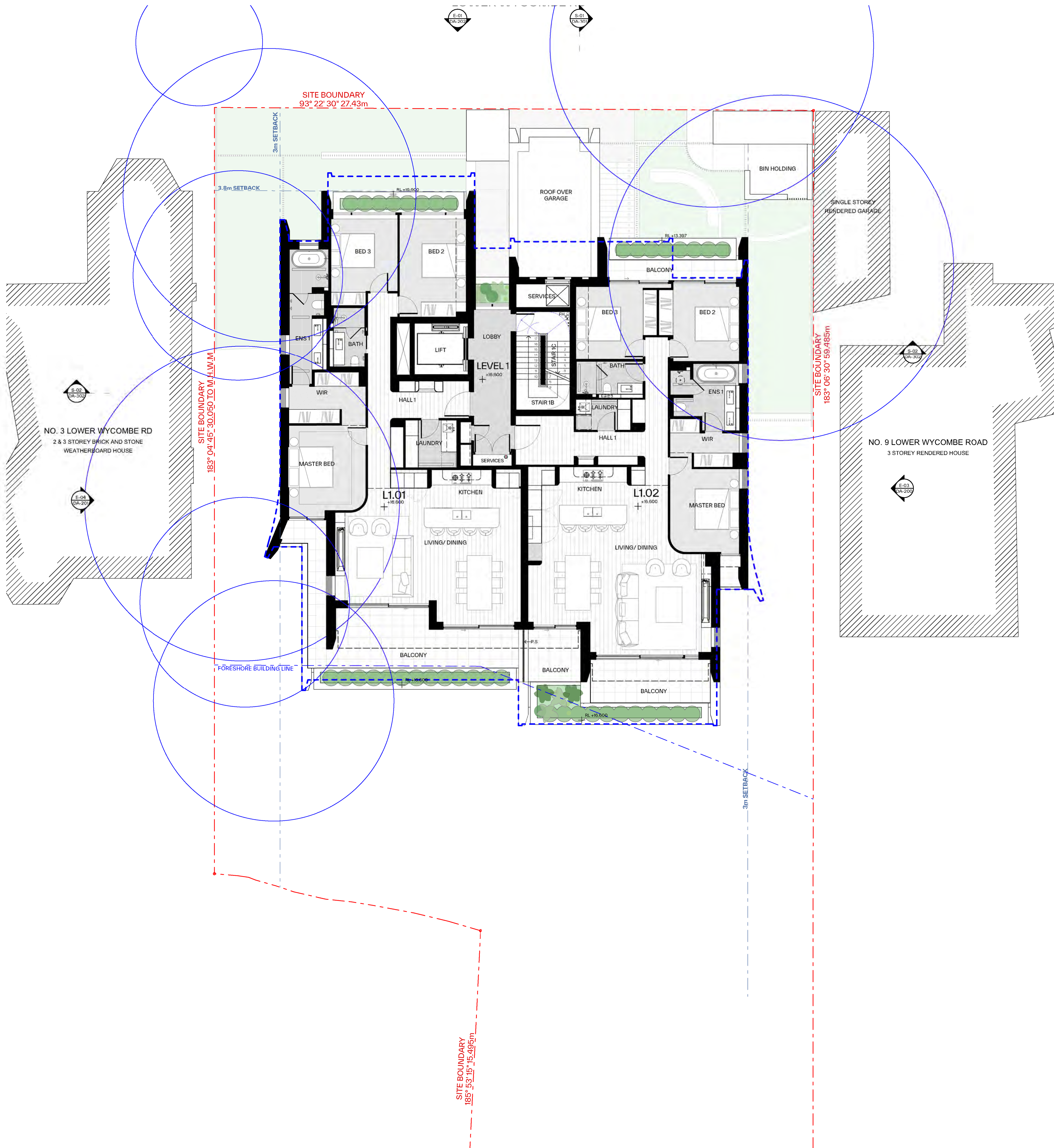
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

DRAWING TITLE:

LEVEL 1 FLOOR PLAN

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:100, 1:1@A1	DRAWING NO: <b>DA-106</b>	ISSUE: <b>07</b>
PROJECT NO: 2225		

FOR S4.55(2) APPLICATION





## PROPOSED MODIFICATIONS BY LEVELS:

## 1. Basement 2 &amp; 1:

- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
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## 6. Level 2:

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- Nominated adaptable unit to Level 2.

## 7. Roof:

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## 8. Façade:

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## GENERAL NOTES:

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## LEGEND:

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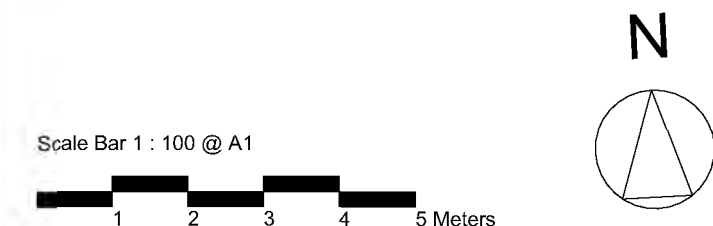
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ABN 36 147 035 550  
Nominated Architect:  
Paul Buljovic NSW 7798

PROJECT:

PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

DRAWING TITLE:

LEVEL 2 FLOOR PLAN

DRAWING BY:

CHECKED BY:

DATE:

13/12/2024

SCALE:

1:100, 1:100A1

PROJECT NO:

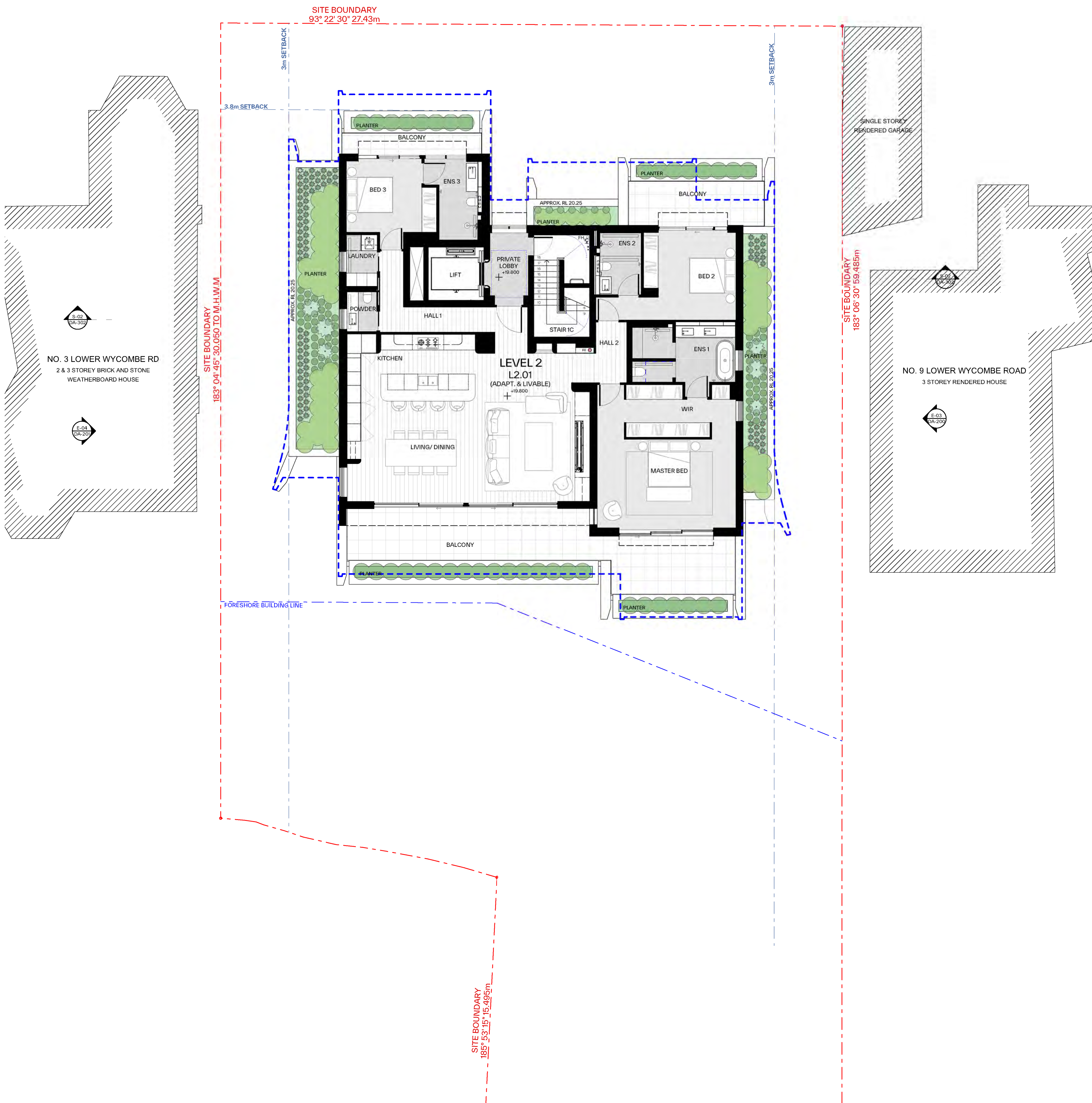
2225

DRAWING NO:

DA-107

ISSUE:

06





PROPOSED MODIFICATIONS BY LEVELS:

1. Basement 2 & 1:

- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
- Proposed updated basement design floor levels to:
  - Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level
  - Basement 1: RL 6.90 (approved RL7.10)
- Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
- Updated external area at Communal Open Space.
- Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree 7.

2. Foreshore:

- Proposed removal of trees T1 & T3 and updated landscape design.
- Repositioning of proposed pool and associated landscaping.
- Revised foreshore access stair and pool equipment enclosure.
- Proposed sectional removal and reconstruction of existing Seawall

3. Lower Ground:

- General update to interior layout (revised nominated adaptable unit)
- General update to services and stair layout adjusted to the retention design
- Minor adjustments to glazing locations.
- Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
- Proposed extended balcony width off Living area to provide an adequate and usable private open space.
- Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.

4. Ground Floor:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Proposed extended GF:01 balcony width off Living area to provide an adequate and usable private open space.
- Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
- Repositioning of proposed hydrant boost/bin holding as per Condition A2(d) with associated landscaping amendments to suit.

5. Level 1:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Amendment to northern facade with an adjusted balcony extent.
- Additional southern balcony access off unit L1:02 Dining and adjustments to planters generally.
- Proposed planting over garage structure at level 1.

6. Level 2:

- General update to interior layout.
- Minor adjustments to facade glazing locations including removal of West facing glazing off living areas.
- Amendment to northern facade and adjusted balcony extent.
- Nominated adaptable unit to Level 2.

7. Roof:

- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
- Proposed increase of lift overrun by 200mm (RL 24.20).
- Proposed increase of parapet level to RL 23.15.

8. Facade:

- Updated facade finishes generally including adjustments to Southern facade.
- General glazing update along the facades.

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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LEGEND:

- AW AWNING
- AH ACCESS HATCH
- AC A/C CONDENSER UNITS
- FH FIRE HYDRANT
- FHR FIRE HOSE REEL
- FS FIRE STAIRS
- GC GARBAGE CHUTE
- HV HIGHLIGHT WINDOW
- MV MECHANICAL RISER TO FUTURE DETAIL
- MB MAILBOX TO FUTURE DETAIL
- R 240L RECYCLING BIN
- SK SKYLIGHT
- HWU HOT WATER UNITS

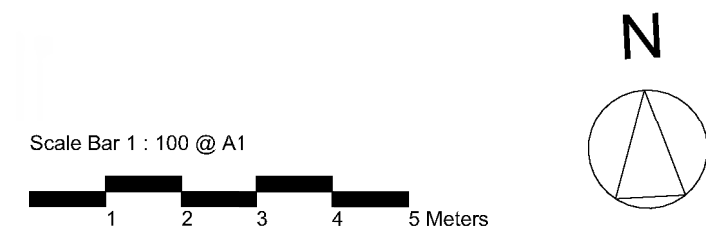
MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING
- LV ALUMINIUM ELLIPTICAL FIXED LOUVERS
- AW AWNING (TO FUTURE DETAIL)
- CONC CONCRETE
- FB FACE BRICK
- GB FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL)
- MC METAL CLADDING
- MF METAL FENCING (TO FUTURE DETAIL)
- PC COMPOSITE PANEL CLADDING
- PSK PRIVACY SCREEN (TO FUTURE DETAIL)
- PFK PAINT FINISH TYPE K
- RD ROLLER DOOR
- RP RIVER PEBBLES
- RW RENDERED FINISH/SELECTED PAINT FINISH
- ST STONE
- SC STONE CLADDING
- TC TIMBER CLADDING
- VB EXTERNAL VENETIAN BLINDS

PLAN LEGEND

- OUTLINE OF DA APPROVED ENVELOPE
- TREES TO BE RETAINED
- TREES TO BE REMOVED
- TREE PROTECTION ZONE (TPZ)
- STRUCTURAL ROOT ZONE (SRZ)

Issue	Date	Description
01	15/08/2023	FINAL DRAFT
02	18/08/2023	AMENDED PLANS
03	13/12/2024	ISSUE FOR S4.55 APPLICATION



CLIENT:

VERGOME PTY LTD



P : 02 9698 8140  
E : info@pbdarchitects.com.au  
W : pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Sunny Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Bujovic NSW 7768

PROJECT:

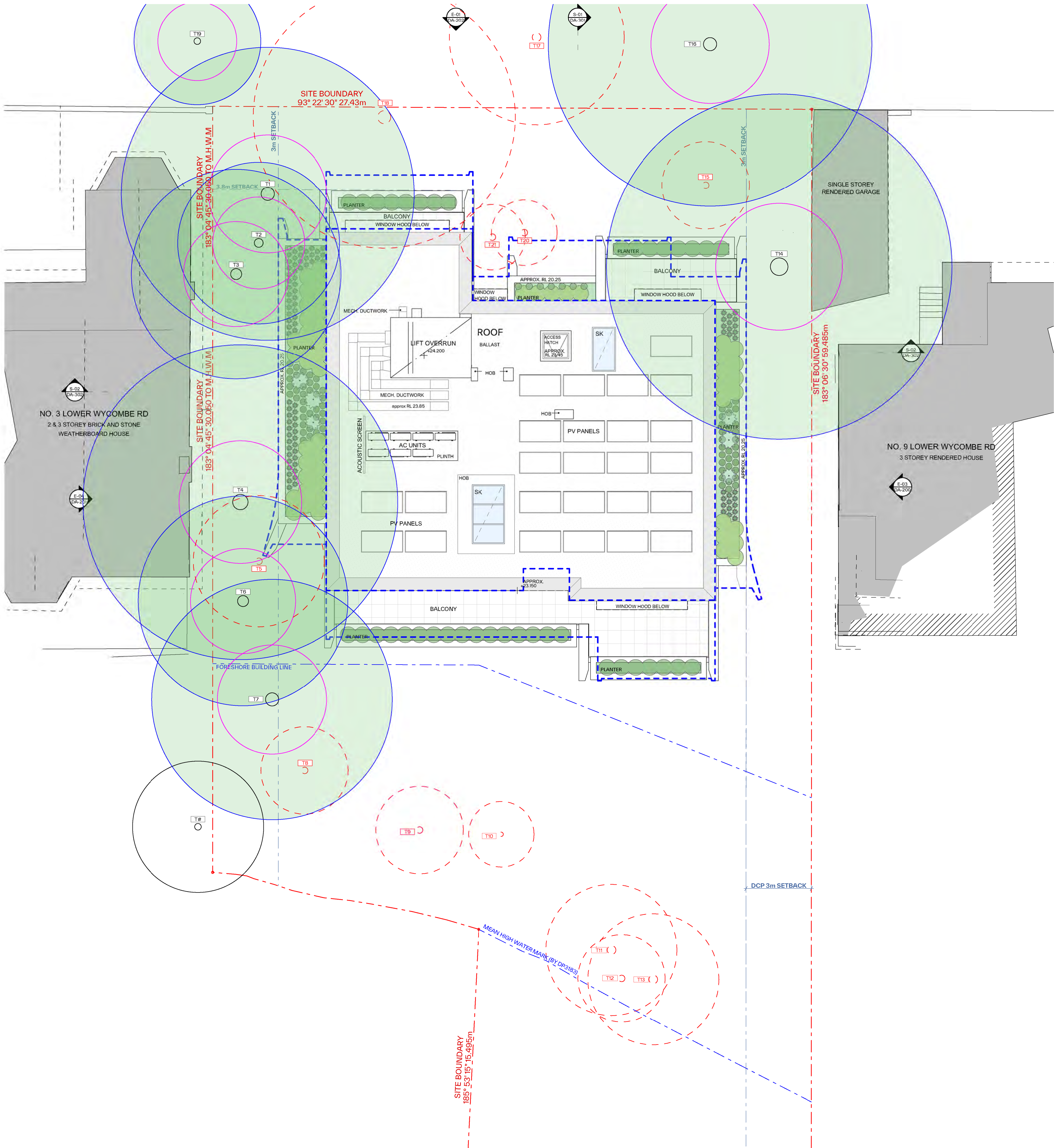
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

DRAWING TITLE:

ROOF PLAN

DRAWING BY:	CHECKED BY:	DATE:
SCALE:	DRAWING NO:	ISSUE:
1:100, 1:100A1	DA-108	03
PROJECT NO:		
2225		

FOR S4.55(2) APPLICATION







FB1 FACE BRICK D1  
BROWNWORKS - TERRA ROLLED VTS - SAN SELMO CORSO OR  
SIN



MC1 ZINC  
VIA ZINC - PIMENTO GREY - INTERLOCKED PANEL OR SIM.



