

**NSLPP MEETING HELD ON 04/06/2025****Attachments:**

1. Survey Plan
2. Site Plan
3. Architectural Plans dated 31.1.2025
4. Clause 4.6
5. View Impact Assessment

**ADDRESS/WARD:** 18 Larkin Street, Waverton (W)

**APPLICATION No:** DA61/25

**PROPOSAL:** Alterations and additions to the existing dwelling including sub floor excavation and installation of a lift

**PLANS REF:**

Plan No.	Issue	Description	Prepared by	Dated
Sheet 04	-	Site Plan	Plan Shop	31/1/2025
Sheet 08	-	Lower Ground Floor Demolition Plan	Plan Shop	31/1/2025
Sheet 09	-	Ground Floor Demolition Plan	Plan Shop	31/1/2025
Sheet 10	-	Roof Demolition Plan	Plan Shop	31/1/2025
Sheet 11	-	Proposed Lower Ground Floor Plan	Plan Shop	31/1/2025
Sheet 12	-	Proposed Ground Floor Plan	Plan Shop	31/1/2025
Sheet 13	-	Proposed First Floor Plan	Plan Shop	31/1/2025
Sheet 14	-	Proposed Roof Plan	Plan Shop	31/1/2025
Sheet 15	-	East and West Elevation	Plan Shop	31/1/2025
Sheet 16	-	North Elevation	Plan Shop	31/1/2025
Sheet 17	-	South Elevation	Plan Shop	31/1/2025
Sheet 18	-	East Elevation with 20 Larkin Street	Plan Shop	31/1/2025
Sheet 19	-	West Elevation with 20 Larkin Street	Plan Shop	31/1/2025
Sheet 20	-	Section A-A & B-B	Plan Shop	31/1/2025
Sheet 21	-	Section C-C	Plan Shop	31/1/2025
Sheet 22	-	Opening Schedule	Plan Shop	31/1/2025
Sheet 24	-	Finishes Schedule – Front	Plan Shop	31/1/2025
Sheet 25	-	Finishes Schedule - Back	Plan Shop	31/1/2025

**OWNER:** Jennifer Hill-Ling

**APPLICANT:** Martin Taylor

**AUTHOR:** Rachel Wu, Assessment Officer

**DATE OF REPORT:** 12 May 2025

**DATE LODGED:** 25 March 2025

**RECOMMENDATION:** Refusal

## EXECUTIVE SUMMARY

**This development application seeks approval for alterations and additions to an existing dwelling and is reported to North Sydney Local Planning Panel for determination for the breach of Clause 4.3 Height of Buildings development standard by more than 10%.**

Notification of the proposal has attracted five (5) unique submissions raising particular concerns about Clause 4.3 height breach, uncharacteristic development, visual and acoustic privacy impact, view loss, solar access impact, overdevelopment, non-compliance with side setbacks; and potential use as a dual occupancy.

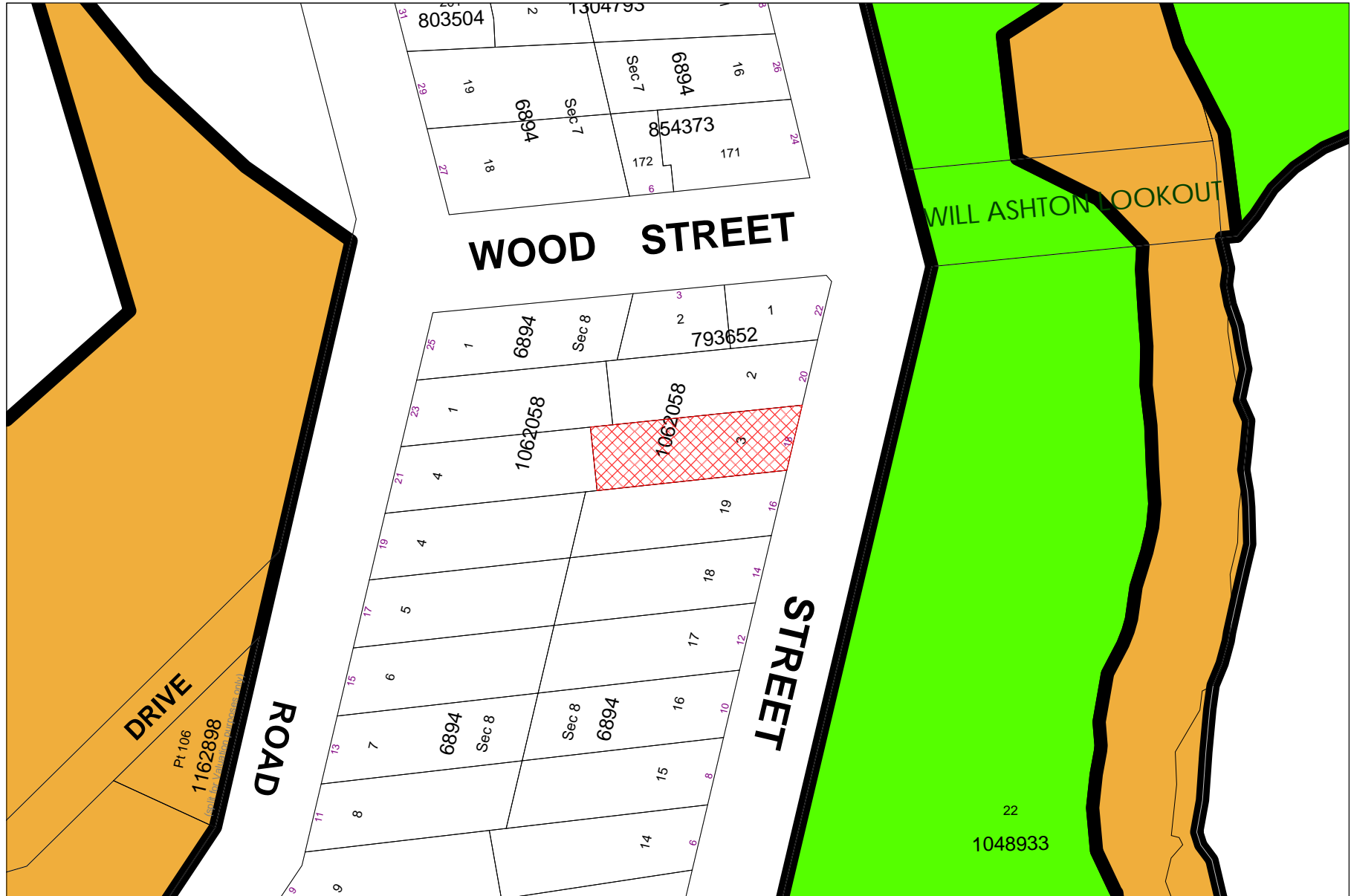
The Applicant has previously had a PreDA meeting and lodged two development applications (DA78/24 and DA120/22) for a similar proposal. The two application were withdrawn on the request of Council due to inadequate and insufficient documentation and plans. The PreDA meeting as well as both of the withdrawn development applications stated the need for view impact assessment to be submitted for adjoining dwellings as the development is likely to impact on views of adjoining dwellings towards McMahons Point, as well as views to the Sydney Harbour Bridge.

Other issues identified in previous development applications include inadequate Clause 4.6; excessive height, bulk and scale; non-compliant setbacks, inadequate shadow diagrams to assess solar access impacts to 16 Larkin Street at winter solstice; limited landscaping detail/landscape coverage in a Bushland Buffer Area A (100m); impact on amenity by the size of the roof deck; lack of geotechnical report providing details as to how matters of vibration, dilapidation reporting, groundwater (including shallow hydrological conditions) and excavation support would be addressed for the excavation of 450mm from the Lower Ground Floor extending to 200mm from the northern boundary; lack of a preliminary engineering report providing confirmation that the proposed works are possible without causing unreasonable damage to the subject dwelling and/or adjoining properties.

A view impact assessment was not included in the subject development application. On the request by Council Officer for a view impact assessment for this development application, the submission for the view impact assessment exceeded the 'stop the clock' deadline and is also deficient as it fails to consider the view impact of the roof deck balustrades to the Sydney Harbour Bridge Pylon from the adjoining property at No.25 Balls Head Road. The amendment of the development application is therefore rejected under Clause 38 of the Environmental Planning and Assessment Regulation 2021 and along with other deficiencies in the development application is recommended for refusal.

The assessment has considered the concerns raised in the submissions as well as the performance of the application against Council's planning requirements. Following this assessment the development application is recommended for refusal due to the reasons detailed herein.

# LOCATION MAP



## DESCRIPTION OF PROPOSAL

The proposal seeks alterations and additions to an existing detached dwelling comprising of the major components below:

### Lift

- Installation of a lift structure from Lower Ground Floor to the Ground Floor and First Floor

### Lower Ground

- Excavation to a depth of 450mm approx. on the Lower Ground Floor within 200mm from the northern boundary for a new vintage car workshop
- Excavation up to 750mm for new lift
- Demolition and construction of front retaining walls and external stairs

### Ground Floor


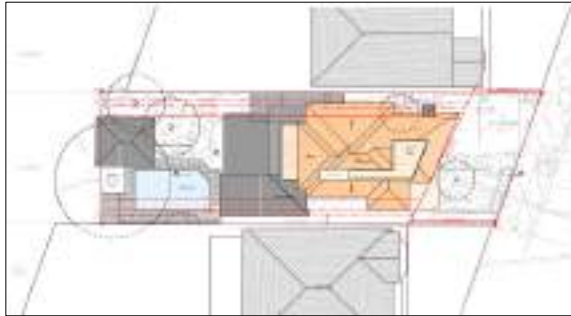

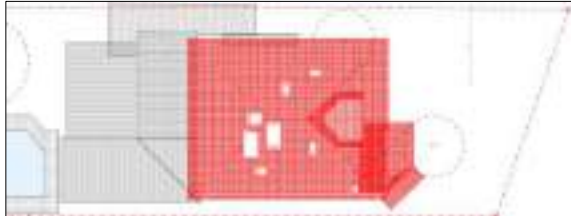
- Construction of new slab to match the Ground Floor level on the northern boundary
- Infill of window opening on the front elevation of existing formal lounge

### First Floor

- Construction of First Floor level comprising roof access to roof deck via internal stairs
- Living/Dining/Kitchen space opening up to a rear deck and front balcony
- Construction of two bedrooms

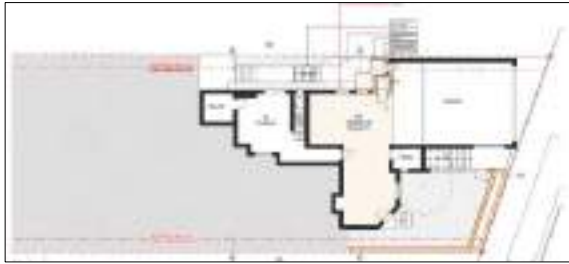
### Roof Deck (16m<sup>2</sup>)

- Accessed via roof access hatch from the proposed First Floor, with side setbacks of 4.6m-5m

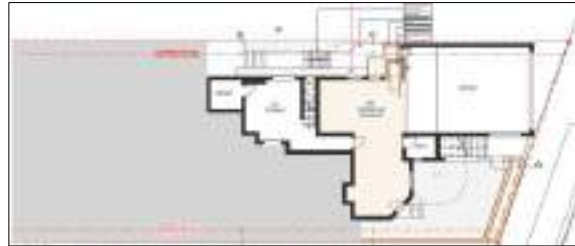
DA Comparison	
<b><i>Withdrawn DA78/24</i></b>	<b><i>DA61/25 (subject Development Application)</i></b>
<b>Site and Roof Plan</b> 	<b>Site and Roof Plan</b>  <b>Changes from DA78/24:</b> Deck reduced to 16sqm and set back further from side boundaries. Hipped Roof Form retained and solar panels removed.
<b>Roof Demolition Plan</b> 	<b>Roof Demolition Plan</b> 



**Proposed Lower Ground Floor Plan**



**Proposed Lower Ground Floor Plan**



**Changes from DA78/24:** No change from DA78/24.

**Proposed Ground Floor Plan**



**Proposed Ground Floor Plan**



**Changes from DA78/24:** Rear circular stairs and building roof overhang over circular stairs deleted.

**Proposed First Floor Plan**



**Proposed First Floor Plan**



**Changes from DA78/24:** Design of front balcony; rear deck reduced and relocated; extension of first floor to the north; reduction of first floor rear footprint from the south and west.