PF1 EXTERNAL CLADDING  
PAINT: FRESH DIAL TO AGF.



FB4 FACE BRICK D4  
BROWNWORKS - TERRA ROLLED SLB - SAN SELMO CORSO ARNO OR SIM.



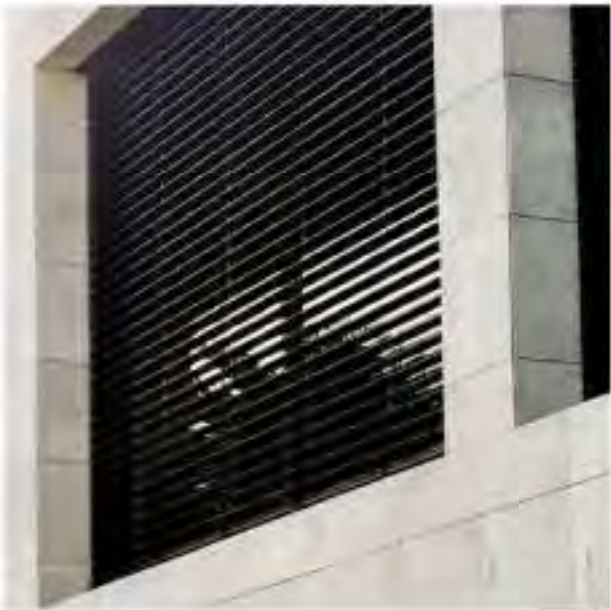
ST SANDSTONE



AFG ALUMINIUM FRAMED GLAZING



MF METAL FENCE



PS PRIVACY SCREENS  
FIXED ANGLED HORIZONTAL LOUVRE PROFILE  
PRIVACY SCREEN



ST5 CRAZY PAVE STONE  
NATURAL STONE OR EQUIVALENT FINISH



GB GLASS BALUSTRADE



SC STONE CLADDING

#### PROPOSED MODIFICATIONS BY LEVELS:

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- Proposed sectional removal and reconstruction of existing Seawall

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- General update to services and stair layout adjusted to the retention design
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- General update to interior layout.
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- Repositioning of proposed hydrant boost/bin holding as per Condition A2(d) with associated landscaping amendments to suit.

##### 5. Level 1:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Amendment to northern facade with an adjusted balcony extent.
- Additional southern balcony access off unit L1:02 Dining and adjustments to planters generally.
- Proposed planting over garage structure at level 1.

##### 6. Level 2:

- General update to interior layout.
- Minor adjustments to facade glazing locations including removal of West facing glazing off-living areas.
- Amendment to northern facade and adjusted balcony extent.
- Nominated adaptable unit to Level 2.

##### 7. Roof:

- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
- Proposed increase of lift overrun by 200mm (RL 24.20).
- Proposed increase of parapet level to RL 23.15.

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- Updated facade finishes generally including adjustments to Southern façade.
- General glazing update along the façades.

#### GENERAL NOTES:

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#### LEGEND:

AW	AWNING
AH	ACCESS HATCH
AC	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
HV	HIGHLIGHT WINDOW
MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAILBOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
HWU	HOT WATER UNITS

#### MATERIALS LEGEND:

AFG	ALUMINIUM FRAMED GLAZING
LV	ALUMINIUM ELLIPTICAL FIXED LOUVERS
AW	AWNING (TO FUTURE DETAIL)
CONC	CONCRETE
FB	FACE BRICK
GB	FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL)
MC	METAL CLADDING
MF	METAL FENCING (TO FUTURE DETAIL)
PC	COMPOSITE PANEL CLADDING
PSK	PRIVACY SCREEN (TO FUTURE DETAIL)
PPX	PAINT FINISH TYPEX
RD	ROLLER DOOR
RP	RIVER PEBBLES
RW	RENDERED FINISH/SELECTED PAINT FINISH
ST	STONE
SC	STONE CLADDING
TC	TIMBER CLADDING
VB	EXTERNAL VENETIAN BLINDS

Issue	Date	Description
01	5/05/2023	ISSUE FOR DEVELOPMENT APPLICATION
02	22/08/2023	AMENDED PLANS
03	13/12/2024	ISSUE FOR S4.55 APPLICATION

Scale Bar 1 : 100 @ A1

1 2 3 4 5 Meters

N



CLIENT:

VERGOME PTY LTD

**pbd**  
architects

P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Sunny Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Bujovic NSW 7768

PROJECT:

PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

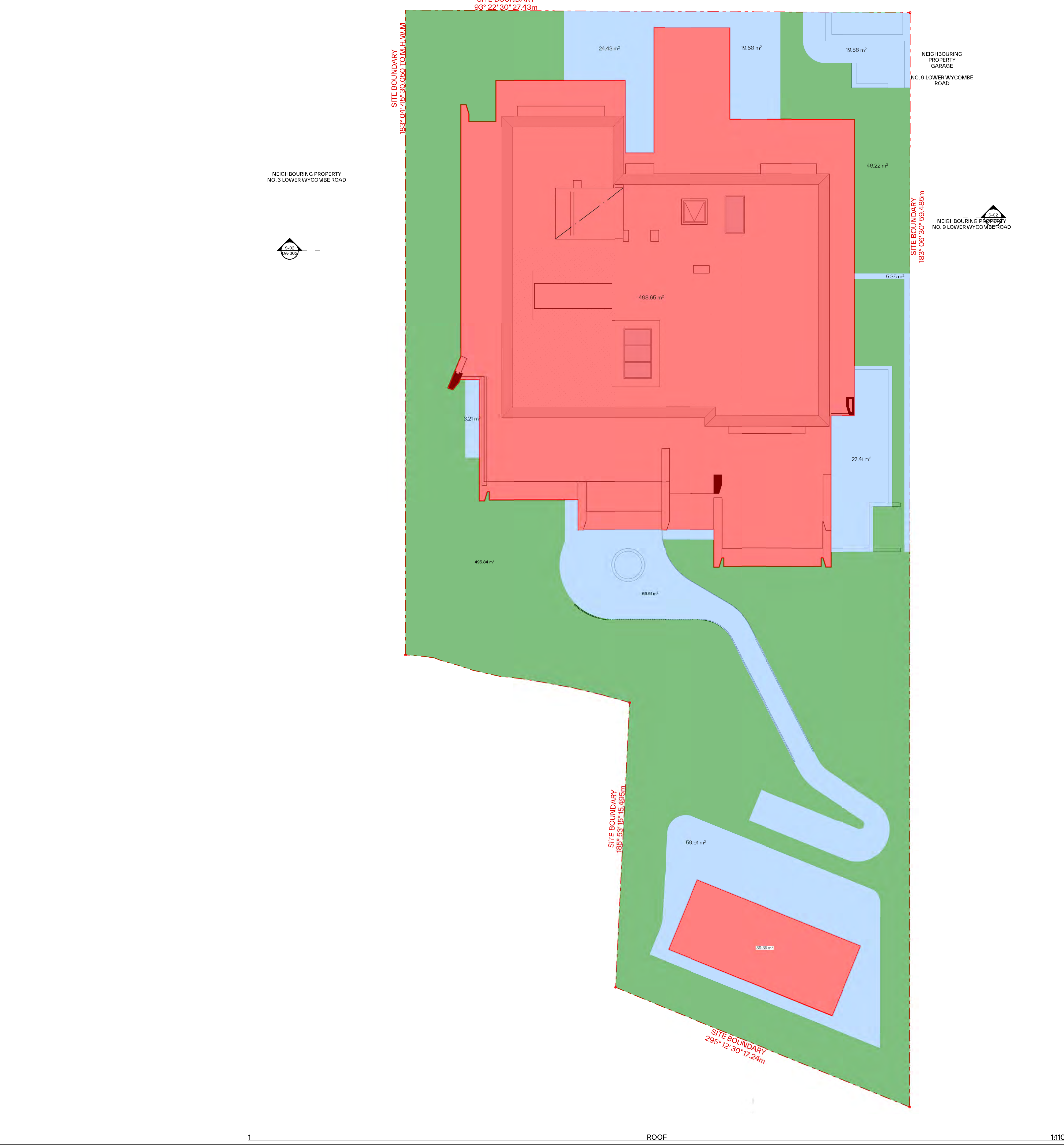
DRAWING TITLE:

**SCHEDULE OF MATERIALS**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: @A1	DRAWING NO: <b>DA-400</b>	ISSUE: <b>03</b>
PROJECT NO: 2225		

FOR S4.55(2) APPLICATION





PROPOSED MODIFICATIONS BY LEVELS:

- 1. Basement 2 & 1:**
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- General update to interior layout.
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  - Repositioning of proposed hydrant boost/bin holding as per Condition A2(d) with associated landscaping amendments to suit.
- 5. Level 1:**
- General update to interior layout.
  - Minor adjustments to façade glazing locations.
  - Amendment to northern façade with an adjusted balcony extent.
  - Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
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- General update to interior layout.
  - Minor adjustments to façade glazing locations including removal of West facing glazing off-living areas.
  - Amendment to northern façade and adjusted balcony extent.
  - Nominated adaptable unit to Level 2.
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- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
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LEGEND:

- AW AWNING  
AH ACCESS HATCH  
AC A/C CONDENSER UNITS  
FH FIRE HYDRANT  
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HW HIGHLIGHT WINDOW  
MV MECHANICAL RISER TO FUTURE DETAIL  
MB MAILBOX TO FUTURE DETAIL  
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MATERIALS LEGEND:

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PC COMPOSITE PANEL CLADDING  
PSX PRIVACY SCREEN (TO FUTURE DETAIL)  
PFx PAINT FINISH TYPEX  
RD ROLLER DOOR  
RP RIVER PEBBLES  
RW RENDERED FINISH/SELECTED PAINT FINISH  
ST STONE  
SC STONE CLADDING  
TC TIMBER CLADDING  
VB EXTERNAL VENETIAN BLINDS

PROPERTY DETAILS

AREA: 1,306 m<sup>2</sup>  
ZONE: R3 MEDIUM DENSITY RESIDENTIAL

LANDSCAPED AREA SUMMARY

MINIMUM LANDSAPED AREA (m<sup>2</sup>) = 522m<sup>2</sup>  
MINIMUM LANDSCAPED AREA % = 40% (NSDCP2013)

LANDSCAPED AREA PROPOSED = 542m<sup>2</sup>  
LANDSCAPED AREA % PROPOSED = 41.5%

UN-BUILT UPON AREA SUMMARY

MAXIMUM UN-BUILT UPON AREA % = 15% (NSDCP2013)  
MAXIMUM UN-BUILT UPON AREA (m<sup>2</sup>) = 196m<sup>2</sup>

UN-BUILT UPON AREA PROPOSED = 226m<sup>2</sup>  
UN-BUILT UPON AREA % PROPOSED = 17.3%

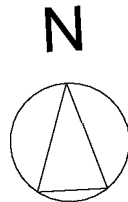
SITE COVERAGE SUMMARY

MAXIMUM SITE COVERAGE % = 45% (NSDCP2013)  
MAXIMUM SITE COVERAGE (m<sup>2</sup>) = 588m<sup>2</sup>

PROPOSED SITE COVERAGE = 538m<sup>2</sup>  
PROPOSED SITE COVERAGE % = 41.2%

Issue	Date	Description
01	5/05/2023	ISSUE FOR DEVELOPMENT APPLICATION
02	21/08/2023	AMENDED PLANS
03	13/12/2024	ISSUE FOR S4.55 APPLICATION

Scale Bar 1 : 100 @ A1



CLIENT:

VERGOME PTY LTD



P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Sunny Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Buljavec NSW 7798

PROJECT:

PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

DRAWING TITLE:

LANDSCAPE DIAGRAM

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:110@A1	DRAWING NO: DA-601	ISSUE: 03
PROJECT NO: 2225		

FOR S4.55(2) APPLICATION



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LEGEND:

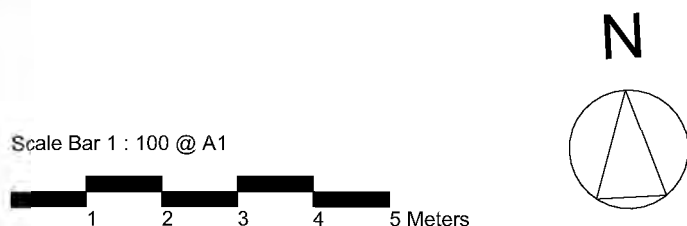
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MATERIALS LEGEND:

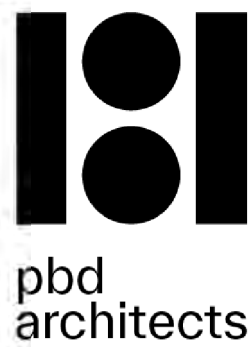
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PFK PAINT FINISH TYPE K  
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RW RENDERED FINISH/SELECTED PAINT FINISH  
ST STONE  
SC STONE CLADDING  
TC TIMBER CLADDING  
VB EXTERNAL VENETIAN BLINDS

- LEGEND  
APPROVED DA OVERSHADOWING  
ADDITIONAL OVERSHADOWING CAUSED BY PROPOSAL  
PROPERTY DETAILS  
AREA: 1306 Sq.m.  
ZONE: R3 MEDIUM DENSITY RESIDENTIAL

Issue	Date	Description
01	5/05/2023	ISSUE FOR DEVELOPMENT APPLICATION
03	21/07/2023	REVISED DESIGN IN RESPONSE TO COUNCIL FEEDBACK
04	18/08/2023	AMENDED PLANS
05	21/08/2023	AMENDED PLANS
06	13/12/2024	ISSUE FOR S4.55 APPLICATION



CLIENT:  
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P - 02 9698 8140  
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Nominated Architect:  
Paul Bujovic NSW 7798

PROJECT:  
**PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089**

DRAWING TITLE:  
**SHADOW DIAGRAM 9AM  
JUNE**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:200@A1	DRAWING NO: <b>DA-612</b>	ISSUE: <b>06</b>
PROJECT NO: 2225		

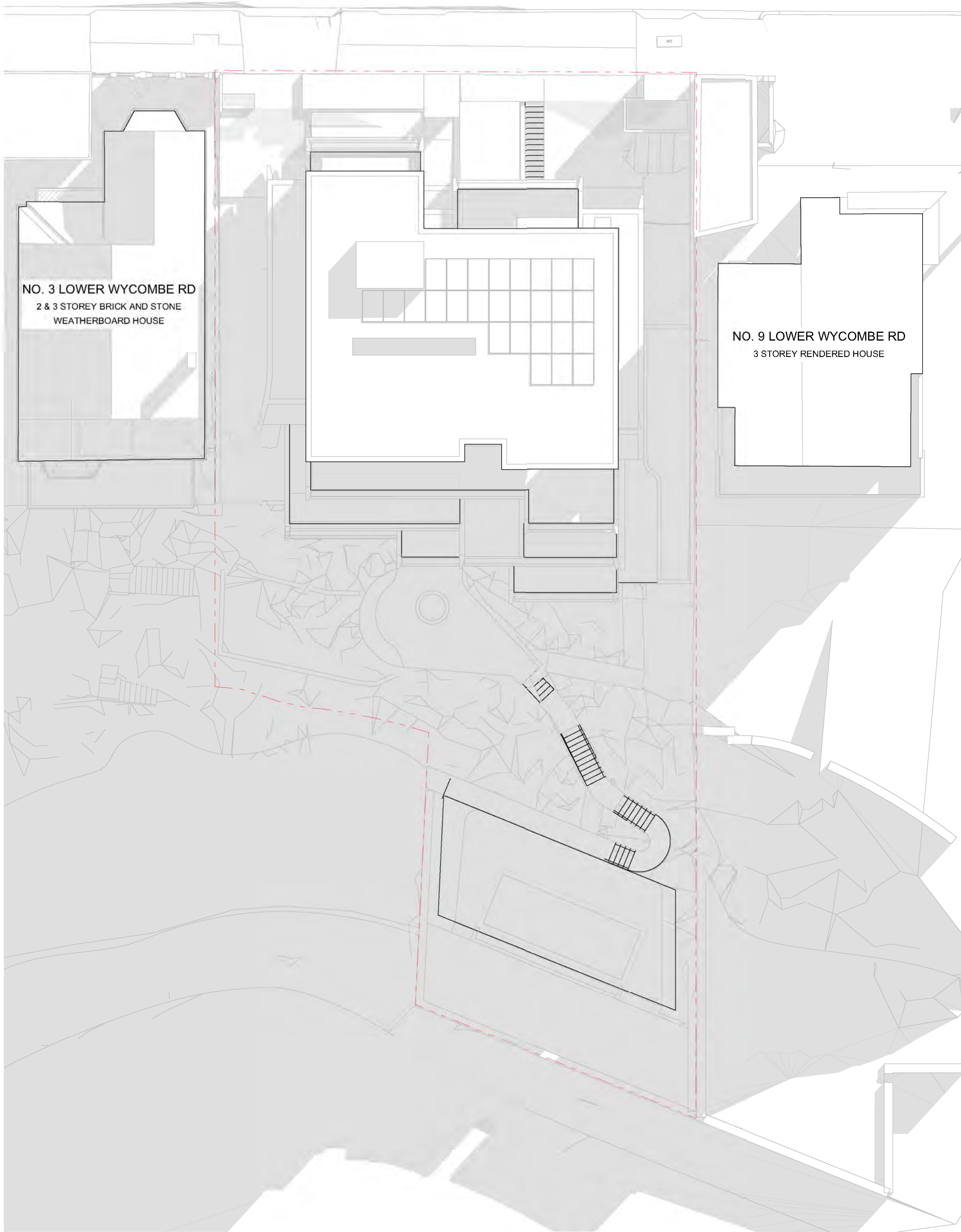
LOWER WYCOMBE ROAD



Shadow Study 21 June at 0900h (Proposed)