**Proposed East Elevation (front)**



**Proposed East Elevation (front)**



**Changes from DA78/24:** Hipped roof hiding roof access stairs; first floor southern setback towards the rear reduced

**Proposed Section C-C**



**Proposed Section C-C**



**Changes from DA78/24:** Existing rear pergola on site unchanged through this development application; reduction in floor area of proposed first floor

**Proposed West Elevation (Rear)**



**Proposed West Elevation (Rear)**



**Changes from DA78/24:** Existing rear pergola on site unchanged through this development application; solar panel deletion and roof form from flat to hipped roof; change to window openings.

**Proposed Southern Elevation**



**Proposed Southern Elevation**



**Changes from DA78/24:** First floor deletion of openings and installation of privacy screen.



**Figure 1:** Submitted photomontage of proposed development as viewed from rear neighbour's (No.25 Balls Head Road) first floor bedroom.

## **STATUTORY CONTROLS**

*Environmental Planning and Assessment Act 1979*

*Environmental Planning and Assessment Regulation 2021*

*SEPP (Resilience and Hazards) 2021 (Chapter 4)*

*SEPP (Biodiversity and Conservation) 2021 (Chapter 6 Cl6.28)*

*SEPP (Sustainable Buildings) 2022 (Schedule 1 & 2)*

*North Sydney Local Environmental Plan 2013 (NSLEP 2013)*

- Zoning – C4 Environmental Living
- Building Height – 8.5m
- Item of Heritage – No
- In Vicinity of Item of Heritage – No
- Conservation Area - No

## **POLICY CONTROLS**

*North Sydney Development Control Plan 2013 (NSDCP 2013)*

- Part B Section 1 – Residential Development
- Part B Section 10 - Car parking and Transport
- Part B Section 11 - Construction Management
- Part B Section 12 - Access
- Part B Section 14 - Contamination and Hazardous Building Materials
- Part B Section 15 - Bushland (Buffer Area A: 100m)
- Part B Section 16 - Trees and Vegetation Management

- Part B Section 17 - Erosion and Sediment Control
- Part B Section 18 - Stormwater Management
- Part B Section 19 - Waste Management
- Part B Section 20 - Public Infrastructure
- Part C Section 10.0 - Area Character Statement for Waverton/Wollstonecraft Planning Area - Section 10.6 'Waverton Neighbourhood'

North Sydney Council Local Infrastructure Contributions Plan

## DESCRIPTION OF LOCALITY

The subject site is legally described as Lot 3 in DP1062058 and known as 18 Larkin Street, Waverton. The existing site contains a brick dwelling consisting of two levels and an attic space. A garage is located at the front of the property with an alfresco above. The site rises 3 – 4m from Larkin Street towards the rear.

The site has a total site area of 586.2m<sup>2</sup> with frontages of 14.325m to Larkin Street, and 13.66m to width for the rear boundary. Directly across the site to the east of Larkin Street is Carradah Park and further to the southeast are views to the iconic Sydney Harbour Bridge, Sydney Harbour, Berry's Bay and Ball's Head Bay. Surrounding development consists of detached single storey to three storey residences with front garages and brick, stone or sandstone walls and fences.



**Figure 2/3:** Subject site within C4 Environmental Zone and Bushland Buffer Area A (100m)





**Figure 4:** Subject site (marked with arrow) with views to Berry's Bay



**Figure 5:** Subject site (marked red)



**Figure 5A:** View from front terrace of 16 Larkin Street (southern neighbour) to the subject site proposing first-floor front balcony above existing ground floor window (highlighted blue)

## RELEVANT HISTORY

**20 July 2023** - A PreDA meeting was held between Council and the Applicants for a similar proposal to the subject development application.

The PreDA proposal (Figure 6) involves:

- Demolition of existing stone wall at the front of the site and construction of new double stone wall;
- Excavation of the existing Lower Ground Floor by approximately 750mm;
- Demolition and excavation of the paved area on the northern boundary up to 1.4m including removal of one (1) tree;
- Demolition of the majority of existing roof and construction of new flat roof with roof deck, lift overrun, and solar panels;
- Construction of a First-Floor with rear deck; and
- Installation of a lift on the northern boundary that travels between the Lower Ground Floor and Roof.



**Figure 6: PreDA Proposed Northern Elevation**

The Applicant was advised the proposal does not satisfy Clause 4.3 Height of Buildings objectives and the development application should include **a view analysis of surrounding buildings** due to the proximity of the subject site to the foreshore of Berry's Bay and the likelihood of view loss for properties at the rear of the site (19-23 Balls Head Road).

Furthermore, the PreDA points out existing site coverage exceedance above the site coverage control and along with the significant height exceedance, is unlikely to be supported in the C4 zone. The Applicant was advised to submit solar access diagrams (including elevational shadow diagrams) and address visual privacy impacts to adjoining properties by the proposed deck construction at the rear of the first-floor and roof deck into the private open space/rear yard of adjoining dwellings.

The Applicant was advised the landscaped area should be increased on a site classified as *Bushland Buffer A* by NSDCP and selection of native plant species is recommended. Details are to be provided in the landscape plans.

The Applicant was advised that the proposed plans do not comply with front and side setbacks (northern boundary for Lower Ground Floor, southern boundary for Ground floor; First floor and roof level are non-compliant with side setbacks) and the significant alterations and additions of the proposal should demonstrate compliance with setbacks.

The Applicant was advised that the desired form, massing and scale in the locality "Waverton Neighbourhood" is for low density and scaled development located along the ridge tops, with higher density development located elsewhere. A reduction in the form, massing and scale of the proposal to step with the topography was recommended.

#### **Previous applications (subject site)**

**Building Application BA646/91** granted approval on 10 July 1992 for a new bathroom and changes to the roof space.



**Pre98 Development Application 1137/92** granted approval on 9 July 1992 involving alterations together with fenestration changes including the installation of bay windows and changes to eastern elevation.

**Development Application DA469/01** withdrawn by Applicant on 9 May 2001 for the construction of a new in-ground swimming pool, pergola over existing.

**Development Application DA684/01** granted approval on 11 October 2001 for a new pergola, demolition of part of the building, new swimming pool.

**Development Application DA944/01** granted approval on 2 November 2001 for boundary adjustment.

**Development Application DA292/05** granted approval on 2 June 2006 for alterations and additions including enclosure of front verandah.

**Development Application DA120/22** withdrawn by Applicant on 16 December 2022 for alterations and additions to an existing dwelling and associated works. Issues raised in the assessment letter and reiterated in the subsequent meeting related to height of building exceedances, Clause 4.6 not founded; site coverage exceedances, a shortfall in landscaping, non-compliant side setbacks, loss of privacy to adjoining properties, dual occupancy (attached) design prohibited in the C4 Environmental Living Zone, and lack of view impact assessment. Council's withdrawal letter dated 17 May 2022 includes the following regarding view analysis and Clause 4.6:

*"The development application does not include any view analysis for the surrounding buildings. A view analysis is required due to the proximity of the subject site to the foreshore of Berrys Bay and the likelihood of view loss for properties at the rear of the subject site (19-23 Balls Head Road). The development application including the Clause 4.6 written statement fails to consider the retention and sharing of views for the neighbouring properties to the rear of the site therefore the development fails to meet the objective (1)(b) of Clause 4.3 'Height of Buildings' of NSLEP 2013."*

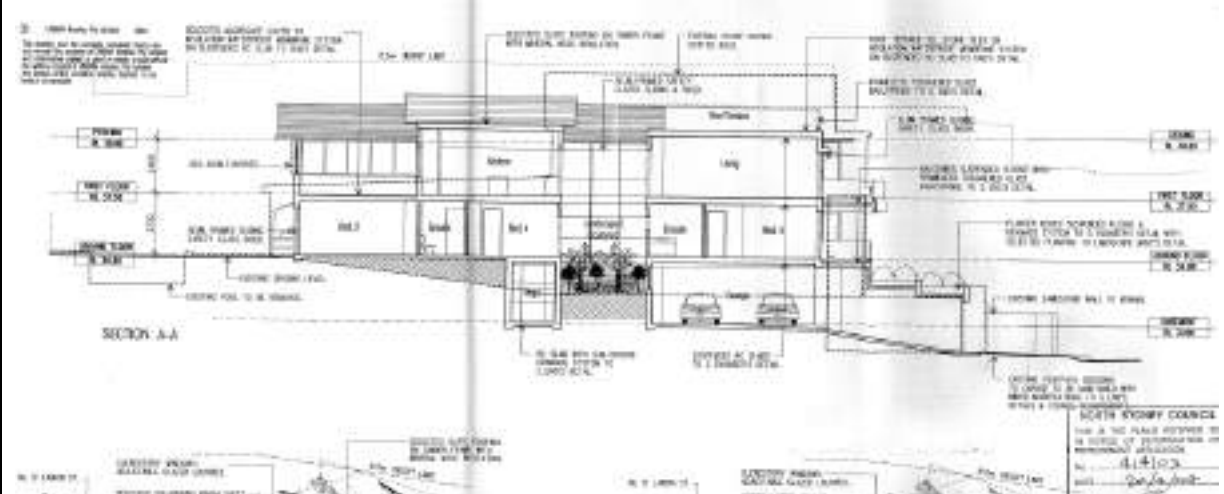
**Development Application DA78/24** withdrawn by Applicant on 28 October 2024 for alterations and additions to an existing dwelling. The Applicant was requested to withdraw the application for the inadequate Clause 4.6 addressing the height exceedance; height, bulk and scale, setbacks, inadequate shadow diagrams to assess solar access impacts to 16 Larkin Street at winter solstice; lack of view impact assessment report addressing potential loss of views of No.25 Balls Head Road towards McMahons Point, as well as views to the Sydney Harbour Bridge; limited landscaping detail/landscape coverage in a Bushland Buffer Area A (100m); size of roof deck to be a family roof terrace rather than the proposed entertainment area; lack of geotechnical report providing details as to how matters of vibration, dilapidation reporting, groundwater (including shallow hydrological conditions) and excavation support would be addressed for the excavation of 450mm from the Lower Ground Floor extending to 200mm from the northern boundary; lack of a preliminary engineering report providing confirmation that the proposed works are possible without causing unreasonable damage to the subject dwelling and/or adjoining properties.

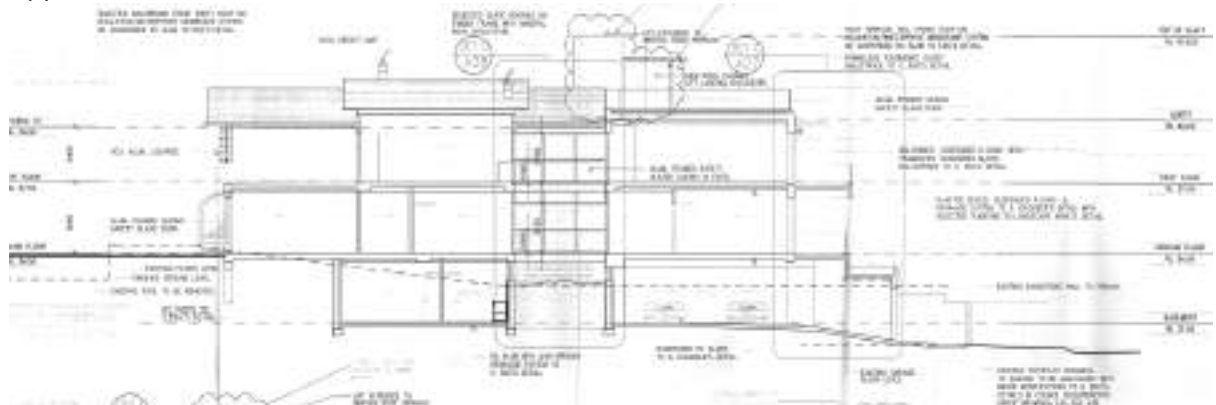
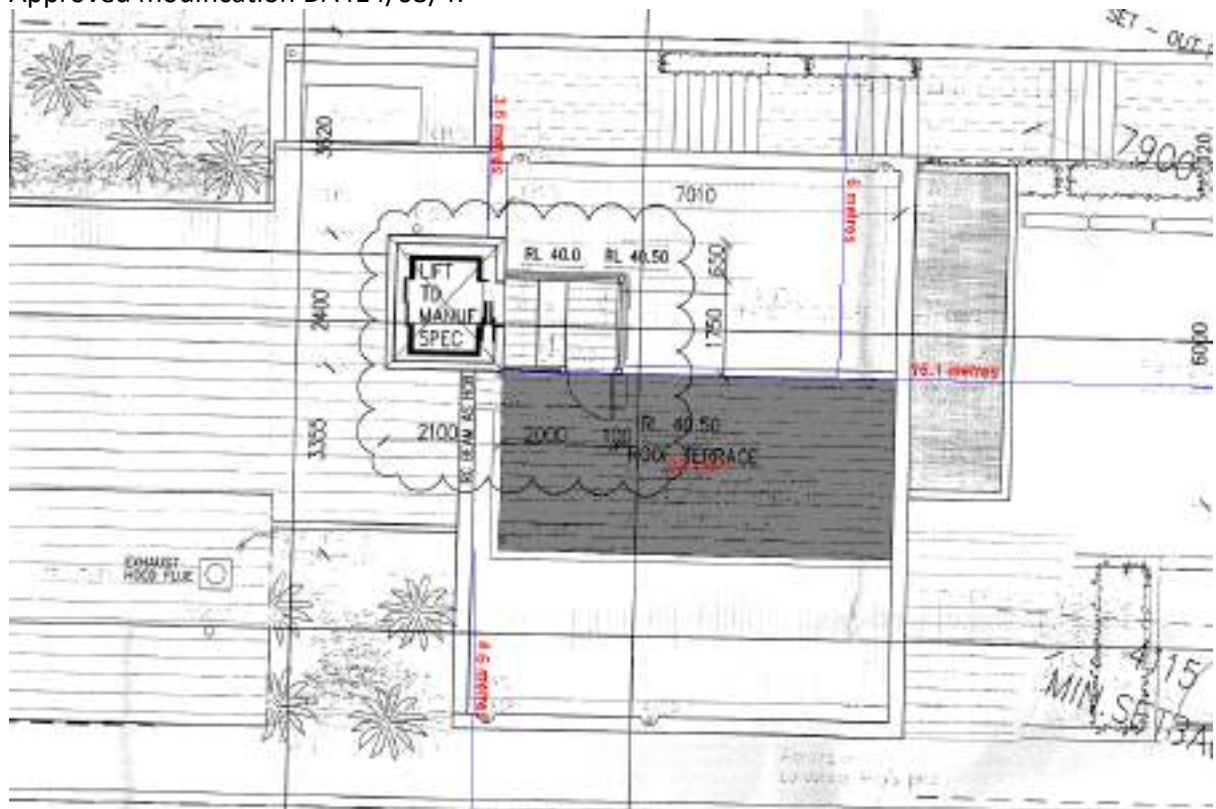
**Compliance Case No.218/25** investigated by Council's Compliance Team on 21 March 2025 regarding the change to clear glass from obscure glass for the bay window on the ground level front elevation. Council's Compliance Team responded as follows:



*"The CI is recommended to be closed as it has been investigated in accordance with Council's Compliance and Enforcement Policy, clause 4.3 and a determination has been made in accordance with clauses 4.4 and 4.5. The following enforcement action has been taken: · No formal regulatory action required - Matter related to a change of window from opaque to clear. Search of Council records did not reveal any requirements for the window to be opaque. As such, change complies with exempt provisions. All customers have been responded to in accordance with Council's Complaints Handling policy."*

**Development Application Approvals in vicinity of site**

10 Larkin Street	
DA414/03	<p>Granted approval on 13 April 2004 for the demolition of the existing building, construction of multi-storey dwelling with roof deck. A condition in the consent states:</p> <p><b><i>"Roof adjacent to roof deck</i></b></p> <p><i>The roof adjacent to the proposed roof deck shall be a sloping metal (or similar) roof and not trafficable. Details to be provided with the Construction Certificate.</i></p> <p><i>(Reason: To ensure that adjacent roof areas are not trafficable and available as an extension to the proposed roof deck)"</i></p> <p>Within the Assessment Officer's report, it is stated:</p> <p><b><i>"Roof Terrace:</i></b></p> <ul style="list-style-type: none"><li>• <i>Council was concerned about the size of the roof terrace (prior to amended plans) at 10 Larkin Street and the impact this will cause. Council felt it should be reduced in size to a family roof terrace rather than an entertainment area."</i></li><li>• The landscape area was raised from the existing 20% to proposed 54% to comply with the NSLEP 2001 control at the time of 54%.</li><li>• The lift for the DA is approved as centrally located on site and set back from the northern boundary by approx. 3.6m and approx.16.1m from the front boundary to Larkin Street</li><li>• The roof deck is approved for approximately 22sqm, and 6m from the northern boundary and 4.6m from the southern boundary.</li></ul>
	

DA414/03/2	Granted approval on 16 August 2004 for the modification of DA414/03 involving various changes.
DA414/03/3	Modification Application cancelled by Applicant.
DA414/03/4	Granted approval on 27 March 2006 for the modification of DA414/03 involving extension of lift to service roof.
<p>Approved modification DA414/03/4:</p> 	
<p>Approved modification DA414/03/4:</p> 	
DA45/24	Granted approval by the North Sydney Local Planning Panel on 7 August 2024 for the demolition of works erected without consent.

**R12/21 approved Landscape Concept Plan – Ground Floor Plan:**



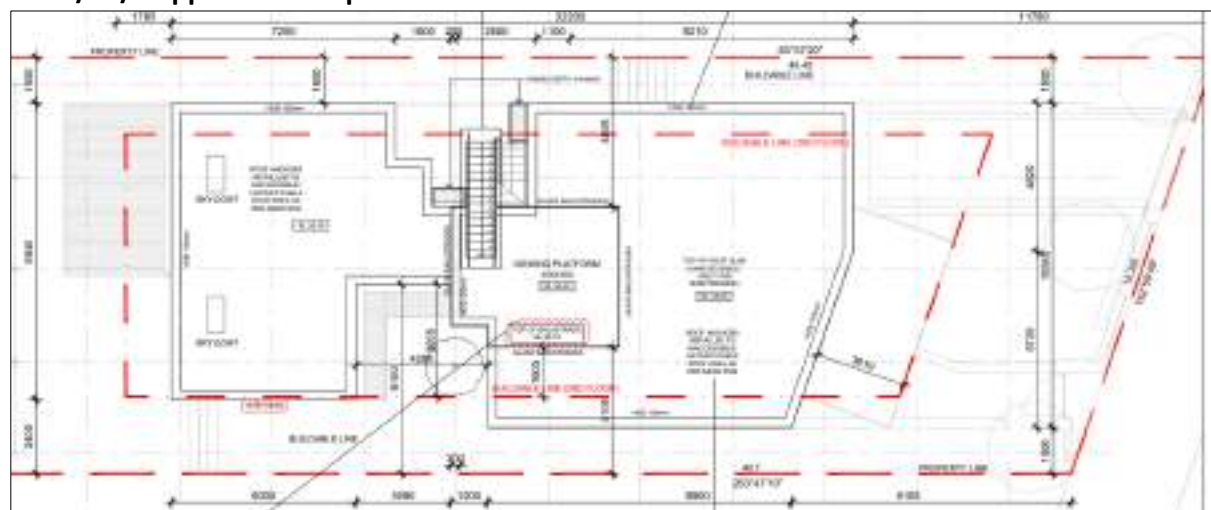
**R12/21 approved Northern elevation showing First Floor setback and compliance of all built form with Cl4.3 height control with exception of frameless glass on roof terrace:**



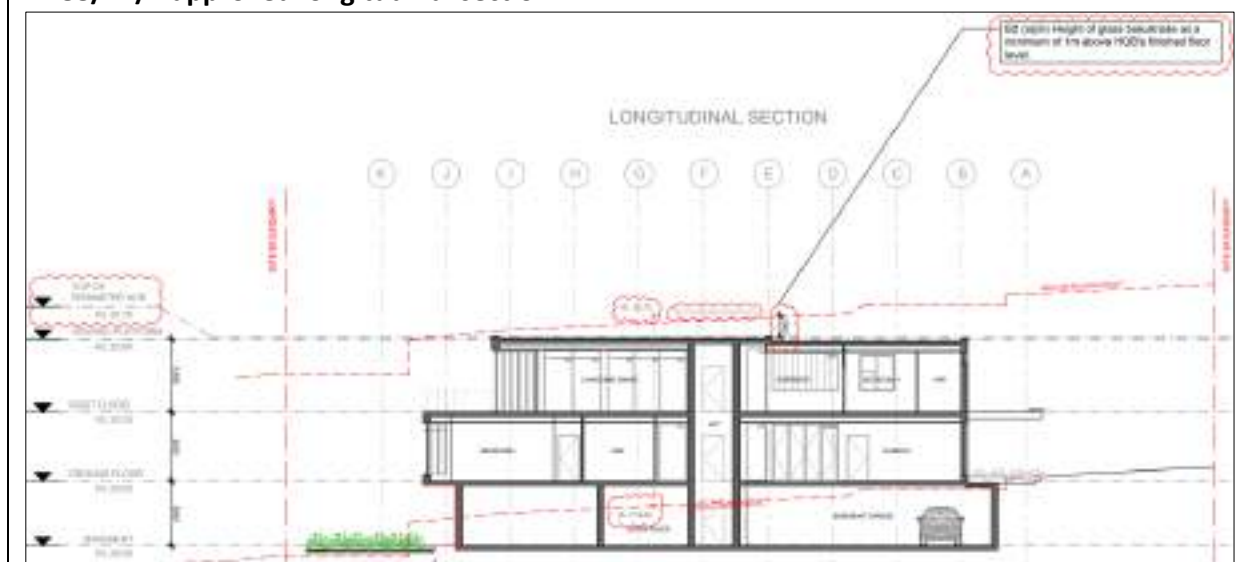
DA88/21/4

Granted approval on 20 June 2023 for the modification of consent to delete Condition B2(iv) in the approved development R12/21 regarding the enclosure and weatherproofing of the first floor stairs to the viewing platform.