1:200

LOWER WYCOMBE ROAD



Shadow Study 21 June at 0900h (Approved DA)

1:200

FOR S4.55(2) APPLICATION



PROPOSED MODIFICATIONS BY LEVELS:

- 1. Basement 2 & 1:**
- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
  - Proposed updated basement design floor levels to:  
Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level  
Basement 1: RL 6.90 (approved RL7.10)
  - Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
  - Updated external area at Communal Open Space.
  - Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree 7.
- 2. Foreshore:**
- Proposed removal of trees 11 & 13 and updated landscape design.
  - Repositioning of proposed pool and associated landscaping.
  - Revised foreshore access stair and pool equipment enclosure.
  - Proposed sectional removal and reconstruction of existing Seawall
- 3. Lower Ground:**
- General update to interior layout (revised nominated adaptable unit)
  - General update to services and stair layout adjusted to the retention design
  - Minor adjustments to glazing locations.
  - Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
  - Proposed extended balcony width off Living area to provide an adequate and usable private open space.
  - Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.
- 4. Ground Floor:**
- General update to interior layout.
  - Minor adjustments to facade glazing locations.
  - Proposed extended GF.01 balcony width off Living area to provide an adequate and usable private open space.
  - Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
  - Repositioning of proposed hydrant boost/ bin holding as per Condition A2(d) with associated landscaping amendments to suit.
- 5. Level 1:**
- General update to interior layout.
  - Minor adjustments to facade glazing locations.
  - Amendment to northern facade with an adjusted balcony extent.
  - Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
  - Proposed planting over garage structure at level 1.
- 6. Level 2:**
- General update to interior layout.
  - Minor adjustments to facade glazing locations including removal of West facing glazing off living areas.
  - Amendment to northern facade and adjusted balcony extent.
  - Nominated adaptable unit to Level 2.
- 7. Roof:**
- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
  - Proposed increase of lift overrun by 200mm (RL 24.20).
  - Proposed increase of parapet level to RL 23.15.
- 8. Façade:**
- Updated façade finishes generally including adjustments to Southern façade.
  - General glazing update along the façades.

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- DRAWINGS FOR THE PURPOSES OF DA ONLY (NOT FOR CONSTRUCTION) - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANTS' DRAWINGS, SPECIFICATIONS & REPORTS
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

LEGEND:

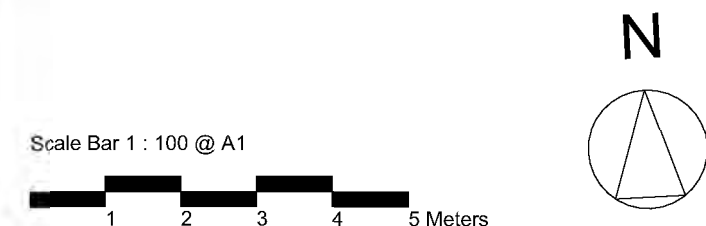
- AW AWNING  
AH ACCESS HATCH  
AC A/C CONDENSER UNITS  
FH FIRE HYDRANT  
FHR FIRE HOSE REEL  
FS FIRE STAIRS  
GC GARBAGE CHUTE  
HW HIGHLIGHT WINDOW  
MV MECHANICAL RISER TO FUTURE DETAIL  
MB MAIL BOX TO FUTURE DETAIL  
R 240L RECYCLING BIN  
SK SKYLIGHT  
HWJ HOT WATER UNITS

MATERIALS LEGEND:

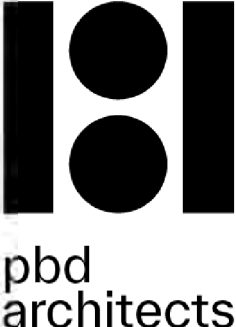
- AFG ALUMINIUM FRAMED GLAZING  
LV ALUMINIUM ELLIPTICAL FIXED LOUVERS  
AW AWNING (TO FUTURE DETAIL)  
CONC CONCRETE  
FB FACE BRICK  
GB FRAMELESS TOUCHENED GLASS BALUSTRADE (TO FUTURE DETAIL)  
MC METAL CLADDING  
MF METAL FENCING (TO FUTURE DETAIL)  
PC COMPOSITE PANEL CLADDING  
PSX PRIVACY SCREEN (TO FUTURE DETAIL)  
PFx PAINT FINISH TYPE X  
RD ROLLER DOOR  
RP RIVER PEBBLES  
RW RENDERED FINISH/SELECTED PAINT FINISH  
ST STONE  
SC STONE CLADDING  
TC TIMBER CLADDING  
VB EXTERNAL VENETIAN BLINDS

- LEGEND  
APPROVED DA OVERSHADOWING  
ADDITIONAL OVERSHADOWING CAUSED BY PROPOSAL  
PROPERTY DETAILS  
AREA: 1306 Sq.m.  
ZONE: R3 MEDIUM DENSITY RESIDENTIAL

Issue	Date	Description
01	5/05/2023	ISSUE FOR DEVELOPMENT APPLICATION
03	21/07/2023	REVISED DESIGN IN RESPONSE TO COUNCIL FEEDBACK
04	18/08/2023	AMENDED PLANS
05	21/08/2023	AMENDED PLANS
06	13/12/2024	ISSUE FOR S4.55 APPLICATION



CLIENT:  
**VERGOME PTY LTD**



**pbd**  
architects

P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Sunny Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Buljovic NSW 7798

PROJECT:  
**PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089**

DRAWING TITLE:  
**SHADOW DIAGRAM 12PM  
JUNE**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:200@A1	DRAWING NO: <b>DA-613</b>	ISSUE: <b>06</b>
PROJECT NO: 2225		



FOR S4.55(2) APPLICATION



PROPOSED MODIFICATIONS BY LEVELS:

- 1. Basement 2 & 1:**
- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout; etc.
  - Proposed updated basement design floor levels to:
    - Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level
    - Basement 1: RL 6.90 (approved RL7.10)
  - Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
  - Updated external area at Communal Open Space.
  - Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree 7.
- 2. Foreshore:**
- Proposed removal of trees 11 & 13 and updated landscape design.
  - Repositioning of proposed pool and associated landscaping.
  - Revised foreshore access stair and pool equipment enclosure.
  - Proposed sectional removal and reconstruction of existing Seawall
- 3. Lower Ground:**
- General update to interior layout (revised nominated adaptable unit)
  - General update to services and stair layout adjusted to the retention design
  - Minor adjustments to glazing locations.
  - Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
  - Proposed extended balcony width off Living area to provide an adequate and usable private open space.
  - Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.
- 4. Ground Floor:**
- General update to interior layout.
  - Minor adjustments to façade glazing locations.
  - Proposed extended GF.01 balcony width off Living area to provide an adequate and usable private open space.
  - Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
  - Repositioning of proposed hydrant boost/ bin holding as per Condition A2(d) with associated landscaping amendments to suit.
- 5. Level 1:**
- General update to interior layout.
  - Minor adjustments to façade glazing locations.
  - Amendment to northern façade with an adjusted balcony extent.
  - Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
  - Proposed planting over garage structure at level 1.
- 6. Level 2:**
- General update to interior layout.
  - Minor adjustments to façade glazing locations including removal of West facing glazing off-living areas.
  - Amendment to northern façade and adjusted balcony extent.
  - Nominated adaptable unit to Level 2.
- 7. Roof:**
- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
  - Proposed increase of lift overrun by 200mm (RL 24.20).
  - Proposed increase of parapet level to RL 23.15.
- 8. Façade:**
- Updated façade finishes generally including adjustments to Southern façade.
  - General glazing update along the façades.

GENERAL NOTES:

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LEGEND:

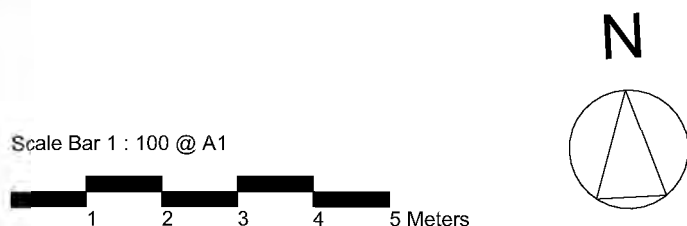
- AW AWNING  
AH ACCESS HATCH  
AC A/C CONDENSER UNITS  
FH FIRE HYDRANT  
FHR FIRE HOSE REEL  
FS FIRE STAIRS  
GC GARBAGE CHUTE  
HW HIGHLIGHT WINDOW  
MV MECHANICAL RISER TO FUTURE DETAIL  
MB MAIL BOX TO FUTURE DETAIL  
R 240L RECYCLING BIN  
SK SKYLIGHT  
HWJ HOT WATER UNITS

MATERIALS LEGEND:

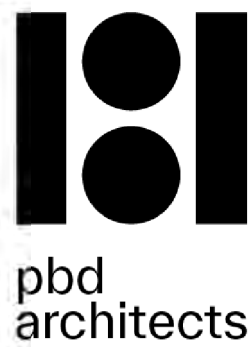
- AFG ALUMINIUM FRAMED GLAZING  
LV ALUMINIUM ELLIPTICAL FIXED LOUVERS  
AW AWNING (TO FUTURE DETAIL)  
CONC CONCRETE  
FB FACE BRICK  
GB FRAMELESS TOUCHENED GLASS BALUSTRADE (TO FUTURE DETAIL)  
MC METAL CLADDING  
MF METAL FENCING (TO FUTURE DETAIL)  
PC COMPOSITE PANEL CLADDING  
PSX PRIVACY SCREEN (TO FUTURE DETAIL)  
PFx PAINT FINISH TYPE X  
RD ROLLER DOOR  
RP RIVER PEBBLES  
RW RENDERED FINISH/SELECTED PAINT FINISH  
ST STONE  
SC STONE CLADDING  
TC TIMBER CLADDING  
VB EXTERNAL VENETIAN BLINDS

- LEGEND  
APPROVED DA OVERSHADOWING  
ADDITIONAL OVERSHADOWING CAUSED BY PROPOSAL  
PROPERTY DETAILS  
AREA: 1306 Sq.m.  
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05	21/08/2023	AMENDED PLANS
06	13/12/2024	ISSUE FOR S4.55 APPLICATION



CLIENT:  
**VERGOME PTY LTD**



P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Sunny Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Bujovic NSW 7798

PROJECT:  
**PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089**

DRAWING TITLE:  
**SHADOW DIAGRAM 3PM  
JUNE**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:200@A1	DRAWING NO: <b>DA-614</b>	ISSUE: <b>06</b>
PROJECT NO: 2225		

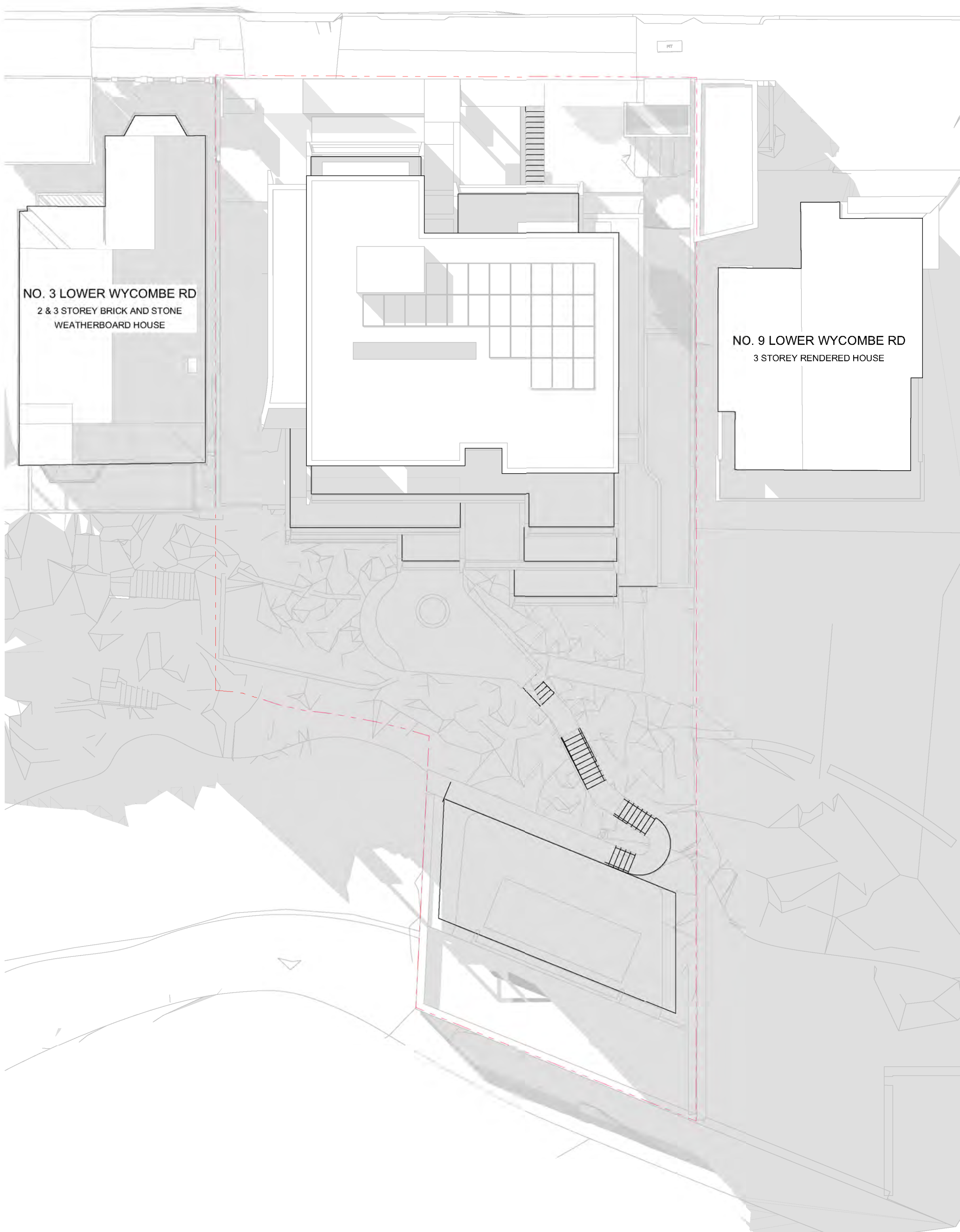
LOWER WYCOMBE ROAD



Shadow Study 21 June at 1500h (Proposed)

1:200

LOWER WYCOMBE ROAD

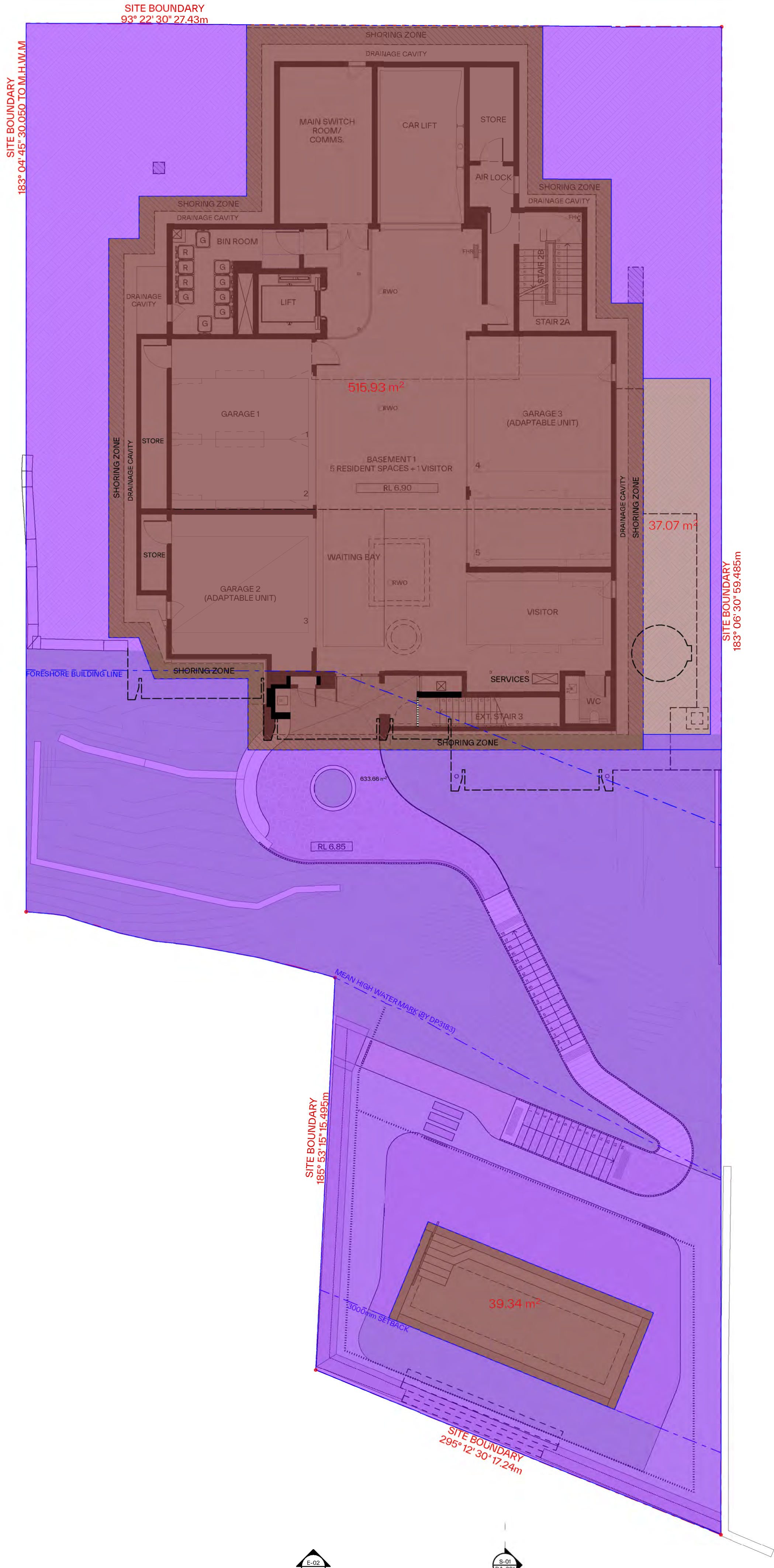


Shadow Study 21 June at 1500h (Approved DA)