DA88/21/4 approved roof plan:



DA88/21/4 approved longitudinal section:





### **Current Application**

<b>Date</b>	<b>Action</b>
25/3/2025	Lodged with Council.
18/4/2025	Development application notified to adjoining properties and the local Precinct for 14 days ending on 2 May 2025. Five (5) unique submissions were received during this period.
4/4/2025	STC information requested in Planning Portal raising concerns regarding the potential for the loss of views/outlook from the adjoining property at No. 25 Balls Head Road. The Applicant was informed that the photomontage provided in the application shows the pylon of the Harbour Bridge blocked off by the proposed development. A view impact assessment based upon the planning principle for view sharing established in <i>Tenacity Consulting v Warringah Council</i> [2004] NSWLEC 140, was requested that assesses the level of view impact upon the adjoining property. The Applicant was required to submit the view impact assessment by 21 <sup>st</sup> April 2025.
15/4/2025	<p>Applicant was informed that the extension request for the view impact assessment is rejected as the requirement for view impact assessment has been raised in the PreDA meeting followed subsequently by both withdrawn development applications detailed under <b><i>Previous Applications</i></b>.</p> <p>The Applicant was informed that the submitted Clause 4.6 statement incorrectly notes the maximum height of proposed works is 9.6m, rather than the calculated 10.6m based on Section C-C measured from the existing Lower Ground Floor to the rooftop balustrades. The Applicant was informed this needed to be amended for the development application.</p>
24/4/2025	Applicant uploaded revised Clause 4.6 and stated documents relating to the view of neighbouring buildings as per Tenacity principle will be provided. The revised Clause 4.6 is deficient in its justification for the unreasonable and unnecessary test and does not justify its statements regarding lack of impact to adjoining dwellings.
1/5/2025	Applicant submitted view impact assessment for 25 Balls Head Road that is deficient as it does not consider the impact from the rooftop deck balustrades.
13/5/2025	Site inspection conducted to 16 Larkin Street.

### **INTERNAL REFERRALS**

#### **Building**

The proposed works the subject of this application have not been assessed in accordance with compliance with the National Construction Code of Australia. This would need to be undertaken prior to the issue of a Construction Certificate. Should significant changes be required to achieve compliance with NCC standards, a Section 4.55 application would be necessary.

#### **ENGINEERING**

Standard conditions are recommended by Council's Development Engineer under the grant of consent.

## **SUBMISSIONS**

On 18 April 2025, Council notified adjoining properties and the relevant Waverton Precinct of the proposed development seeking comment between 18/4/2025 – 2/5/2025. Council received five (5) unique submissions. The matters raised in the submissions are listed below:

The issues raised in the submissions are summarised below and addressed later in this report. The original submissions may be viewed by way of DA tracking on Council's website [https://www.northsydney.nsw.gov.au/Building\\_Development/Current\\_DAs](https://www.northsydney.nsw.gov.au/Building_Development/Current_DAs) and are available for review by NSLPP members.

### **Basis of Submissions**

- Visual Privacy from proposed First Floor front balcony
- Visual Privacy from the Ground Floor Front window
- Solar Access impact
- View Loss for 20 Larkin Street, 25 Balls Head Road, and potentially 21 Bay View Street
- No view impact assessment submitted for 20 Larkin Street
- Contravention of C4 Environmental Living zone
- Height exceedance
- Side setback non-compliance
- Form, Massing and Scale
- Overdevelopment
- Uncharacteristic development in C4 Environmental Living zone and the Waverton Neighbourhood Area Character Statement
- Lack of clarity and detail in plans and supporting documentation
- Potential for use as dual occupancy and follow on impacts
- Roof deck framing unattractive and obtrusive
- Roof deck unnecessary as top floor balcony allows ample view space
- Potential for weather cover to be built in the future over roof deck if approved
- Not in public interest as per s4.15 of EP&A Act

## **CONSIDERATION**

The relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended), are assessed under the following headings:

### ***Environmental Planning and Assessment Act 1979 (as amended)*** ***Environmental Planning and Assessment Regulation 2021***

### ***SEPP (Biodiversity and Conservation) 2021***

The subject site is not located in the Sydney Opera House Buffer Zone nor within the Foreshore Building Line.

## **Chapter 2 – Vegetation in Non-Rural Areas**

While the proposal does not seek to remove the existing frangipani on the northern boundary, Council's Landscape Development Officer has commented that the ability to retain this tree is unlikely based on the works proposed and provided conditions to be imposed should the proposal proceed to determination. The proposal meets the objectives of the SEPP as it does not seek clearance of native vegetation, or any materials impacts on bushland (if any) in the vicinity of the subject site.

### ***SEPP (Resilience and Hazards) 2021***

The provisions of the above SEPP require Council to consider the likelihood that the site has previously been contaminated and to address the methods necessary to remediate the site. The subject site has only previously been used for residential purposes and as such is unlikely to contain any contamination; therefore, the requirements of the above SEPP have been satisfactorily addressed.

### ***SEPP (Sustainable Buildings) 2022***

No BASIX Certificate was submitted with the application to satisfy the Aims of the SEPP.

## **NORTH SYDNEY LOCAL ENVIRONMENT PLAN (NSLEP 2013)**

### **1. Permissibility**

The site is zoned C4 Environmental Living under *NSLEP 2013*. Development for the purpose of alterations and additions to a detached dwelling house is permissible with the consent of Council.

The proposed development has the potential to be a dual occupancy (Attached) with separate access via the Lower Ground Floor and Lift, and the proposed first-floor appears to be self-contained, and the use of the Ground Floor unidentified. Dual occupancy (attached) is not permissible in the C4 zone. This concern was raised in a previous development application and was not addressed in the subject development application.

### **2. Objectives of the zone**

The objectives for a C4 Environmental Living zone are stated below:

- *“To provide for low-impact residential development in areas with special ecological, scientific or aesthetic values.*
- *To ensure that residential development does not have an adverse effect on those values.*
- *To ensure that a high level of residential amenity is achieved and maintained.”*

The proposal is inconsistent with the objectives of the zone as it is unclear if a high level of residential amenity can be achieved and maintained for adjoining dwellings.

While the roof deck has been reduced from the previous development application, insufficient and inadequate view impact assessment has been submitted. The photomontage of the proposed development on a photo taken from the first-floor bedroom of 25 Balls Head Road did not include the proposed roof deck or balustrades and the assessment states the proposal ‘would not impact any of the elements of the bridge currently visible’ and that the iconic view impact of the proposed development to Sydney Harbour Bridge is negligible. The view impact assessment fails to correctly assess the full scope of the proposed development’s impact on views to the Harbour Bridge and Berry’s Bay for 25 Balls Head Road.

**The view impacts of the proposal to vicinity dwellings at No.19-23 Balls Head Road raised in the PreDA meeting in July 2023 as well as within the subsequent two withdrawn development applications have not been addressed.**

## Part 4 – Principal Development Standards

Principal Development Standards – North Sydney Local Environmental Plan 2013			
Site Area - 586.2m <sup>2</sup>	Proposed	Control	Complies
Clause 4.3 – Heights of Building	10.8m Existing Lower Ground Floor to proposed Roof Balustrades	8.5m	No Variation 2.3m (27%)

*\*Refer to Applicant's Clause 4.6 statement below*

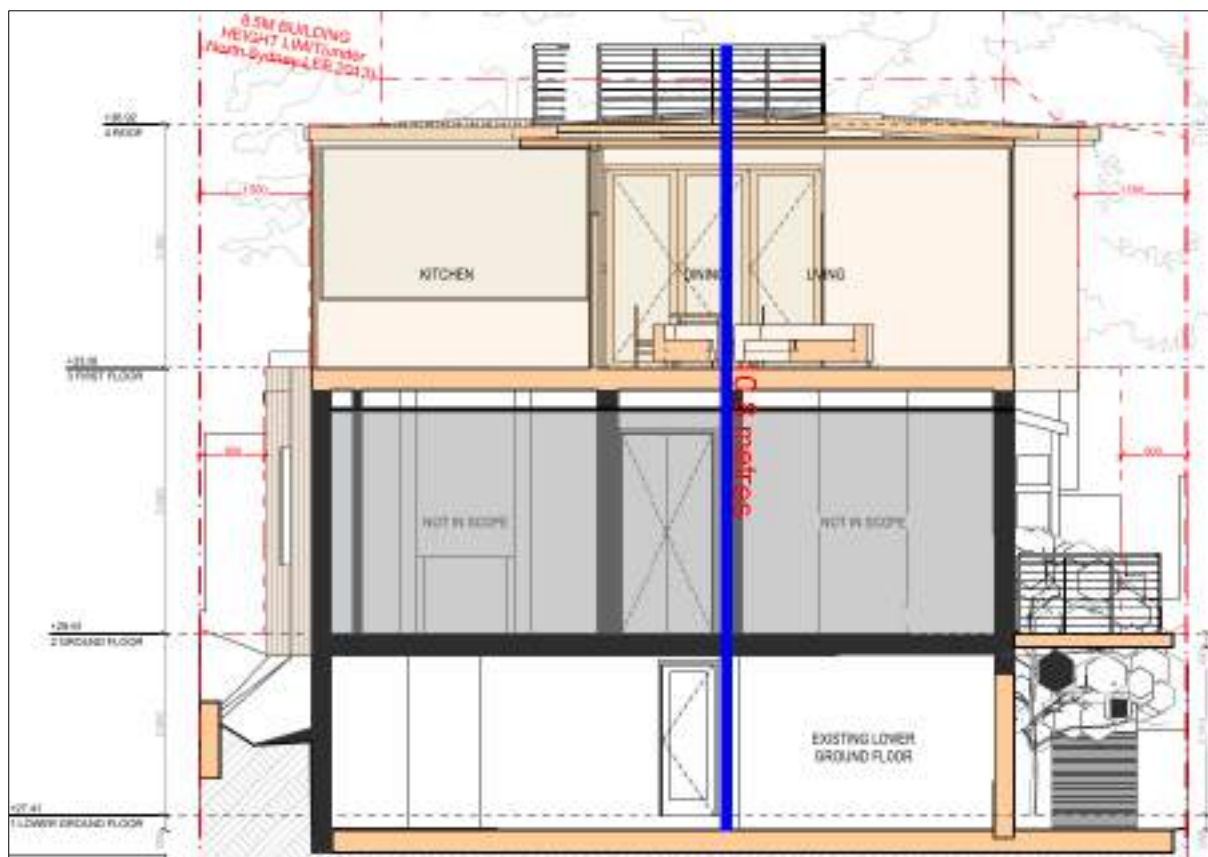
### 3. Height of Building

The Height of Building objectives pursuant to clause 4.3 in *NSLEP 2013* are stated below:

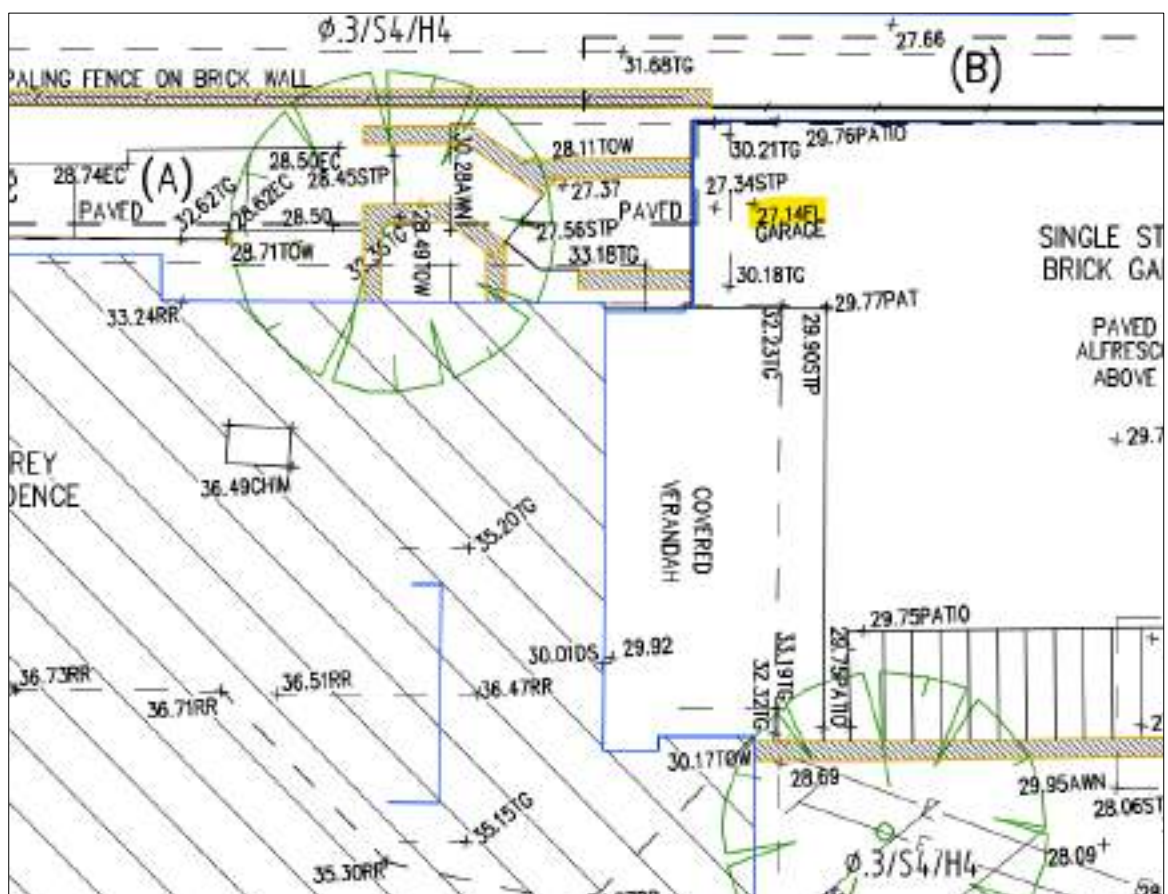
- (a) *to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient,*
- (b) *to promote the retention and, if appropriate, sharing of existing views,*
- (c) *to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development,*
- (d) *to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings,*
- (e) *to ensure compatibility between development, particularly at zone boundaries,*
- (f) *to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area.*
- (g) *to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone C4 Environmental Living.*

The proposed works would have a height of 10.8m measured from the existing Lower Ground Level (RL27.14 Existing Garage Level based on survey plan) to the roof balustrades that does not comply with the permissible height limit of 8.5m in accordance with clause 4.3 in *NSLEP 2013*.





**Figure 7:** Proposed height 10.8 measured from existing Lower Ground Level RL27.14 (Extract from proposed Section C-C)



**Figure 8:** Existing garage level from extract of submitted survey as RL27.14 finished level.

Assessment of Applicant's Clause 4.6 Statement

The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i) of the *Environmental Planning and Assessment Act 1979* in that the Applicant's Clause 4.6 statement is insufficient in that it has not properly addressed the impact of the proposal on the residential amenity of adjoining dwellings including view impact, excavation close to northern boundary, visual privacy and solar access and therefore cannot demonstrate that the exception to the height of building development standard is unreasonable and unnecessary.

The proposal cannot be deemed to be within the public interest due to lack of justification against the objectives of the C14.3 development standard and the objectives of the C4 Environmental Living zone.

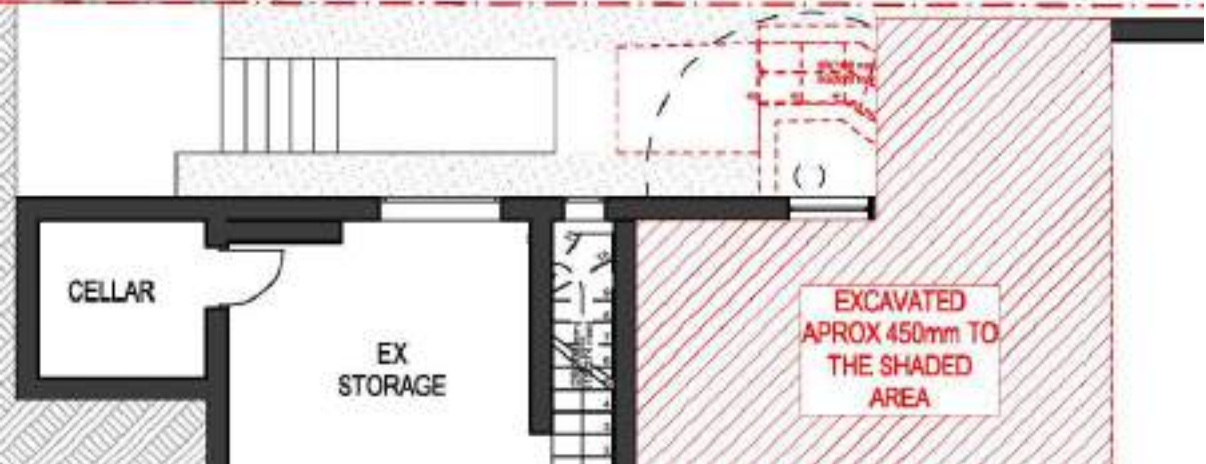
#### 4. Earthworks

The application involves considerable excavation within proximity to site boundaries which is further explored in the DCP assessment table below.

#### NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013

The proposal has been assessment under the following heading within NSDCP 2013:

DEVELOPMENT CONTROL PLAN 2013 – Part B Section 1- Residential Development		
	<i>complies</i>	<i>Comments</i>
<b>1.2 Social Amenity</b>		
<b>1.2.1 Population Mix</b>	Yes	The proposal will not adversely alter the residential population mix within the locality.
<b>1.3 Environmental Criteria</b>		
<b>1.3.1 Topography</b>  <i>O1 To ensure that the natural topography and landform are maintained.</i> <i>O2 To retain existing vegetation and allow for new substantial vegetation and trees.</i> <i>O3 To minimise the adverse effects of excavation on the amenity of neighbouring properties.</i> <i>O4 To minimise excavation and site disturbance so as to retain natural landforms, natural rock faces, sandstone retaining walls and the like and to retain natural water runoff patterns and underground water table and flow patterns.</i> <i>O5 To ensure the structural integrity of adjoining properties.</i>	No	<p>The proposal seeks to demolish portions of the Lower Ground Floor slab and further excavate below ground of approximately 450mm to the west of the existing garage. The application provides only a 200mm setback from the northern boundary for the 450mm excavation of the Lower Ground Floor. No geotechnical report or preliminary engineering report were submitted to support the proposal despite this being raised in the last development application DA78/24 as one of the issues in the withdrawal request letter dated 17/10/2024.</p> <p>Under provision P1, Development that includes excavation must not be carried out unless:</p> <p><i>(a) the development is in accordance with and promotes the objectives to this subsection; and</i></p> <p><i>(b) land stability of the site and adjoining land is preserved; and</i></p> <p><i>(d) adverse effects on other properties are avoided or minimised.</i></p>

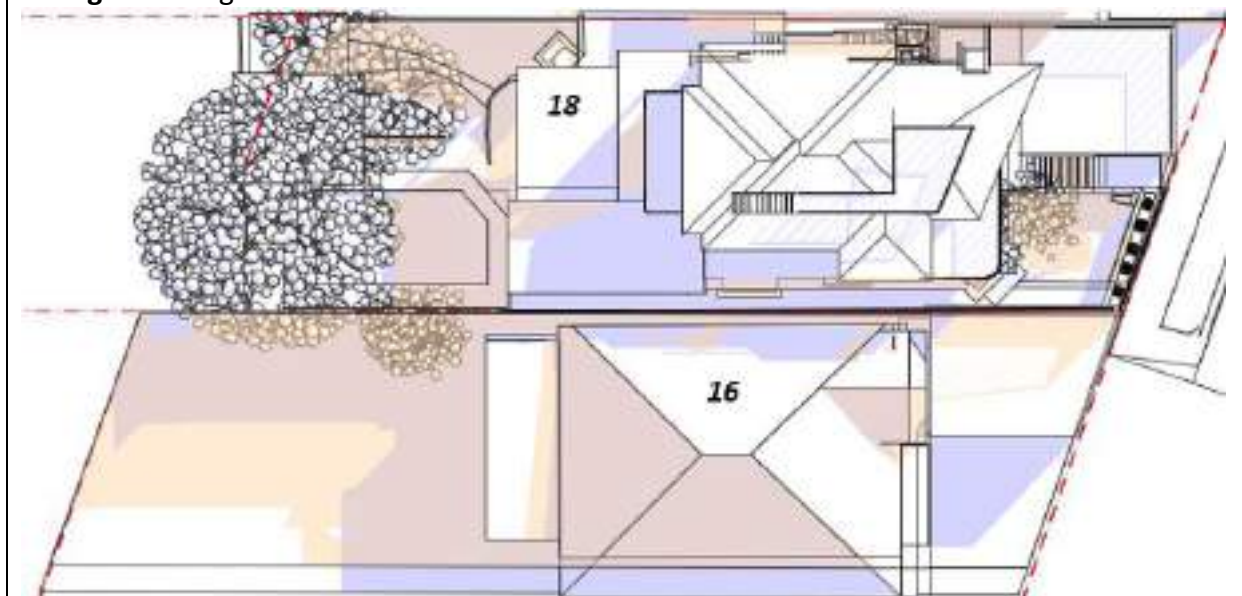
		<p>The proposal is unlikely to retain the existing vegetation on site (frangipani on the northeastern corner) as per the comments from Council's Landscape Development Officer, does not allow for new substantial vegetation and trees, and does not minimise the adverse effects of excavation on neighbouring properties. The subject site comprises an existing site coverage of 55.7% (above the maximum 40% site coverage control) and existing Unbuilt upon area of 29.5% (above the maximum 20% UBA control), and the proposed works should be better designed to protect the existing tree.</p>
<p>Snapshot of proposed demolition on Lower Ground Floor with the frangipani tree that is unlikely to remain from the extent of works:</p>		
		