1:200

FOR S4.55(2) APPLICATION





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LEGEND:

- AW AWNING  
AH ACCESS HATCH  
AC A/C CONDENSER UNITS  
FH FIRE HYDRANT  
FHR FIRE HOSE REEL  
FS FIRE STAIRS  
GC GARBAGE CHUTE  
HW HIGHLIGHT WINDOW  
MV MECHANICAL RISER TO FUTURE DETAIL  
MB MAIL BOX TO FUTURE DETAIL  
R 240L RECYCLING BIN  
SK SKYLIGHT  
HWJ HOT WATER UNITS

MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING  
LV ALUMINIUM ELLIPTICAL FIXED LOUVERS  
AW AWNING (TO FUTURE DETAIL)  
CONC CONCRETE  
FB FACE BRICK  
GB FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL)  
MC METAL CLADDING  
MF METAL FENCING (TO FUTURE DETAIL)  
PC COMPOSITE PANEL CLADDING  
PSX PRIVACY SCREEN (TO FUTURE DETAIL)  
PFX PAINT FINISH TYPEX  
RD ROLLER DOOR  
RP RIVER PEBBLES  
RW RENDERED FINISH/SELECTED PAINT FINISH  
ST STONE  
SC STONE CLADDING  
TC TIMBER CLADDING  
VB EXTERNAL VENETIAN BLINDS

PROPERTY DETAILS

AREA: 1,306 m²  
ZONE: R3 MEDIUM DENSITY RESIDENTIAL

EXCAVATION AREA SUMMARY

MAXIMUM EXCAVATION AREA (m²) = 916m²  
MAXIMUM EXCAVATION AREA % = 70% (NSDCP2013)

EXCAVATION AREA PROPOSED = 600m2  
EXCAVATION AREA PROPOSED % = 46%

CLIENT:

VERGOME PTY LTD



P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Sunny Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Buljovic NSW 7798

PROJECT:  
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

DRAWING TITLE:  
**EXCAVATION DIAGRAM**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:110@A1	DRAWING NO: <b>DA-619</b>	ISSUE: <b>01</b>
PROJECT NO: 2225		

FOR S4.55(2) APPLICATION



GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA/RELEVANT STATE/ TERRITORY
- ALL RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT STATE/ TERRITORY
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- COPY/RIGHT OF DESIGN SHOWN HEREIN IS RETAINED BY PBD ARCHITECTS
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- CONSULTANTS WILL BE REQUIRED



**MATERIALS LEGEND:**

- |      |  |
|------|--|
| AFG  | ALUMINUM FRAMED GLAZING                                  |
| ALU  | ALUMINUM EXTERNAL FIXED LOUVERS                          |
| AW   | AWNING (TO FUTURE DETAIL)                                |
| CONC | CONCRETE   |
| FB   | FACE BRICK   |
| GB   | FRAMELESS TOUCHED-UP GLASS BALUSTRADE (TO FUTURE DETAIL) |
| MC   | METAL CLADDING   |
| MF   | METAL FINISH (TO FUTURE DETAIL)                          |
| PC   | COMPOSITE PANEL CLADDING                                 |
| PSX  | PRIVACY SCREEN (TO FUTURE DETAIL)                        |
| PFX  | PAINT FINISH TYPE*                                       |
| RD   | ROLLER DOOR  |
| RP   | RIVER PEBBLES  |
| RW   | RENDERED FINISH/SELECTED PAINT FINISH                    |
| ST   | STONE  |
| SC   | STONE CLADDING   |
| TC   | TIMBER CLADDING  |
| VB   | EXTERNAL VENETIAN BLINDS                                 |

Scale Bar 1 : 100 @ A1

1 2 3 4 5 Meters

N



P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au

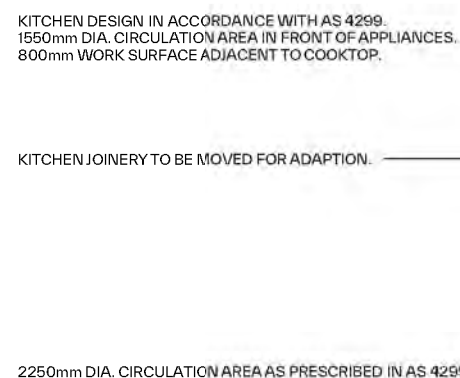
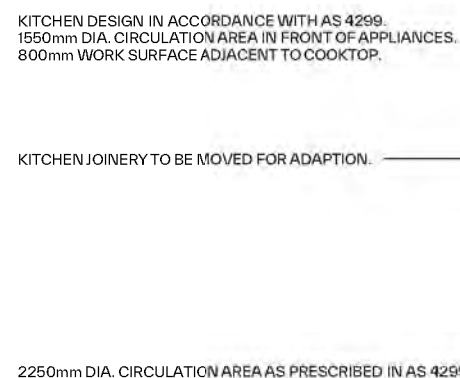
Level 2, 52 Albion Street,  
Surry Hills NSW 2010

ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevic NSW 7768

DRAWING TITLE:

**ADAPTABLE UNIT LAYOUT -  
LOWER GROUND**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:100@A1	DRAWING NO: <b>DA-620</b>	ISSUE: <b>03</b>
PROJECT NO: 2225		





## GENERAL NOTES:

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AW	AWNING
AH	ACCESS HATCH
AC	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHS	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
HW	HIGHLIGHT WINDOW
MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAILBOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
HWU	HOT WATER UNITS

AFG	ALUMINIUM FRAMED GLAZING
LV	ALUMINIUM EXTERNAL FIXED LOUVERS
AW	AWNING (TO FUTURE DETAIL)
CONC	CONCRETE
CB	FACE BRICK
GB	GRAVELLESS TOUCHED-ON GLASS BALUSTRADE (TO FUTURE DETAIL)
MC	METAL CLADDING
MF	METAL FINISH (TO FUTURE DETAIL)
PC	COMPOSITE PANEL CLADDING
PSK	PRIVACY SCREEN (TO FUTURE DETAIL)
PFK	PAINT FINISH TYPEX
RD	ROLLER DOOR
R	RIVER PEBBLES
RW	RENDERED FINISH/SELECTED PAINT FINISH
ST	STONE
SC	STONE CLADDING
TC	TIMBER CLADDING
VB	EXTERNAL VENETIAN BLINDS

Scale Bar 1 : 100 @ A1

1 2 3 4 5 Meters

N



**P** - 02 9969 8140  
**E** - info@pbdarchitects.com.au  
**W** - pbdarchitects.com.au

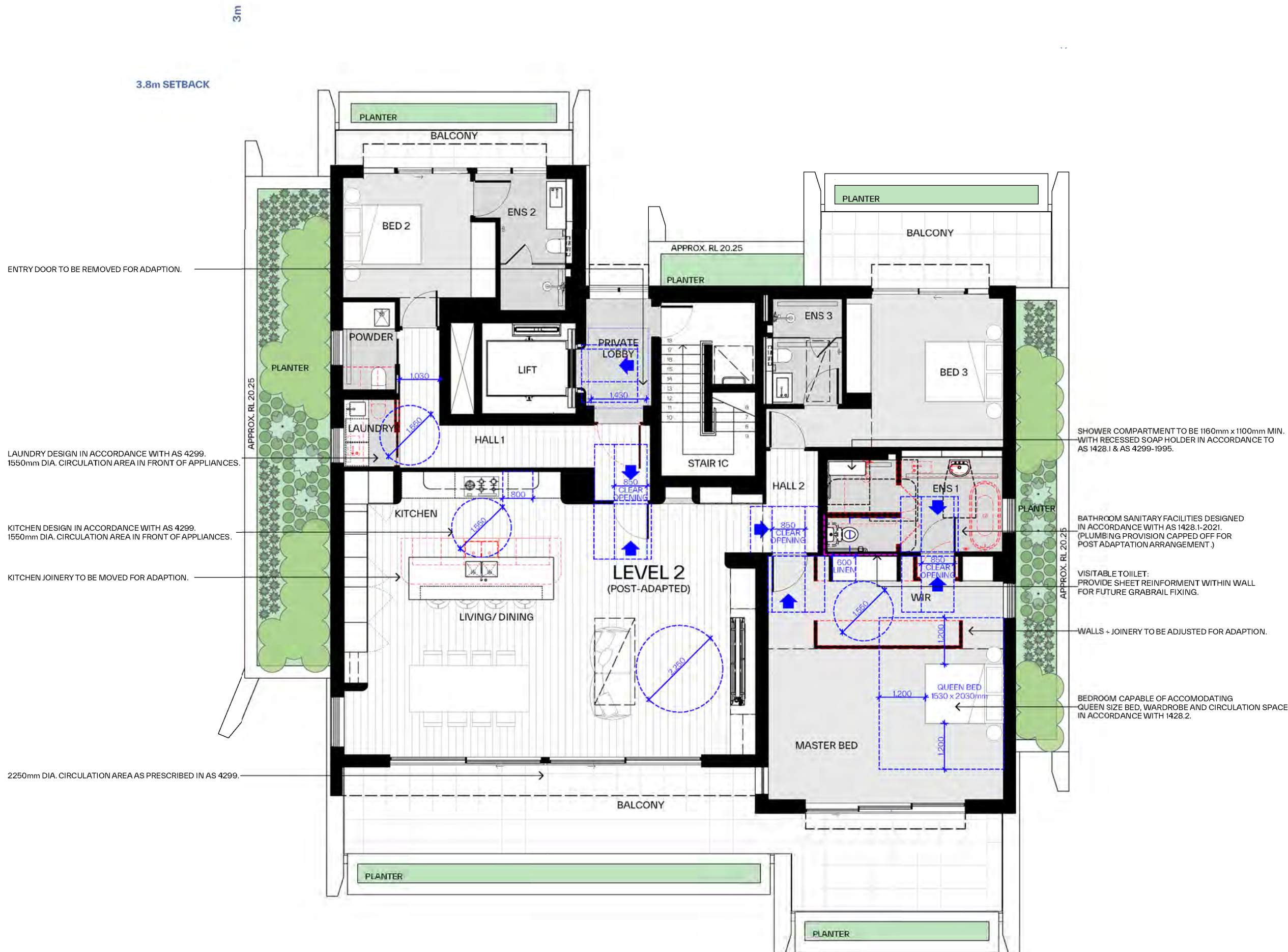
Level 2, 52 Albion Street,  
 Surry Hills NSW 2010

ABN 36 147 035 550  
 Nominated Architect:  
 Paul Buljivic NSW 7768

DRAWING TITLE:

**ADAPTABLE UNIT LAYOUT -  
LEVEL 2**

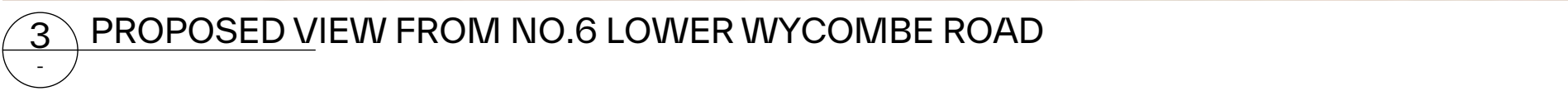
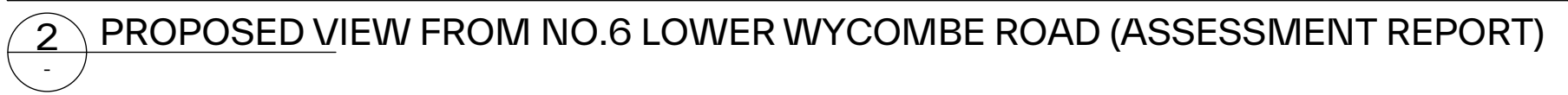
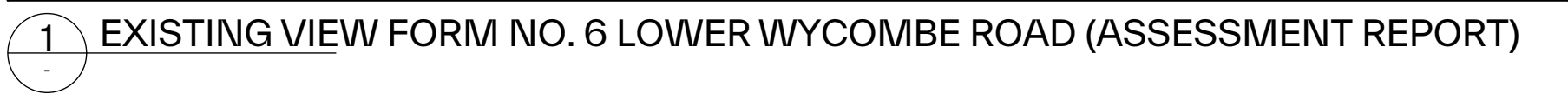
DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:100@A1	DRAWING NO:	ISSUE:
PROJECT NO: 2225	<b>DA-621</b>	<b>01</b>



2	LEVEL 2 - Post Adaptive	1:100
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FOR S4.55(2) APPLICATION





GENERAL NOTES:

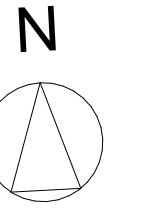
- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT REGULATORY BODIES.  
DRAWINGS FOR THE PURPOSES OF DA ONLY (NOT FOR CONSTRUCTION) - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS.  
CONSULTANT WILL COORDINATE WITH CONSULTANTS FOR SERVICES, DRAWINGS, SPECIFICATIONS & REPORTS.  
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SCHEDULES SUPPORT CONCEPTS ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

AW	AWNING
AH	ACCESS HATCH
AC	A/C CONDENSER UNITS
CF	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
HW	HIGHLIGHT WINDOW
MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAILBOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
HWU	HOT WATER UNITS

AFG	ALUMINIUM FRAMED GLAZING
LV	ALUMINIUM ELLIPTICAL FIXED LOUVERS
RW	AWNING (TO FUTURE DETAIL)
CONC	CONCRETE
FB	FACE BRICK
GB	FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL)
MC	METAL CLADDING
NMF	METAL FINISH (TO FUTURE DETAIL)
PC	COMPOSITE PANEL CLADDING
PSK	PRIVACY SCREEN (TO FUTURE DETAIL)
Pfx	PAINT FINISH TYPEX
RD	ROLLER DOOR
RP	RIVER PEBBLES
RW	RENDERED FINISH/SELECTED PAINT FINISH
ST	STONE
SC	STONE CLADDING
TC	TIMBER CLADDING
VB	EXTERNAL VENETIAN BLINDS

[illegible]

A horizontal number line is shown, starting at 0 and ending at 5 Meters. The line is divided into four equal segments by tick marks at 1, 2, 3, and 4. The segments are colored alternately: the first segment (0 to 1) is black, the second (1 to 2) is white, the third (2 to 3) is black, and the fourth (3 to 4) is white. The label '5 Meters' is placed at the end of the line.