<p><b>1.3.2 Bushland</b> <i>P1 Development on properties in proximity to bushland must be consistent with the requirements of Part B: Section 15 - Bushland of the DCP.</i> <i>P2 Maintain existing ground levels on land adjoining land zoned C2 Environmental Conservation.</i></p>	<p>No</p>	<p>The proposed excavation of 450mm does not maintain the existing ground levels on land within the C4 Environmental Living zone. Further assessment under Section 15 of DCP is detailed later in this table.</p>
<p><b>1.3.6 Views</b></p>	<p>No</p>	<p>The subject site has views to Berry's Bay, Ball's Head Bay, District views to Sydney CBD, Sydney Harbour, Sydney Harbour Bridge and beyond.</p> <p>Insufficient and inadequate view impact assessment of 25 Balls Head Road has been submitted. The photomontage of the proposed development on a photo taken from the first-floor bedroom of 25 Balls Head Road did not include the proposed roof deck or balustrades and the assessment states the proposal 'would not impact any of the elements of the bridge currently visible' and that the iconic view impact of the proposed development to Sydney Harbour Bridge is negligible. The view impact assessment fails to correctly assess the full scope of the proposed development's impact on views to the Harbour Bridge and Berry's Bay for 25 Balls Head Road.</p> <p>The view impacts of the proposal to vicinity dwellings at No.19-23 Balls Head Road raised in the PreDA meeting in July 2023 as well as within the subsequent two withdrawn development applications have not been addressed.</p>

<p><b>1.3.7 Solar Access</b></p> <p><i>P1 Developments should be designed and sited such that solar access at the winter solstice (21st June) provides a minimum of 3 hours between the hours of 9.00am and 3.00pm to:</i></p> <p><i>(a) any solar panels;</i></p> <p><i>(b) the windows of main internal living areas; (c) principal private open space areas; and</i></p> <p><i>(d) any communal open space areas located on the subject property and any adjoining residential properties.</i></p> <p><i>Note: Main internal living areas excludes bedrooms, studies, laundries, storage areas.</i></p>	<p>Yes</p>	<p>All the windows on the northern elevation of No.16 Larkin Street are windows to bedrooms and laundry only. Windows to the main living space of 16 Larkin Street are located on the southwest corner on the rear elevation and southern elevation only.</p> <p>Due to the configuration of the spaces at No.16 Larkin Street with the window openings on the southwest corner and southern boundary, existing overshadowing to the rear elevation kitchen window by the existing vergola to the rear of No.16 Larkin Street, as well as the constraints of the site being directly south of the subject site, it is difficult to provide a minimum of 3 hours of solar access to the windows of the main internal living space at No.16 Larkin Street.</p> <p>In terms of the private open space of No.16 Larkin Street, the rear terrace and garden of No.16 Larkin Street receives a minimum of three hours of solar access at winter solstice between 12-3pm and is satisfactory in this regard.</p>
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### Proposed Shadow diagram (Winter Solstice 9am)

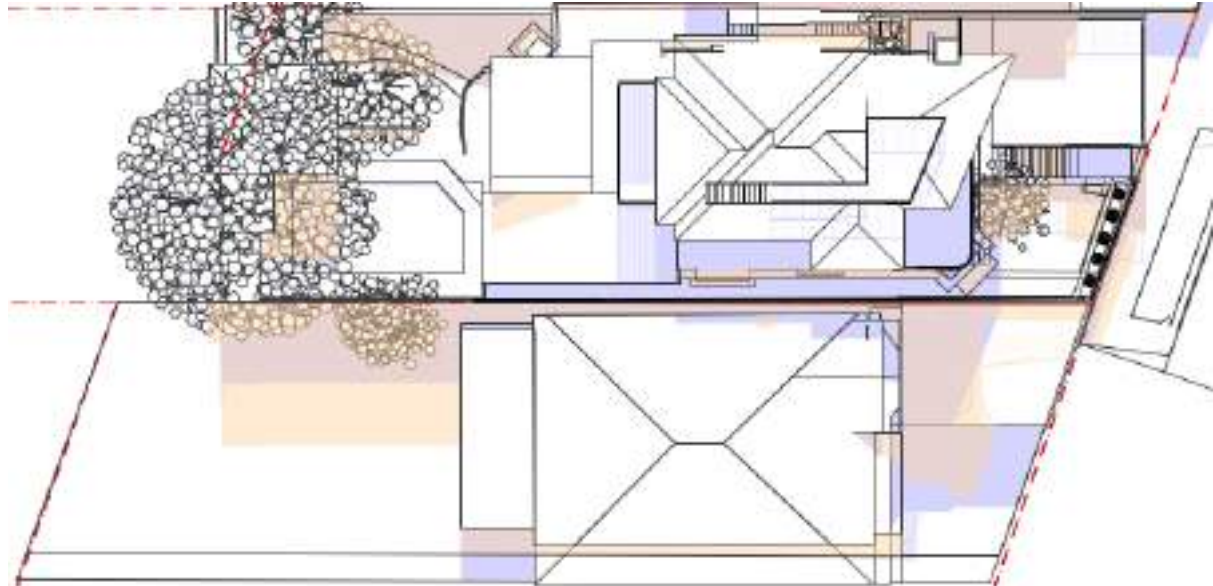
**Purple:** Proposed Shadows

**Orange:** Existing Shadows

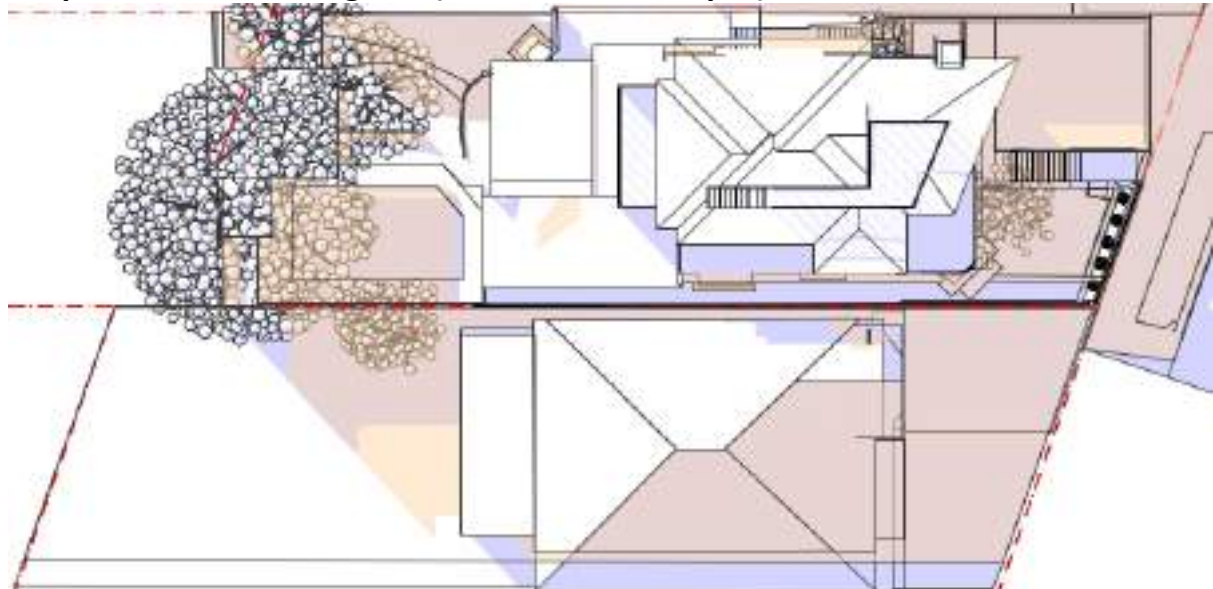




### Proposed Shadow diagram (Winter Solstice 12pm)



### Proposed Shadow diagram (Winter Solstice 3pm)



#### 1.3.8 Acoustic Privacy

O1 To ensure all residents are provided with a reasonable level of acoustic privacy.

No

Standard conditions under the grant of consent relating to noise by mechanical plants will be applied.

The proposed development potentially creates adverse acoustic privacy impact by the proposed First Floor balcony and its proximity to the front master bedroom of No.16 Larkin Street.

For noise impact regarding the deck, please refer to subsection regarding deck structures in s1.3.10 below.

#### 1.3.10 Visual Privacy

O1 To ensure that existing and future residents are provided with a reasonable level of visual privacy.

P8 Despite P7 above, private or communal open spaces on roofs may be considered, but only if:

(a) the space is designed such that there is no potential for existing or future overlooking of the space and subsequent noise and privacy issues; and

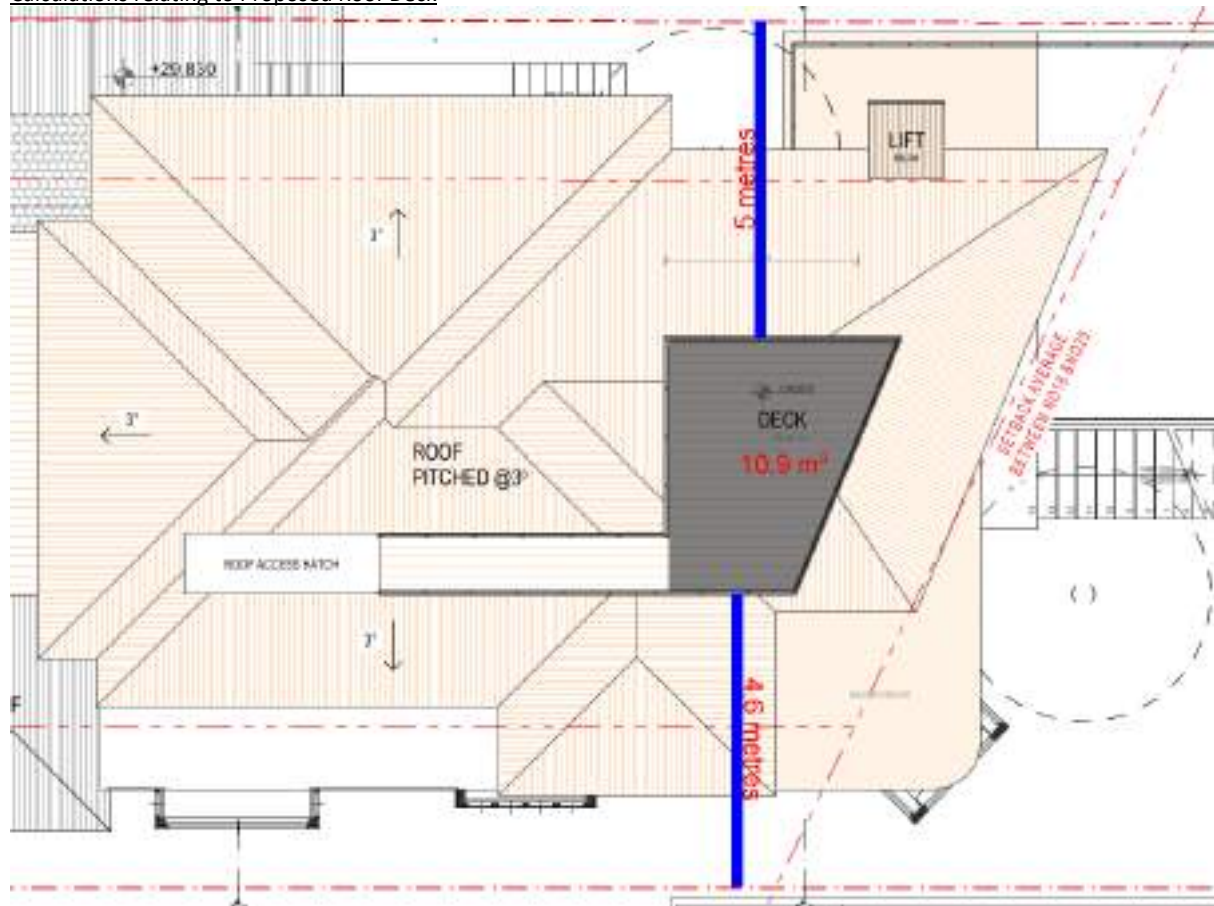
Yes

#### Roof Deck

The proposed roof deck excluding the walkway from the roof access hatch is approximately 11sqm and including the walkway is 16sqm total. The proposed roof deck is set back approximately 5m from the northern boundary and 4.6m from the southern boundary. This is compliant with the maximum 18sqm roof top terrace area control. The proposed roof deck is set back from the extent of the external enclosing walls of the floor level below by a minimum of 1m.