**VERGOME PTY LTD**

P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au

Level 2, 52 Albion Street,  
Surry Hills NSW 2010

ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevic NSW 7768

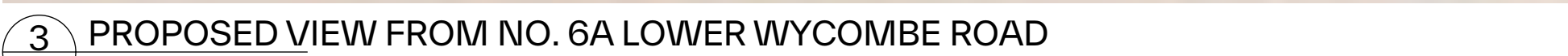
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

## VIEW ANALYSIS NO.6 LOWER WYCOMBE RD

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: NTS	DRAWING NO:	ISSUE:
PROJECT NO: 2225	<b>DA-700</b>	<b>05</b>

FOR S4.55(2) APPLICATION



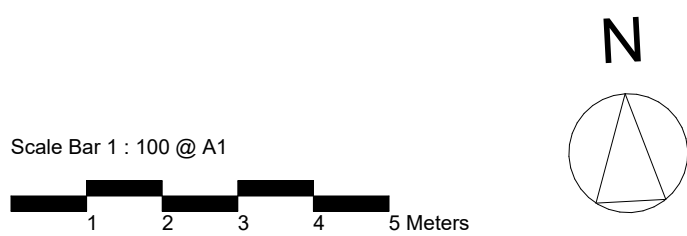


GENERAL NOTES:

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- DRAWINGS FOR THIS PROJECT DO NOT [NOT FOR CONSTRUCTION] – THEREFORE CONSULTANT AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH CONSULTANTS DRAWINGS SPECIFIC TO THIS PROJECT
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

AW	AWNING
AH	ACCESS HATCH
AC	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
HW	HIGHLIGHT WINDOW
MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAIL BOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
HWU	HOT WATER UNITS

AFG	ALUMINIUM FRAMED GLAZING
LV	ALUMINIUM ELLIPTICAL FIXED LOUVERS
AW	AWNING (TO FUTURE DETAIL)
CONC	CONCRETE
CB	FACE BRICK
MB	FRAMELESS TOUCHED-UP GLASS BALUSTRADE (TO FUTURE DETAIL)
GC	METAL CLADDING
MF	METAL FENCING (TO FUTURE DETAIL)
PC	COMPOSITE PANEL CLADDING
PSX	PRIVACY SCREEN (TO FUTURE DETAIL)
Pfx	PAINT FINISH TYPEX
RD	ROLLER DOOR
RP	RIVER PEBBLES
RW	RENDERED FINISH/SELECTED PAINT FINISH
ST	STONE
SC	STONE CLADDING
TC	TIMBER CLADDING
VB	EXTERNAL VENETIAN BLINDS

[illegible]

CLIENT:  
**VERGOME PTY LTD**



P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au

Level 2, 52 Albion Street,  
Surry Hills NSW 2010

ABN 36 147 035 550  
Nominated Architect:  
Paul Bulevic NSW 7768

PROJECT:  
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

DRAWING TITLE:

**VIEW ANALYSIS NO.6A**  
**LOWER WYCOMBE RD**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: NTS	DRAWING NO: <b>DA-701</b>	ISSUE: <b>05</b>
PROJECT NO: 2225		

FOR S4.55(2) APPLICATION





1 EXISTING VIEW FROM NO. 8 LOWER WYCOMBE ROAD (ASSESSMENT REPORT)



2 PROPOSED VIEW FROM NO. 8 LOWER WYCOMBE ROAD (ASSESSMENT REPORT)



3 PROPOSED VIEW FROM NO. 8 LOWER WYCOMBE ROAD

PROPOSED MODIFICATIONS BY LEVELS:

- 1. Basement 2 & 1:**
- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
  - Proposed updated basement design floor levels to:  
Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level  
Basement 1: RL 6.90 (approved RL7.10)
  - Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
  - Updated external area at Communal Open Space.
  - Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree 7.
- 2. Foreshore:**
- Proposed removal of trees 11 & 13 and updated landscape design.
  - Repositioning of proposed pool and associated landscaping.
  - Revised foreshore access stair and pool equipment enclosure.
  - Proposed sectional removal and reconstruction of existing Seawall
- 3. Lower Ground:**
- General update to interior layout (revised nominated adaptable unit)
  - General update to services and stair layout adjusted to the retention design
  - Minor adjustments to glazing locations.
  - Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
  - Proposed extended balcony width off Living area to provide an adequate and usable private open space.
  - Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.
- 4. Ground Floor:**
- General update to interior layout.
  - Minor adjustments to facade glazing locations.
  - Proposed extended GF.01 balcony width off Living area to provide an adequate and usable private open space.
  - Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
  - Repositioning of proposed hydrant boost/ bin holding as per Condition A2(d) with associated landscaping amendments to suit.
- 5. Level 1:**
- General update to interior layout.
  - Minor adjustments to facade glazing locations.
  - Amendment to northern facade with an adjusted balcony extent.
  - Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
  - Proposed planting over garage structure at level 1.
- 6. Level 2:**
- General update to interior layout.
  - Minor adjustments to facade glazing locations including removal of West facing glazing off-living areas.
  - Amendment to northern facade and adjusted balcony extent.
  - Nominated adaptable unit to Level 2.
- 7. Roof:**
- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
  - Proposed increase of lift overrun by 200mm (RL 24.20).
  - Proposed increase of parapet level to RL 23.15.
- 8. Façade:**
- Updated façade finishes generally including adjustments to Southern façade.
  - General glazing update along the façades.

GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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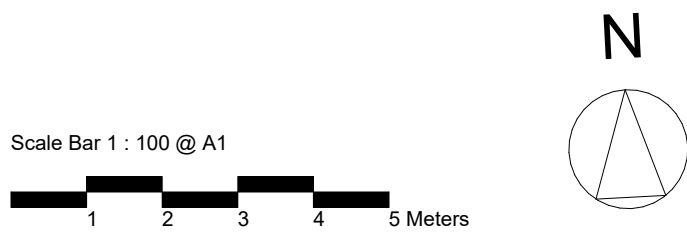
LEGEND:

- AW AWNING
- AH ACCESS HATCH
- AC A/C CONDENSER UNITS
- FH FIRE HYDRANT
- FHR FIRE HOSE REEL
- FS FIRE STAIRS
- GC GARBAGE CHUTE
- HW HIGHLIGHT WINDOW
- MV MECHANICAL RISER TO FUTURE DETAIL
- MB MAIL BOX TO FUTURE DETAIL
- R 240L RECYCLING BIN
- SK SKYLIGHT
- HWU HOT WATER UNITS

MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING
- LV ALUMINIUM ELLIPTICAL FIXED LOUVERS
- AW AWNING (TO FUTURE DETAIL)
- CONC CONCRETE
- FB FACE BRICK
- GB FRAMELESS TOUCHENED GLASS BALUSTRADE (TO FUTURE DETAIL)
- MC METAL CLADDING
- MF METAL FENCING (TO FUTURE DETAIL)
- PC COMPOSITE PANEL CLADDING
- PSK PRIVACY SCREEN (TO FUTURE DETAIL)
- PFK PAINT FINISH TYPE K
- RD ROLLER DOOR
- RP RIVER PEBBLES
- RW RENDERED FINISH/SELECTED PAINT FINISH
- ST STONE
- SC STONE CLADDING
- TC TIMBER CLADDING
- VB EXTERNAL VENETIAN BLINDS

Issue	Date	Description
02	19/06/2023	ISSUE FOR DEVELOPMENT APPLICATION
03	21/07/2023	REVISED DESIGN IN RESPONSE TO COUNCIL FEEDBACK
04	23/09/2023	AMENDED PLANS
05	13/12/2024	ISSUE FOR S4.55 APPLICATION



CLIENT:  
**VERGOME PTY LTD**



P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Surry Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevic NSW 7768

PROJECT:  
**PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089**

DRAWING TITLE:  
**VIEW ANALYSIS NO.8 LOWER  
WYCOMBE RD**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: NTS	DRAWING NO: <b>DA-702</b>	ISSUE: <b>05</b>
PROJECT NO: 2225		

FOR S4.55(2) APPLICATION



## PROPOSED MODIFICATIONS BY LEVELS:

## 1. Basement 2 &amp; 1:

- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout; etc.
- Proposed updated basement design floor levels to:
  - Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level
  - Basement 1: RL 6.90 (approved RL7.10)
- Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
- Updated external area at Communal Open Space.
- Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree 7.

## 2. Foreshore:

- Proposed removal of trees 11 & 13 and updated landscape design.
- Repositioning of proposed pool and associated landscaping.
- Revised foreshore access stair and pool equipment enclosure.
- Proposed sectional removal and reconstruction of existing Seawall

## 3. Lower Ground:

- General update to interior layout (revised nominated adaptable unit)
- General update to services and stair layout adjusted to the retention design
- Minor adjustments to glazing locations.
- Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
- Proposed extended balcony width off Living area to provide an adequate and usable private open space.
- Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.

## 4. Ground Floor:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Proposed extended GF.01 balcony width off Living area to provide an adequate and usable private open space.
- Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
- Repositioning of proposed hydrant boost/ bin holding as per Condition A2(d) with associated landscaping amendments to suit.

## 5. Level 1:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Amendment to northern facade with an adjusted balcony extent.
- Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
- Proposed planting over garage structure at level 1.

## 6. Level 2:

- General update to interior layout.
- Minor adjustments to facade glazing locations including removal of West facing glazing off living areas.
- Amendment to northern facade and adjusted balcony extent.
- Nominated adaptable unit to Level 2.

## 7. Roof:

- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
- Proposed increase of lift overrun by 200mm (RL 24.20).
- Proposed increase of parapet level to RL 23.15.

## 8. Facade:

- Updated facade finishes generally including adjustments to Southern facade.
- General glazing update along the facades.

## GENERAL NOTES:

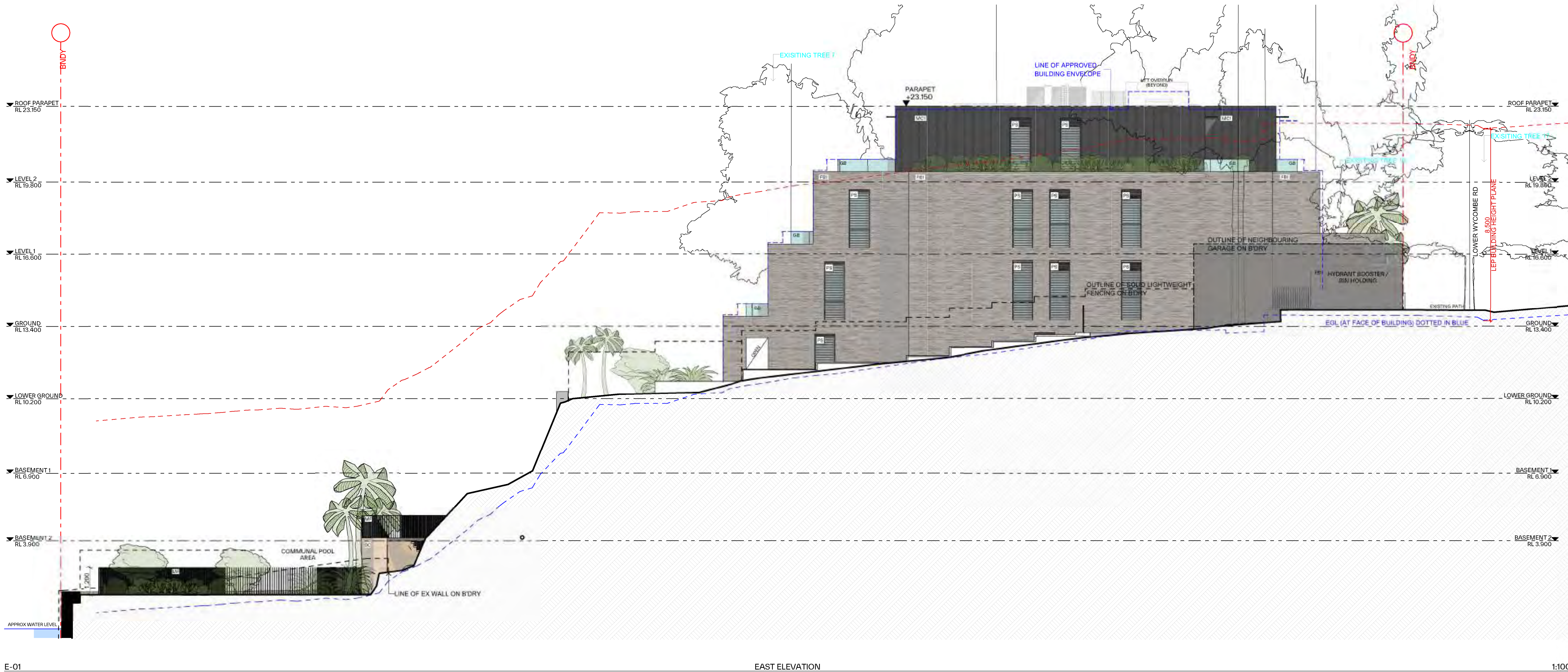
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## LEGEND:

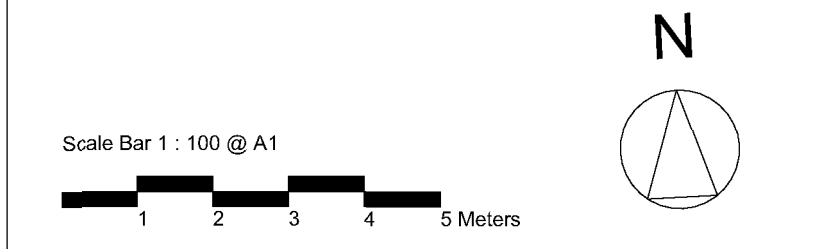
AW	AWNING
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MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAIL BOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
HWU	HOT WATER UNITS

## MATERIALS LEGEND:


AFG	ALUMINIUM FRAMED GLAZING
LV	ALUMINIUM ELLIPTICAL FIXED LOUVERS
AW	AWNING (TO FUTURE DETAIL)
CONC	CONCRETE
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PC	COMPOSITE PANEL CLADDING
PSX	PRIVACY SCREEN (TO FUTURE DETAIL)
PSX	PAINT FINISH TYPEX
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RW	RENDERED FINISH/SELECTED PAINT FINISH
ST	STONE
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Issue	Date	Description
01	05/05/2023	ISSUE FOR DEVELOPEMENT APPLICATION
03	21/07/2023	REVISED DESIGN IN RESPONSE TO COUNCIL FEEDBACK
04	15/08/2023	FINAL DRAFT
05	18/08/2023	AMENDED PLANS
06	13/12/2024	ISSUE FOR S4.55 APPLICATION



CLIENT:  
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**pbd**  
architects

P : 02 9698 8140  
E : info@pbdarchitects.com.au  
W : pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Sunny Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Bujovic NSW 7798

PROJECT:  
**PROPOSED RESIDENTIAL FLAT BUILDING**  
**5-7 LOWER WYCOMBE ROAD, NEUTRAL**  
**BAY NSW 2089**

DRAWING TITLE:  
**EAST ELEVATION**

DRAWING BY:	CHECKED BY:	DATE: <b>13/12/2024</b>
SCALE: 1:100@A1	DRAWING NO.: <b>DA-200</b>	ISSUE: <b>06</b>
PROJECT NO.: 2225		

FOR S4.55(2) APPLICATION



PROPOSED MODIFICATIONS BY LEVELS:

- 1. Basement 2 & 1:**
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  - Proposed planting over garage structure at level 1.
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GENERAL NOTES:

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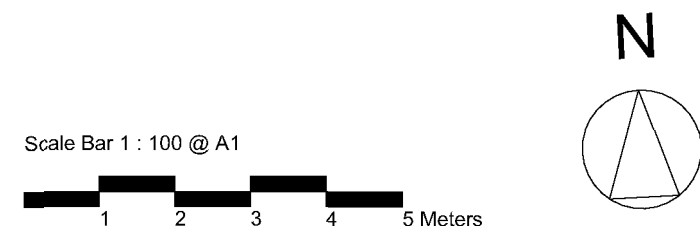
LEGEND:

- AW AWNING  
AH ACCESS HATCH  
AC A/C CONDENSER UNITS  
FH FIRE HYDRANT  
FHR FIRE HOSE REEL  
FS FIRE STAIRS  
GC GARBAGE CHUTE  
HW HIGHLIGHT WINDOW  
MV MECHANICAL RISER TO FUTURE DETAIL  
MB MAIL BOX TO FUTURE DETAIL  
R 240L RECYCLING BIN  
SK SKYLIGHT  
HWJ HOT WATER UNITS

MATERIALS LEGEND:

- AFG ALUMINIUM FRAMED GLAZING  
LV ALUMINIUM ELLIPTICAL FIXED LOUVERS  
AWW AWNING (TO FUTURE DETAIL)  
CONC CONCRETE  
FB FACE BRICK  
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Issue	Date	Description
01	05/05/2023	ISSUE FOR DEVELOPMENT APPLICATION
03	21/07/2023	REVISED DESIGN IN RESPONSE TO COUNCIL FEEDBACK
04	15/08/2023	FINAL DRAFT
05	18/08/2023	AMENDED PLANS
06	13/12/2024	ISSUE FOR S4.55 APPLICATION



CLIENT:  
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P - 02 9698 8140  
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W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
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ABN 36 147 035 550  
Nominated Architect:  
Paul Buljovic NSW 7798

PROJECT:  
**PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089**

DRAWING TITLE:  
**WEST ELEVATION**

DRAWING BY:	CHECKED BY:	DATE: <b>13/12/2024</b>
SCALE: <b>1:100@A1</b>	DRAWING NO: <b>DA-201</b>	ISSUE: <b>06</b>
PROJECT NO: 2225		

FOR S4.55(2) APPLICATION



**1. Basement 2 & 1:**

- GENERAL NOTES:

LEGEND:

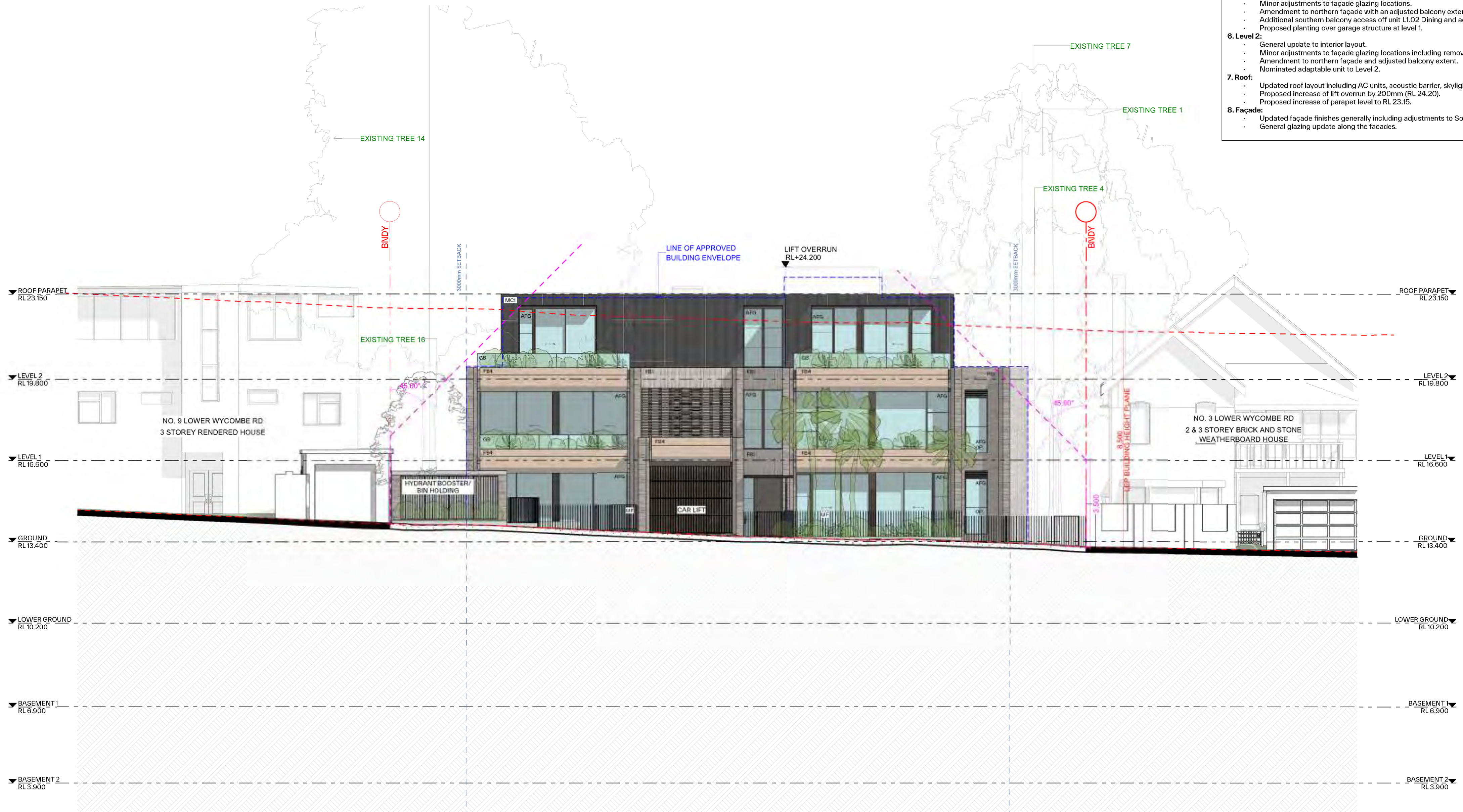
**MATERIALS LEGEND:**

[illegible]

DRAWING TITLE:

**NORTH ELEVATION**

FOR S4.55(2) APPLICATION





GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATE/TERITORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT REGULATIONS.
- DRAWINGS FOR THE PURPOSES OF DA ONLY (NOT FOR CONSTRUCTION)
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- AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY - FUTURE ALLOWANCE FOR VERTICAL SEPARATION OF STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED.

MATERIALS LEGEND:

- |     |  |
|-----|--|
| AFV | ALUMINUM FRAMED GLAZING                                  |
| ALF | ALUMINUM ELLIPTICAL GLAZ (LOWERS                         |
| AWN | AWNINGS (TO FUTURE DETAIL)                               |
| CON | CONCRETE   |
| FB  | FACE BRICK   |
| GB  | FRAMELESS TOUCHED-UP GLASS BALUSTRADE (TO FUTURE DETAIL) |
| MC  | METAL CLADDING   |
| MF  | METAL FENCING (TO FUTURE DETAIL)                         |
| PC  | COMPOSITE PANEL CLADDING                                 |
| PCF | PRIVACY SCREEN (TO FUTURE DETAIL)                        |
| PF  | PAINT FINISH TYPE X                                      |
| RD  | ROLLER DOOR  |
| RP  | RIVER REBBLES  |
| RW  | RENDERED FINISH/SELECTED PAINT FINISH                    |
| ST  | STONE  |
| SC  | STONE CLADDING   |
| TC  | TIMBER CLADDING  |
| VB  | EXTERNAL VENETIAN BLINDS                                 |

CLIENT: **VERGOME PTY LTD**

**P** - 02 9698 8140  
**E** - info@pbdarchitects.com.au  
**W** - pbdarchitects.com.au

Level 2, 52 Albion Street,  
 Sunny Hills NSW 2010

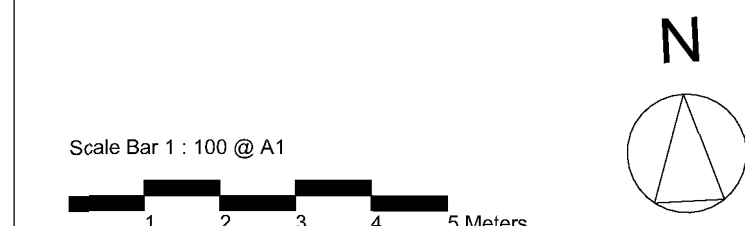
ABN 36 147 035 550  
 Nominated Architect:  
 Paul Buljevic NSW 7768

PROJECT:  
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAYNSW 2089

DRAWING TITLE:

**SOUTH ELEVATION**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:100@A1	DRAWING NO:	ISSUE:
PROJECT NO: 2225	<b>DA-203</b>	<b>06</b>



FOR S4.55(2) APPLICATION



## PROPOSED MODIFICATIONS BY LEVELS:

## 1. Basement 2 &amp; 1:

- General update to basement layout to include garage-style parking, revised bicycle parking, services, storage areas and stair layout etc.
- Proposed updated basement design floor levels to:
  - Basement 2: RL 3.90 (approved RL4.20) with RL 3.83 at the lowest drainage level
  - Basement 1: RL 6.90 (approved RL7.10)
- Consolidated shoring extent to re-align consistently from B2 to Lower Ground generally, and to include perimeter drainage that is accessible, for maintenance purposes.
- Updated external area at Communal Open Space.
- Proposed partial removal and reconstruction of existing retaining wall adjacent to Tree 7.

## 2. Foreshore:

- Proposed removal of trees 11 & 13 and updated landscape design.
- Repositioning of proposed pool and associated landscaping.
- Revised foreshore access stair and pool equipment enclosure.
- Proposed sectional removal and reconstruction of existing Seawall

## 3. Lower Ground:

- General update to interior layout (revised nominated adaptable unit)
- General update to services and stair layout adjusted to the retention design
- Minor adjustments to glazing locations.
- Consistent serviceable drainage cavity at northern perimeter of proposal with access panels for maintenance only.
- Proposed extended balcony width off Living area to provide an adequate and usable private open space.
- Additional in-ground private plunge pool at Southeastern location of terrace, acoustically treated/ sound-proof equipment box and associated landscaping amendments.

## 4. Ground Floor:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Proposed extended GF.01 balcony width off Living area to provide an adequate and usable private open space.
- Proposed amendment to include an enclosed garage structure over the vehicular lift platform for aims to maintain and provide a quality engineered product of the nominated vehicular lift system.
- Repositioning of proposed hydrant boost/bin holding as per Condition A2(d) with associated landscaping amendments to suit.

## 5. Level 1:

- General update to interior layout.
- Minor adjustments to facade glazing locations.
- Amendment to northern facade with an adjusted balcony extent.
- Additional southern balcony access off unit L1.02 Dining and adjustments to planters generally.
- Proposed planting over garage structure at level 1.

## 6. Level 2:

- General update to interior layout.
- Minor adjustments to facade glazing locations including removal of West facing glazing off living areas.
- Amendment to northern facade and adjusted balcony extent.
- Nominated adaptable unit to Level 2.

## 7. Roof:

- Updated roof layout including AC units, acoustic barrier, skylight locations and other services such as PV panels.
- Proposed increase of lift overrun by 200mm (RL 24.20).
- Proposed increase of parapet level to RL 23.15.

## 8. Façade:

- Updated facade finishes generally including adjustments to Southern facade.
- General glazing update along the facades.

## GENERAL NOTES:

- ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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## LEGEND:

AW	AWNING
AH	ACCESS HATCH
AC	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
HW	HIGHLIGHT WINDOW
MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAIL BOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
HWU	HOT WATER UNITS

## MATERIALS LEGEND:

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LV	ALUMINIUM ELLIPTICAL FIXED LOUVERS
AW	AWNING (TO FUTURE DETAIL)
CONC	CONCRETE
FB	FACE BRICK
GB	FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL)
MC	METAL CLADDING
MF	METAL FENCING (TO FUTURE DETAIL)
PC	COMPOSITE PANEL CLADDING
PSK	PRIVACY SCREEN (TO FUTURE DETAIL)
PSF	PAINT FINISH TYPEX
RD	ROLLER DOOR
RP	RIVER PEBBLES
RW	RENDERED FINISH/SELECTED PAINT FINISH
ST	STONE
SC	STONE CLADDING
TC	TIMBER CLADDING
VB	EXTERNAL VENETIAN BLINDS

## SECTION LEGEND

- OUTLINE OF DA APPROVED ENVELOPE

Issue	Date	Description
01	05/05/2023	ISSUE FOR DEVELOPMENT APPLICATION
02	21/07/2023	REVISED DESIGN IN RESPONSE TO COUNCIL FEEDBACK
03	15/08/2023	FINAL DRAFT
04	18/08/2023	AMENDED PLANS
05	13/12/2024	ISSUE FOR S4.55 APPLICATION

## CLIENT:

VERGOME PTY LTD



P - 02 9698 8140  
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Sunny Hills NSW 2010  
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Nominated Architect:  
Paul Buljovic NSW 7798

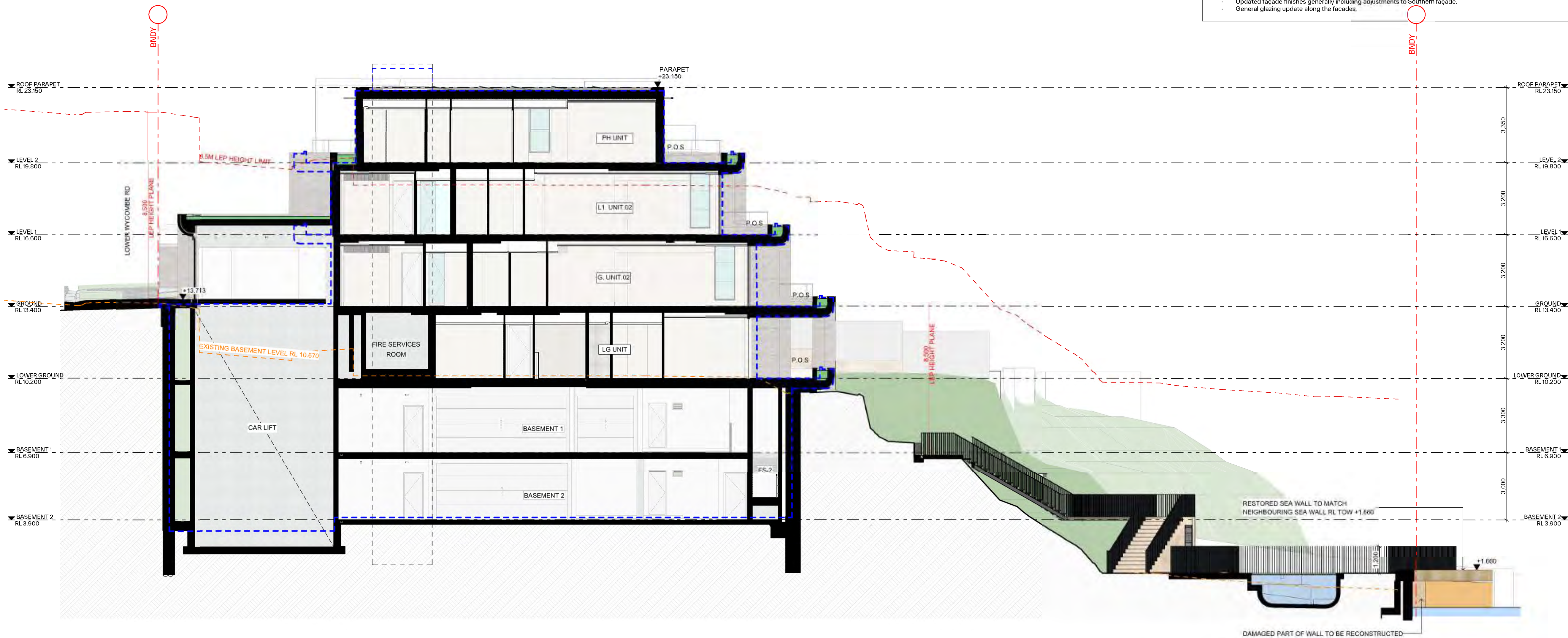
PROJECT:  
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

## DRAWING TITLE:

SECTION A

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:100, 1:1@A1	DRAWING NO.: DA-301	ISSUE: 06
PROJECT NO.: 2225		

FOR S4.55(2) APPLICATION



1 SECTION A  
1:100



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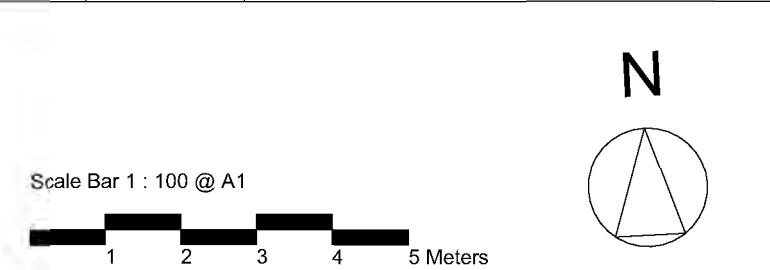
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## CLIENT:

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P - 02 9698 8140  
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W - pbdarchitects.com.au  
Level 2, 52 Albion Street,  
Sunny Hills NSW 2010  
ABN 36 147 035 550  
Nominated Architect:  
Paul Bujovic NSW 7798

PROJECT:  
PROPOSED RESIDENTIAL FLAT BUILDING  
5-7 LOWER WYCOMBE ROAD, NEUTRAL  
BAY NSW 2089

## DRAWING TITLE:

SECTION B

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:100, 1:100 @ A1	DRAWING NO.: DA-302	ISSUE: 06
PROJECT NO.: 2225		

FOR S4.55(2) APPLICATION



LANDSCAPE DEVELOPMENT APPLICATION PLANS

5 - 7 LOWER WYCOMBE ROAD, NEUTRAL BAY, NSW 2089

COUNCIL REQUIREMENTS - NORTH SYDNEY COUNCIL DEVELOPMENT APPLICATION

THE LANDSCAPE PLAN IS IN GENERAL ACCORDANCE WITH COUNCIL PLANNING CONTROLS:

- NORTH SYDNEY LEP (NORTH SYDNEY LOCAL ENVIRONMENTAL PLAN 2013)
- NORTH SYDNEY DCP (NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013)

PART A - GENERAL REQUIREMENTS,  
PART B - SECTION 1 - RESIDENTIAL DEVELOPMENT,  
PART B - SECTION 16 - TREE AND VEGETATION MANAGEMENT

- STATE ENVIRONMENTAL PLANNING POLICY NO. 65 - DESIGN QUALITY FOR RESIDENTIAL APARTMENT DEVELOPMENT
- NSW PLANNING AND ENVIRONMENT - APARTMENT DESIGN GUIDE (2015)

CONTROLS

SITE AREA: 1306 m²

LANDSCAPE AREA REQUIRED  
40% OF THE SITE AREA = 522 m²

LANDSCAPE AREA ACHIEVED  
542 m² (41.5%)

ARBORICULTURAL ASSESSMENT - REFER TO ARBORICULTURAL ASSESSMENT AS REQUIRED

LANDSCAPE INSTALLATION SPECIFICATION

TREE REMOVAL

- Tree surgery, pruning or tree removal works are to be overseen by a qualified arborist, if specified by arborists report.
- Tree protection to be installed for trees to be retained as per arborist / council's specifications.

TREES TO BE RETAINED

- Refer to arborist report for recommended tree protection.

PLANTER BEDS

- Soil for plantings over slab or contained areas. Minimum soil depths for planting on any slab:
- Large trees: Min 1200mm excluding 75mm mulch
- Medium trees: Min 1000mm excluding 75mm mulch
- Small trees: Min 800mm excluding 75mm mulch
- Shrubs: Min 500-600mm excluding 75mm mulch
- Groundcovers: Min 300-450mm excluding 75mm mulch
- Turf: Min 200mm
- Suitable drainage implemented through use of ag lines, drainage flow cell and geotech fabric.
- Soil to be ANL Planter Box Mix, or equivalent. Blend of soil, coarse sand, graded ash, nepean sand, composted sawdust, botany humus and composted pine bark.
- Soil to be between 20-50mm below top of retaining wall height, to allow for dropping.

TURFING

- Turf to be laid on minimum 100mm turf underlay.
- Turf underlay to be ANL Sand / Soil Blend, or equivalent.
- Turf to be Sir Walter Buffalo (Registered PBR), supplied by President Turf, or equivalent.

MULCHING

- Place mulch to minimum depth of 75mm, clear of plant stems, and rake to an even surface flush with the surrounding finished levels and consistent in depth.
- Trees in lawn areas to have 750mm diameter of mulch surrounding.
- Mulch for general garden areas, pots, and planters to be Australian Native Landscapes (ANL) Greenlife Mulch and Compost, or equivalent.

TREE PLANTING

- Excavate holes in accordance with dimension of container. The depth of the holes is to be equivalent to the container height plus 100mm and the width of the hole is to be twice that of the container.
- Locate tree to centre of hole and backfill with soil. Firm about root ball.
- All plant material, 45 Litres or over, to be staked.

IRRIGATION

- Automated irrigation system to be implemented. Reputable irrigation brands are to be sourced.
- Use drip lines with emitters at 300mm spacing's for all garden beds.
- Use pop-up spray heads for all lawn areas. Pop-up spray heads are to be spaced according to product specification.
- Conceal irrigation below the mulch layer in planting areas and 150mm below the surface of turf areas. Conceal all components including pipework, fittings, valves, and control equipment.

EXISTING TREE SCHEDULE						
TREE NO.	GENUS SPECIES	COMMON NAME	HEIGHT	CANOPY	CALLIPER	ACTION/COMMENT
E01	Corymbia citriodora	Lemon Scented Gum	20000	16000	560	Retain
E02	Corymbia citriodora	Lemon Scented Gum	15000	7000	310	Retain
E03	Melaleuca quinquenervia	Broad-leaved Paperbark	10000	7000	400	Retain
E04	Corymbia citriodora	Lemon Scented Gum	20000	16000	600	Retain
E05	Corymbia citriodora	Lemon Scented Gum	9000	2000	140	Remove
E06	Corymbia citriodora	Lemon Scented Gum	18000	12000	400	Retain
E07	Casuarina cunninghamiana	River She Oak	15000	7000	460	Retain
E08	Casuarina cunninghamiana	River She Oak	5000	4000	150	Remove
E09	Acacia implexa	Hickory Wattle	5000	3000	200	Remove
E10	Casuarina cunninghamiana	River She Oak	5000	3000	120	Remove
E11	Casuarina cunninghamiana	River She Oak	7000	7000	270	Remove
E12	Casuarina cunninghamiana	River She Oak	5000	6000	160	Remove
E13	Casuarina cunninghamiana	River She Oak	7000	8000	320	Remove
E14	Corymbia citriodora	Lemon Scented Gum	18000	18000	660	Retain
E15	Tristaniopsis laurina	Water Gum	6000	5000	130	Remove
E16	Tristaniopsis laurina	Water Gum	8000	12000	620	Retain
E17	Sapium sebifera	Chinese Tallowood	8000	9000	320	Remove
E18	Melaleuca quinquenervia	River She Oak	10000	9000	500	Remove
E19	Sapium sebifera	Chinese Tallowood	5000	5000	240	Retain
E20	Melaleuca quinquenervia	River She Oak	9000	2000	90	Remove
E21	Melaleuca quinquenervia	River She Oak	9000	2000	80	Remove

PLANTING SCHEDULE					
ID	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
Trees					
Bin	5	Banksia integrifolia	Coastal Banksia	100L	Native
Cma	2	Corymbia maculata	Spotted Gum	100L	Native
T1a-75L	14	Tristaniopsis larunia 'Luscious'	Water Gum	100L	Native
T1a-150L	1	Tristaniopsis larunia 'Luscious'	Water Gum	150L	Native
Palms - Cycads					
Hf	5	Howea forsteriana	Kentia Palm	100L	Native
Pro	7	Phoenix roebelenii	Dwarf Date Palm	100L	
Re	12	Rhapis excelsa	Lady Palm	300mm	
Shrubs					
Abr	36	Alocasia macrorrhizos	Giant Taro	300mm	Native
Asm	60	Syzygium australe 'Resilience'	Lilly Pilly	75L	Native
CoaCP	27	Correa alba 'Coastal Pink'	Correa 'Coastal Pink'	200mm	Native
Dex	54	Doryanthes excelsa	Gynea Lily	200mm	Native
PaSS	76	Plectranthus argentatus 'Silver Shield'	Silver Plectranthus	200mm	Native
Ris	147	Raphiolepis indica 'Snow Maiden'	Indian Hawthorn	200mm	
WfrM	7	Westringia fruticosa 'Mundi'	Mundi Westringia	200mm	Native
Perennials					
An	43	Alpinia nutans	Native Cardamom	140mm	Native
Aw	7	Alocasia wentii	Upright Elephant Ear	200mm	
Grasses					
L1c	49	Lomandra confertifolia 'Little Con'	Little Con	140mm	
L1o	150	Lomandra longifolia 'Tanika'	Spiny Head Mat Rush	140mm	Native
L1o-l	182	Lomandra hystrix 'Tropic Cascade'	Weeping Lomandra	140mm	Native
Ngr	121	Neomarica gracilis	Walking Iris	140mm	
Groundcovers					
Dr	138	Dichondra repens	Kidney Weed	140mm	Native
Hsc	169	Hibbertia scandens	Golden Guinea Flower	140mm	Native
Mpy	44	Myoporum parvifolium 'Yareena'	White Flowered Boobialla	140mm	Native
RaP	55	Rosmarinus officinalis 'Prostratus	Creeping Rosemary	140mm	
Ta	29	Trachelospermum asiaticum	Japanese Star Jasmine	200mm	
Vh	422	Viola hederacea	Native Violet	140mm	Native
Zt	80	Zoysia tenuifolia	Korean Grass	100mm	
Succulents					
ABBY	95	Aloe 'Bush Baby Yellow'	Bush Baby Yellow	140mm	
Atb	6	Agave 'Tennyson Blue'	Tennyson Blue Agave	200mm	
Ferns					
Asn	11	Asplenium nidus	Birds Nest Fern	200mm	Native
Bsl	64	Blechnum 'Silver Lady'	Silver Lady Fern	140mm	Native
Total:	2118				

NATIVE PLANT SPECIES PROPOSED = 20  
NATIVE PLANT SPECIES PERCENTAGE = 64.5%

PROJECT

VERGOME PTY LTD  
5-7 LOWER WYCOMBE ROAD,  
NEUTRAL BAY 2089

DRAWING TITLE:

SECTION 4.55  
Cover Page

DRAWN BY

AD

DATE

18.12.24

JOB NUMBER

22.073

DRAWING NUMBER

S4.55\_00

REVISION

01

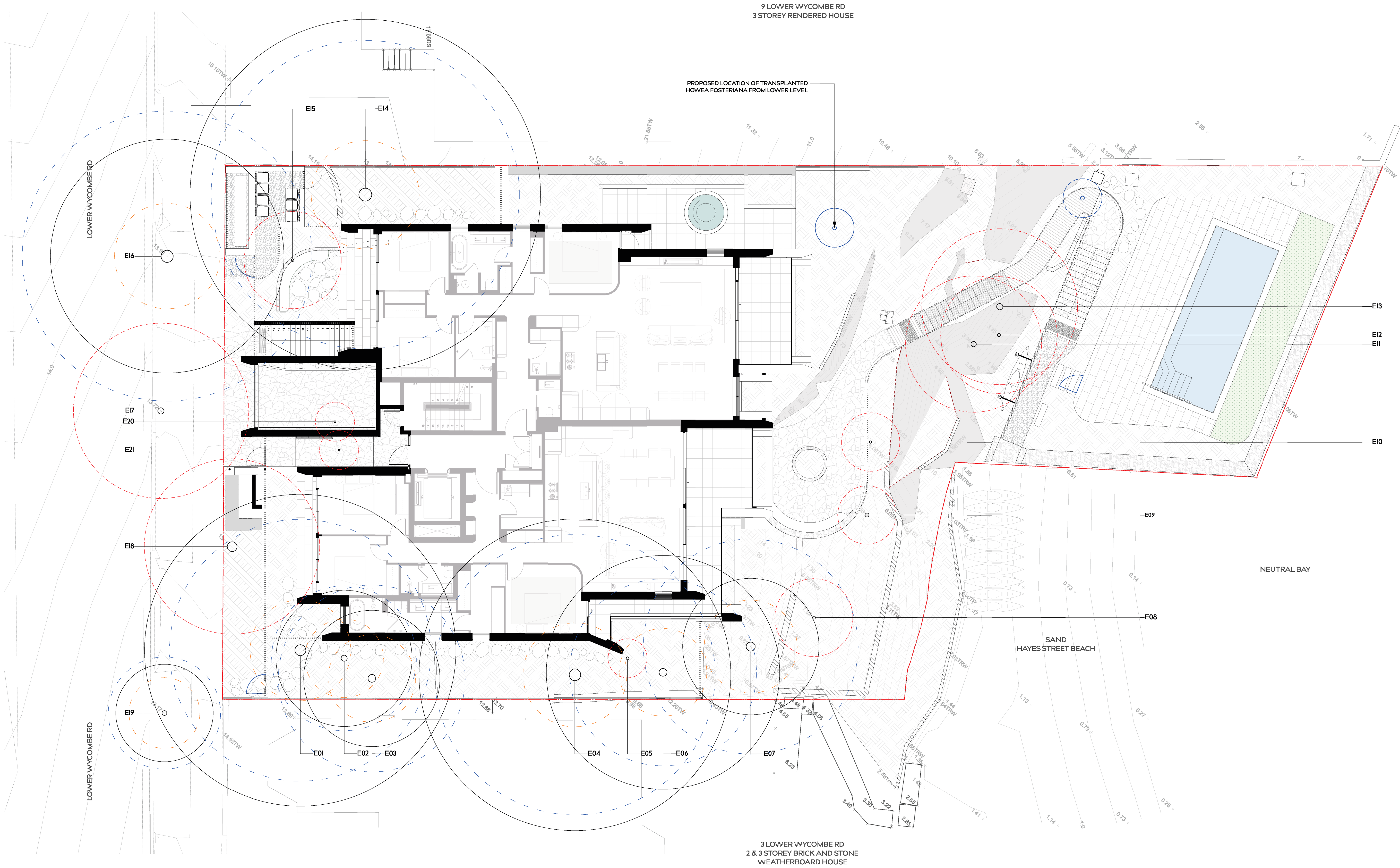
SCALE

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WYER & CO





PROJECT  
VERGOME PTY LTD  
5-7 LOWER WYCOMBE ROAD,  
NEUTRAL BAY 2089

DRAWING TITLE:  
SECTION 4.55  
Existing Tree Plan

DRAWN BY  
AD  
REVISION  
01

DATE  
18.12.24  
SCALE  
1:100 @ A1

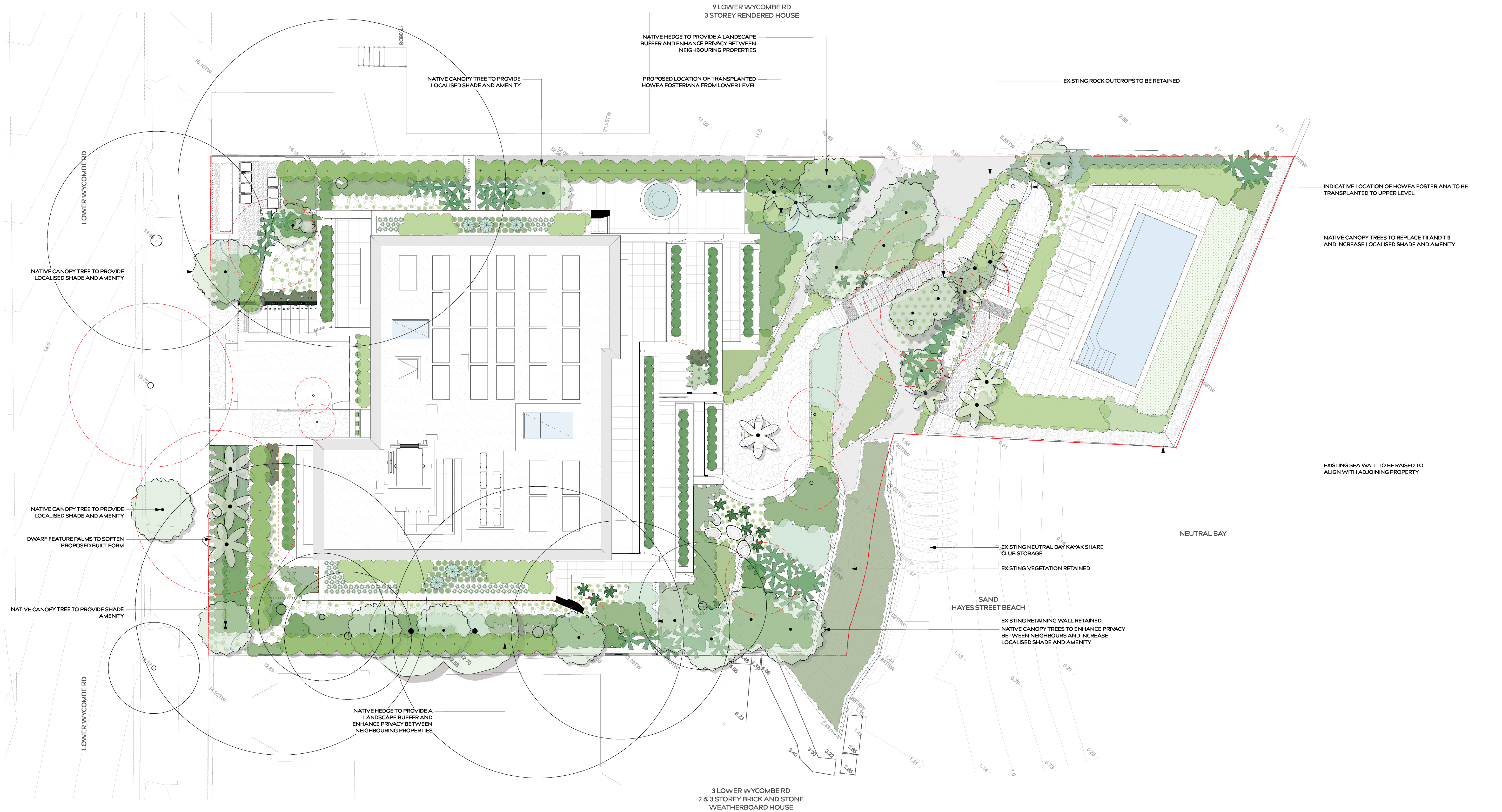
JOB NUMBER  
22.073

DRAWING NUMBER  
S4.55\_01

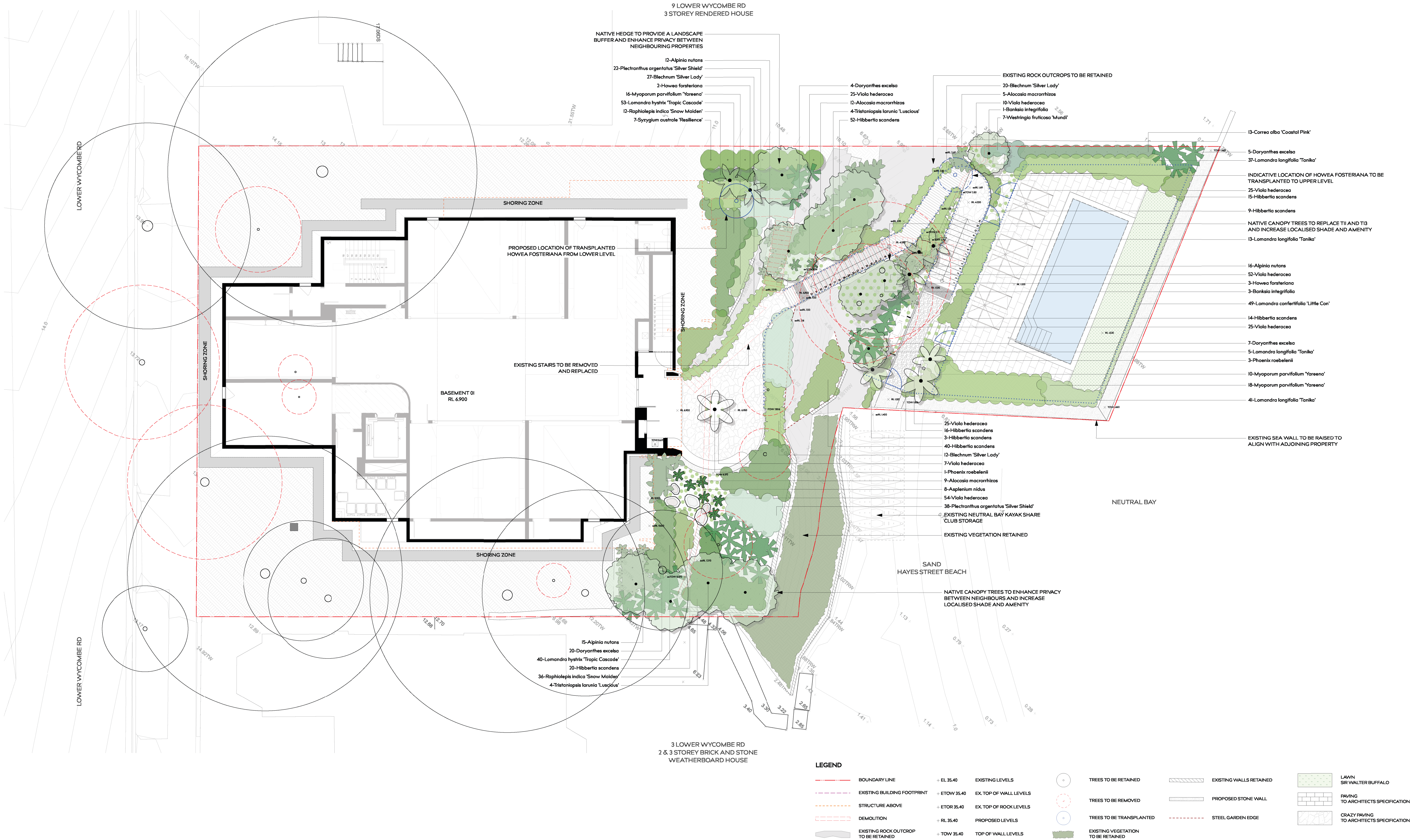
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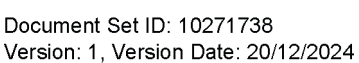