<p>(b) the space is setback at least 1m from the extent of the external enclosing walls to the floor level below; and</p> <p>(c) the space does not exceed 50% of the floor area of the storey immediately below or 18sqm, whichever is the lesser; and</p> <p>(d) there is no other appropriate ground level space for outdoor recreation off a primary living room.</p>	<p>No</p>	<p>The deck has been reduced in size from the previous DA78/24 to be more appropriate in size as a family roof terrace and set back approximately 4.6m (south) and 5m (north) from side boundaries. The elevation difference between the proposed roof deck and the front bedroom of No.16 Larkin Street would also mitigate the level of noise impact. Roof deck is not uncommon on Larkin Street and the proposed roof deck is considered satisfactory.</p> <p>In the previous development application, it was raised to the applicant that the roof deck should be reduced in size to that of a family roof terrace similar to the approval for No.10 Larkin Street in DA414/03 (see history above) whereby the roof deck had to be reduced to a “family roof terrace” than an “entertainment area”.</p> <p><u>First Floor Balcony</u></p> <p>The proposed first floor balcony that exceeds the front setback average of No.16 and No.20 Larkin Street has the potential to create visual privacy impacts to No.16 Larkin Street. Please refer to front setback control assessment below. Under the grant of a consent, a visual privacy screen that extends along the southern boundary of the proposed front balcony is recommended.</p>

Calculations relating to Proposed Roof Deck



#### 1.4 Quality built form

##### 1.4.1 Context

O1 To ensure that the site layout and building design responds to the existing characteristics, opportunities and constraints of the site and within its wider context (adjoining land and the locality).

No

The proposal does not respond to existing opportunities and constraints of the site within its wider context as stated in the locality area character statement under Section 10.0 Waverton/Wollstonecraft Planning Area (refer to left column). The proposal is insufficient in its response to visual impact of structures and the potential disruption of significant views from neighbouring

<p>P1 Proposed developments must be designed to respond to the issues identified in the site analysis and in the relevant area character statement (refer to Part C of the DCP).</p> <p><b>Section 10.0 Waverton/Wollstonecraft Planning Area, the issues identified include:</b></p> <p><u>Environmental Criteria</u></p> <ul style="list-style-type: none"><li>bushland is protected from the adverse effects of development – such as stormwater runoff, spread of introduced plants and weeds, and <b>visual impact of structures</b></li><li>use of local flora extends habitats for native birds and other fauna</li></ul> <p><u>Quality Built Form</u></p> <ul style="list-style-type: none"><li>development in foreshore areas is carefully designed to consider the existing topography and <b>not disrupt views from neighbouring properties</b></li><li>significant views from lookouts and other vantage points are not obscured by structures or landscaping</li></ul>		<p>properties to the iconic Sydney Harbour Bridge, Berry’s Bay and beyond.</p>																										
<p><b>1.4.6 Setback – Side</b></p> <p>O1 To reinforce the characteristic pattern of setbacks and building orientation within the street.</p> <p>O2 To control the bulk and scale of buildings.</p> <p>O3 To provide separation between buildings.</p> <p>O4 To preserve the amenity of existing dwellings and provide amenity to new dwellings in terms of shadowing, privacy, views, ventilation and solar access.</p>	<p>No</p>	<p>While the Lower Ground Level is technically the ground level (existing), in terms of setback when viewed from Larkin Street the proposed Ground Floor level is viewed as the actual commencing level and the assessment has taken this into consideration as per the table below. The proposal on the proposed first floor northern boundary exceeds the side setback control due to the lift structure. The proposal exceeds the north boundary setback control on the Lower Ground Floor and Ground Floor for the new wall and ground floor front terrace floor extension. A geotechnical report and a preliminary engineering report were requested in the previous development application to justify the preservation of amenity to existing and adjoining dwellings and were not submitted. Therefore the objectives of the side setback control regarding preservation of amenity to existing dwellings cannot be satisfied.</p> <table><tr><th>Control</th><th>Existing</th><th>Proposed</th><th>Compliance</th></tr><tr><td colspan="4">Zone C4 (Environmental Living)</td></tr><tr><td rowspan="2">C4 - Lower Ground Floor (Up to 4m) 900mm</td><td>North:</td><td>North:</td><td>No</td></tr><tr><td>200-600mm by retaining wall</td><td>200mm for new wall and concrete slab</td><td></td></tr><tr><td></td><td>South: Dwelling compliant</td><td>South: Dwelling compliant</td><td>Yes</td></tr><tr><td rowspan="2">Ground Floor (Up to 4m) 900mm</td><td>North:</td><td>North:</td><td>No</td></tr><tr><td>Nil (rear terrace and garage) - 2.4m</td><td>200mm from northern boundary for new wall</td><td>Vary by 700mm</td></tr></table>	Control	Existing	Proposed	Compliance	Zone C4 (Environmental Living)				C4 - Lower Ground Floor (Up to 4m) 900mm	North:	North:	No	200-600mm by retaining wall	200mm for new wall and concrete slab			South: Dwelling compliant	South: Dwelling compliant	Yes	Ground Floor (Up to 4m) 900mm	North:	North:	No	Nil (rear terrace and garage) - 2.4m	200mm from northern boundary for new wall	Vary by 700mm
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			(existing study)  <b>South:</b> 700mm (Existing bed) – 1.5m	<b>South:</b> 900mm (external wall)	Yes
		First Floor (up to 7m) 1.5m	<b>North:</b> 2.9m to attic  <b>South:</b> 1.2m (SE window) – 2.1m	<b>North:</b> 1.3m (Lift structure), 1.5m (Bedrooms)  <b>South:</b> 1.5m (Kitchen)	No Vary by: 200mm  Yes
		Roof Deck (Greater than 7m) 2.5m	Not existing	<b>North:</b> 5m  <b>South:</b> 4.6m	Yes
<b>P1 Front setback</b> <ul style="list-style-type: none"><li>To match adjoining properties.</li></ul>	No	The existing ground floor and the proposed First Floor on the southeastern corner of the dwelling does not match the alignment of the primary facades of buildings on adjoining properties No.16 and 20 Larkin Street as per objective of the control.			
<b>P5 Rear Setback – Rear</b> <ul style="list-style-type: none"><li>To match adjoining properties.</li></ul>	Yes	The amended plans propose a rear setback that is consistent with adjoining properties and propose visual privacy screen on either side of the first floor rear deck that is considered satisfactory in maintaining visual privacy to adjoining dwellings.			
<b>1.4.7 Form Massing Scale</b> O1 To ensure the size of new buildings are consistent with surrounding, characteristic buildings and they are not significantly larger than characteristic buildings. P1 The height of buildings is not to exceed that stipulated within cl.4.3 to NSLEP 2013. P2 Where applicable, the number of storeys within a building should be consistent with that identified in the relevant area character statement (refer to Part C of the DCP).	No	The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i) of the <i>Environmental Planning and Assessment Act 1979</i> in that the proposed development does not satisfy the objectives (1a, b, c, d, f, g) and (2) of the height of building control with the breach of the maximum height of building control (8.5m) stipulated in Cl4.3 in <i>NSLEP 2013</i> by 2.7m (27%) measured from the existing lower ground floor to the proposed roof balustrades (total 10.8m) in a C4 Environmental Living zone that seeks to maintain a built form of mainly 1 or 2 storeys in the zone while the roof deck represents a third storey as viewed from the street.  The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i) of the <i>Environmental Planning and Assessment Act 1979</i> in that the proposed development does not satisfy the Area Character Statement for Waverton Neighbourhood in Section 10.6 in Part C of NSDCP 2013 given that the proposal does not promote the desired form, massing and scale as identified in the Area Character Statement for low density and scaled development located along the ridge tops of the area.			



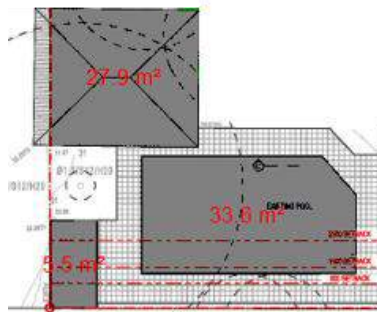
		While the emerging character of Larkin Street includes dwellings with two and three storey forms and roof deck, the view impact assessments for adjoining dwellings and the Clause 4.6 are not satisfactory.																
<b>1.4.8 Built Form Character</b> O1 To ensure that the design of new buildings reflects and reinforces, or is complementary to, the existing character of the locality.	No	The proposed development does not satisfy the Area Character Statement for Waverton Neighbourhood in Section 10.6 in Part C of NSDCP 2013 given that the proposal does not promote the desired built form, for low density and scaled development located along the ridge tops of the area.																
<b>1.4.10 Roofs</b>	Yes	No objections raised.																
<b>1.4.12 Materials</b>	Yes	No objections raised.																
<b>1.5 Quality Urban Environment</b>																		
<b>1.5.5 Site Coverage</b> Site area based on survey: 586.2sqm	No	<p>The proposed site coverage includes: Dwelling incl rear southern wing– 201.6sqm Existing shed – 27.9sqm Pool pump storage (southwestern corner) – 5.5sqm Existing pool – 33.6sqm Existing garage and new slab around lift with existing area of floor slabs below (excl areas of garage directly below ground level and first floor level) – 50.8sqm Front and northern setback external steps – 8sqm</p> <p><b>Site Coverage Calculations</b></p> <table><tr><th>Control</th><th>Existing</th><th>Proposed</th><th>Compliance</th></tr><tr><td><b>Site coverage (max 40% or 234.5sqm)</b></td><td>326.5 (55.7%)</td><td>327.4sqm (55.85%)</td><td>No Variation 15.85% or 92.9sqm</td></tr><tr><td><b>Landscaped area (min.40% of 234.5sqm)</b></td><td>86.8 (14.8%)</td><td>86.8sqm (14.8%)</td><td>No Variation 147.68sqm or 25.2%</td></tr><tr><td><b>Unbuilt-upon area (max20% or 117.24sqm)</b></td><td>172.9sqm (29.5%)</td><td>172sqm (29.35%)</td><td>No Variation 9.35% or 54.8sqm</td></tr></table> <p>The proposed site coverage is non-compliant with the maximum 40% site coverage permissible on site. The increase is from the proposed lift area. The increase in site coverage is unacceptable and considered an overdevelopment of the site.</p>	Control	Existing	Proposed	Compliance	<b>Site coverage (max 40% or 234.5sqm)</b>	326.5 (55.7%)	327.4sqm (55.85%)	No Variation 15.85% or 92.9sqm	<b>Landscaped area (min.40% of 234.5sqm)</b>	86.8 (14.8%)	86.8sqm (14.8%)	No Variation 147.68sqm or 25.2%	<b>Unbuilt-upon area (max20% or 117.24sqm)</b>	172.9sqm (29.5%)	172sqm (29.35%)	No Variation 9.35% or 54.8sqm
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<b>Unbuilt-upon area (max20% or 117.24sqm)</b>	172.9sqm (29.5%)	172sqm (29.35%)	No Variation 9.35% or 54.8sqm															

## Proposed Site Coverage Calculations

### Site coverage (grey) of front portion of site



### Site Coverage (grey) of rear portion of site:



#### 1.5.6 Landscape Area

- (d) maximise retention and absorption of surface drainage water on site;
- (e) minimise obstruction to the underground flow of water;
- (f) promote substantial landscaping, that includes the planting of trees that when mature will have significant canopy cover;
- (g) control site density;
- (h) minimise site disturbance;
- (i) contributes to streetscape and amenity;
- (k) encourage the provision of space for biodiversity conservation and ecological processes; and
- (l) provide a buffer between bushland areas and development.