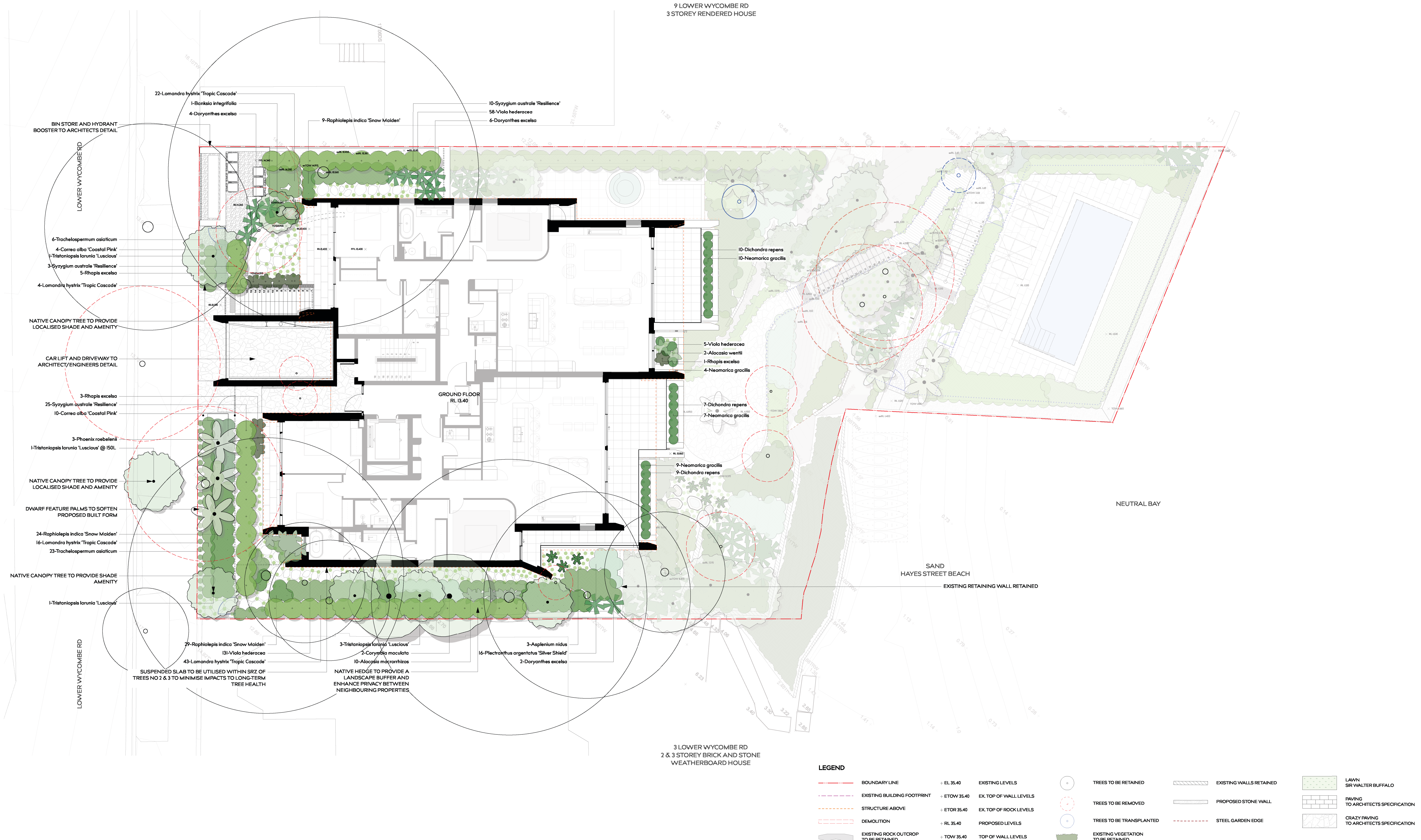












PROJECT  
VERGOME PTY LTD  
5-7 LOWER WYCOMBE ROAD,  
NEUTRAL BAY 2089

DRAWING TITLE  
SECTION 4.55  
Landscape Plan - Ground Floor

DRAWN BY  
AD  
REVISION  
01

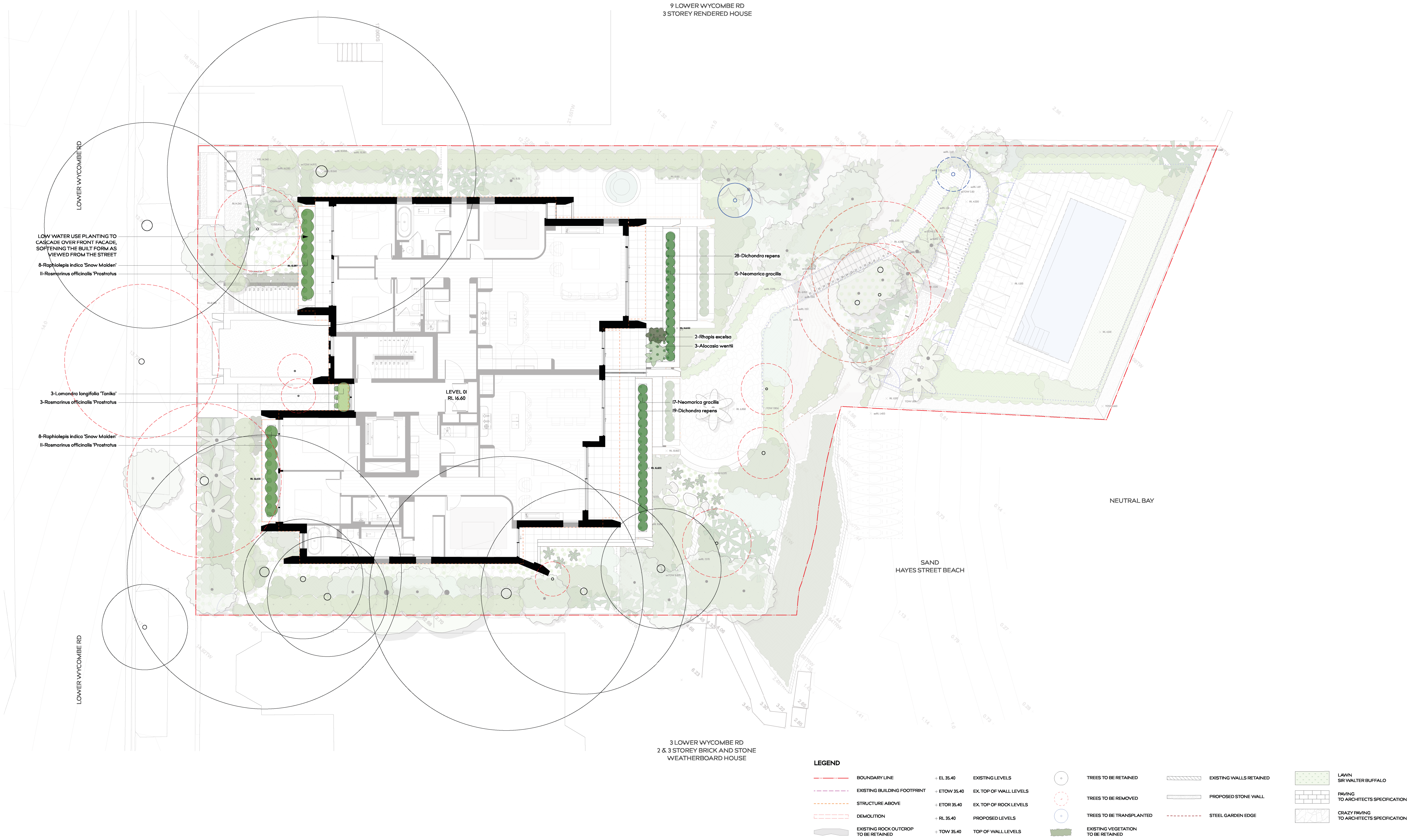
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JOB NUMBER  
22.073

DRAWING NUMBER  
S4.55\_05

WYER & CO





PROJECT  
VERGOME PTY LTD  
5-7 LOWER WYCOMBE ROAD,  
NEUTRAL BAY 2089

DRAWING TITLE:  
SECTION 4.55  
Landscape Plan - Level 1

DRAWN BY  
AD  
REVISION  
01

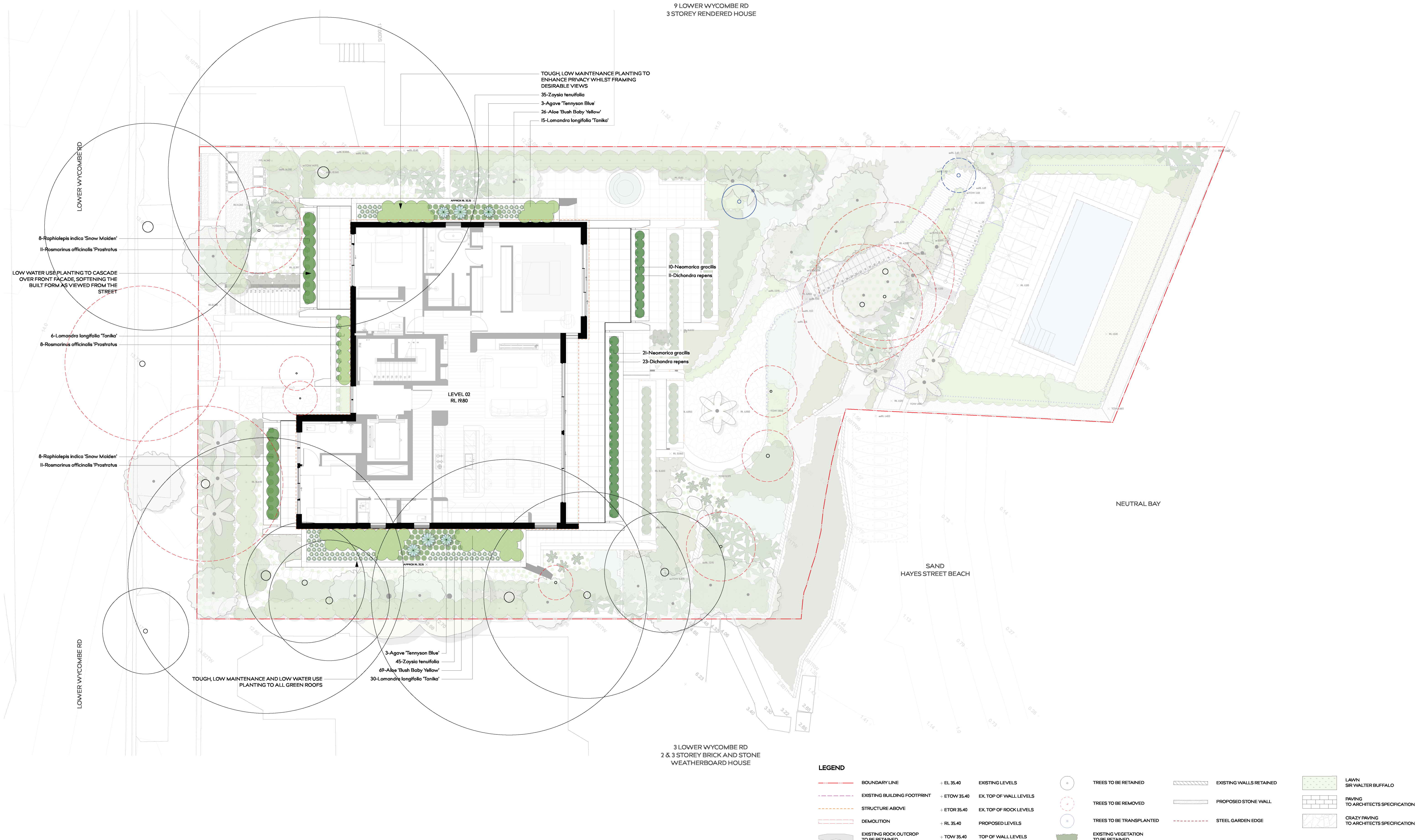
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JOB NUMBER  
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DRAWING NUMBER  
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WYER & CO





PROJECT  
VERGOME PTY LTD  
5-7 LOWER WYCOMBE ROAD,  
NEUTRAL BAY 2089

DRAWING TITLE:  
SECTION 4.55  
Landscape Plan - Level 2

DRAWN BY  
AD  
REVISION  
01

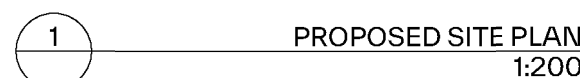
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22.073

DRAWING NUMBER  
S4.55\_07

WYER & CO





GENERAL NOTES:

- \* ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT REGULATIONS
- \* DRAWINGS FOR THE PURPOSES OF DA ONLY [NOT FOR CONSTRUCTION] - FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
- \* ASBESTOS SURVEY, PLANNING AND CONSTRUCTION IN CONJUNCTION WITH CONSULTANTS DRAWINGS, SPECIFICATIONS & REPORTS
- \* COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY PBD ARCHITECTS AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- \* DESIGNER'S OBLIGATION IS PROGNOSTIC ONLY - FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

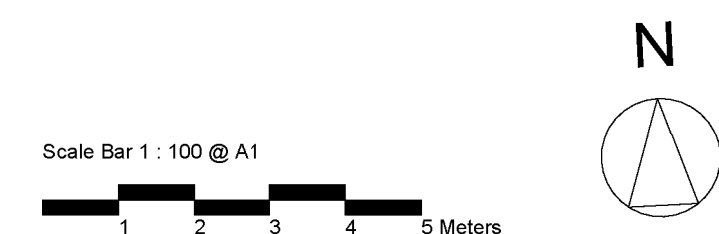
AW	AWNING
AH	ACCESS HATCH
AC	A/C CONDENSER UNITS
FH	FIRE HYDRANT
FHR	FIRE HOSE REEL
FS	FIRE STAIRS
GC	GARBAGE CHUTE
HW	HIGHLIGHT WINDOW
MV	MECHANICAL RISER TO FUTURE DETAIL
MB	MAILBOX TO FUTURE DETAIL
R	240L RECYCLING BIN
SK	SKYLIGHT
HWJ	HOT WATER UNITS

AFV	ALUMINIUM FRAMED GLAZING
ALU	ALUMINIUM ELIPTICAL FIXED LOUVERS
AW	AWNING (TO FUTURE DETAIL)
CONC	CONCRETE
FB	FACE BRICK
GB	FRAMELESS TOUCHED GLASS BALUSTRADE (TO FUTURE DETAIL)
MC	METAL CLADDING
MF	METAL FENCING (TO FUTURE DETAIL)
PC	COMPOSITE PANEL CLADDING
PSK	PRIVACY SCREEN (TO FUTURE DETAIL)
PfX	PAINT FINISH TYPE X
RD	ROLLER DOOR
RP	RIVER PERILES
RW	RENDERED FINISH/SELECTED PAINT FINISH
ST	STONE
SC	STONE CLADDING
TC	TIMBER CLADDING
VB	EXTERNAL VENETIAN BLINDS

STRUCTURAL ROOT ZONE (SRZ)

TREE PROTECTION ZONE (TPZ)

TREE TO BE REMOVED

[illegible]

P - 02 9698 8140  
E - info@pbdarchitects.com.au  
W - pbdarchitects.com.au

Level 2, 52 Albion Street,  
Sunny Hills NSW 2010

ABN 36 147 035 550  
Nominated Architect:  
Paul Buljevic NSW 7768

DRAWING TITLE:

**PROPOSED SITE PLAN**

DRAWING BY:	CHECKED BY:	DATE: 13/12/2024
SCALE: 1:200@A1	DRAWING NO:	ISSUE:
PROJECT NO: 2225	<b>DA-002</b>	<b>04</b>