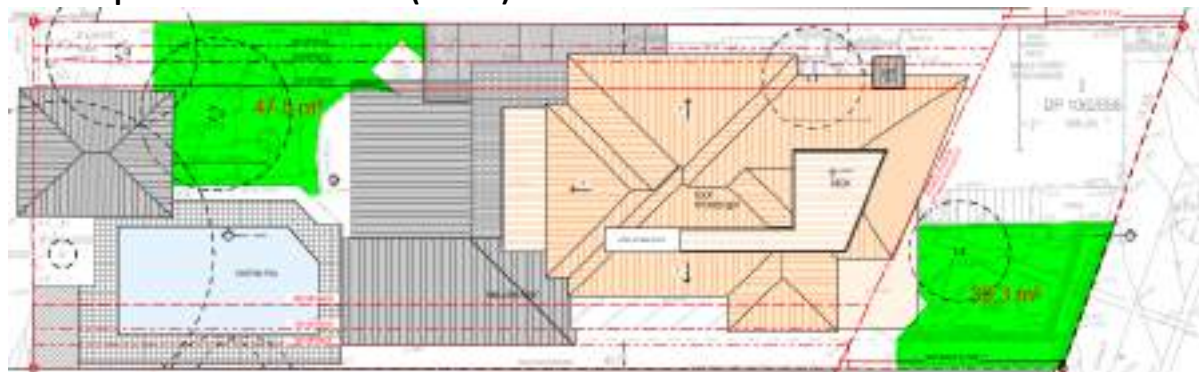
No

The landscaped area remains the same in the proposal as existing.

Control	Existing	Proposed	Compliance
<b>Landscaped area (min.40% of 234.5sqm)</b>	86.8 (14.8%)	86.8sqm (14.8%)	No Variation 147.68sqm or 25.2%

The proposed development is unacceptable as it is contrary to the objectives of this section listed in the left column. The lack of landscape area on site, the unlikely retention of the existing frangipani tree within the northern setback that contributes to the tree canopy on site, and contravention with the objectives to promote substantial landscaping and planting of trees that will contribute to significant canopy cover on maturity, contravention with biodiversity conservation and ecological processes among other objectives are deemed unsatisfactory considering the scale of the proposal sought in this application.

### Landscaped Area Calculations (Green)



<p><b>1.5.7 Landscaping</b></p> <p>O1 Landscaping and planting satisfies minimum performance standards and is sustainable and appropriate to the site.</p> <p>O3 To encourage biodiversity conservation and ecological processes.</p> <p>O4 To provide a buffer between bushland and development.</p> <p>P1 Development on properties in proximity to bushland must be consistent with the requirements of Part B: Section 15 - Bushland of the DCP.</p> <p>P4 Where a development proposes to incorporate plant containers, they should have a minimum diameter of 110mm and a minimum depth of 135mm.</p> <p>P5 Developments should incorporate locally occurring native species to reduce water and fertilizer requirements.</p> <p>P6 Achievement of maximum density, pursuant to Council's controls, will be subject to retention of significant trees (as identified by Council) and other important topographic features.</p> <p>P9 Trees should provide at least 50% canopy cover over landscaped areas at maturity.</p> <p>P11 Council encourages the incorporation of green walls into developments where appropriate.</p>	<p>No</p>	<p>The proposed landscape area as detailed in the calculations above do not comply with the minimum landscape requirements for the site and do not satisfy the bulk of the objectives and provisions listed on the left column of this row. The proposal does not encourage biodiversity conservation and ecological processes with the unlikely retention and impact to the frangipani tree in the northern boundary setback and further excavation of the existing lower ground level by 450mm. Furthermore, the unlikely retention of the tree will further increase non-compliance with P9 and reduce the canopy cover over the minimal landscaped area existing on site.</p>
<p><b>1.5.8 Front Gardens</b></p> <p>O1 To maximise water infiltration on a site. O2 To soften the built form.</p> <p>P4 Plant trees and shrubs that will hang over or through fences.</p> <p>P6 Design front gardens that will soften and complement the view of buildings from the street and surrounding properties.</p>	<p>No</p>	<p>While the proposed front elevation indicates that small plants will be planted on the southeastern frontage to Larkin Street, it provides minimal softening of the built form proposed on site which consists of a lift structure and an additional storey (First Floor) and a proposed rooftop level.</p> <p>P6 seeks for front gardens to soften and complement the view of buildings from the street and surrounding properties. The proposal does not provide sufficient softening of the built form as viewed from the street. The northeastern corner of the site is dominated by an existing garage and terrace above and the Applicant has not provided sufficient strategies to create a softening of the built form as viewed from the street.</p>
<p><b>1.5.9 Private and Communal Open Space</b></p> <ul style="list-style-type: none"> <li>Private open space at ground level – 4m min dimension &amp; 2m above ground level</li> <li>Must be provided off living areas</li> </ul>	<p>Yes</p>	<p>The subject site has an area of 586.2sqm which is required to have a minimum private open space area at ground level of 50sqm. The proposal provides a minimum of 50sqm in the rear yard located on the ground level. The proposal is satisfactory in this regard.</p>

<b>1.5.11 Swimming Pools</b>	N/A	No change to existing pool on site.
<b>1.6 Efficient Use of Resources</b>		
A valid BASIX certificate <b>has not</b> been submitted with the proposal to satisfy the aims of the SEPP (Sustainable Buildings) 2022.		

<b>DEVELOPMENT CONTROL PLAN 2013 – Part B Section 15- Bushland</b>		
	<i><b>complies</b></i>	<i><b>Comments</b></i>
<b>15.1.1 General Objectives</b>		
<b>15.1.1 General Objectives</b>  O1 preserve, manage and rehabilitate bushland for its ecological, cultural, historical, scientific, educational, archaeological, geological, recreational, scenic and visual values; O2 protect and enhance viable native fauna populations and their habitats; O3 preserve remnant bushland on private properties; O4 avoid and mitigate adverse affects on bushland associated with urban development; O5 ensure that private landscaped areas compliment bushland by providing food and habitats for fauna, reducing water and fertilizer requirements and maximising the use of locally indigenous vegetation species; O6 ensure that vegetation is managed and maintained to reduce potential bush fire attack to residential dwellings.	No	The subject site is classified as Bushland Buffer Area A (100m). The proposal does not adequately address the general objectives of this section in terms of ensuring that private landscaped areas compliment bushland as habitats for fauna, maximise the use of locally indigenous vegetation species and mitigate adverse affects on bushland associated with urban development. The proposal does not enhance native fauna habitats.

## **Part C of NSDCP 2013 (Area character Statement)**

### **Section 10.0 - Waverton/Wollstonecraft Planning Area**

#### **Section 10.6 Waverton Neighbourhood**

The proposal is not satisfactory against the desired future character and built form, scale and massing stated in the Area Character Statement as well as other issues outlined above in the DCP table.

### **LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN**

The subject application is recommended for refusal. Conditions requiring the payment of contributions will be provided in an attached condition set if the proposal is to be approved by the Planning Panel.

### **ALL LIKELY IMPACTS OF THE DEVELOPMENT**

All likely impacts of the proposed development have been considered within the context of this report.

ENVIRONMENTAL APPRAISAL	CONSIDERED
1. Statutory Controls	YES
2. Policy Controls	YES
3. Design in relation to existing building and natural environment	YES
4. Landscaping/Open Space Provision	YES
5. Traffic generation and Carparking provision	YES
6. Loading and Servicing facilities	N/A
7. Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	YES
8. Site Management Issues	YES
9. All relevant S4.15 considerations of <i>Environmental Planning and Assessment (Amendment) Act 1979</i>	YES

#### SUBMITTERS CONCERNS

The application was notified to adjoining properties and the Waverton Precinct. Council received five (5) unique submissions where the following matters were raised:-

- Visual Privacy from proposed First Floor front balcony
- Visual Privacy from the Ground Floor Front window
- Solar Access impact
- View Loss for 20 Larkin Street, 25 Balls Head Road, and potentially 21 Bay View Street
- No view impact assessment submitted for 20 Larkin Street
- Contravention of C4 Environmental Living zone
- Height exceedance
- Side setback non-compliance
- Form, Massing and Scale
- Overdevelopment
- Uncharacteristic development in C4 Environmental Living zone and the Waverton Neighbourhood Area Character Statement
- Lack of clarity and detail in plans and supporting documentation
- Potential for use as dual occupancy and follow on impacts
- Roof deck framing unattractive and obtrusive
- Roof deck unnecessary as top floor balcony allows ample view space
- Potential for weather cover to be built in the future over roof deck if approved
- Not in public interest as per s4.15 of EP&A Act

**Comment:** The subject development application recommends refusal to the North Sydney Local Planning Panel due to various reasons including insufficient and inadequate information for the Clause 4.6 statement, view loss impact assessment, geotechnical and preliminary engineering report. Visual privacy issues pertaining to the first-floor front balcony and proposed roof deck remain. While the proposal has made some improvements from the previous development applications, it is still strongly deficient in detail and is recommended for refusal.

## **PUBLIC INTEREST**

The proposal is not considered to be in the public interest for the reasons stated throughout this report.

## **SUITABILITY OF THE SITE**

The proposal would be located in a C4 Environmental Living zone where alterations and additions to an existing detached dwelling are a permissible form of development.

## **CONCLUSION + REASONS**

The proposal was considered under the relevant Environmental Planning Instruments and policies including *NSLEP 2013* and *NSDCP 2013* and found to be unsatisfactory.

The application proposes alterations and additions to a detached dwelling house that is a permissible form of development in the C4 Environmental Living zone.

The Clause 4.6 written submission submitted by the applicant is not acceptable as it has not properly assessed the impact of the proposal on the residential amenity of adjoining dwellings including visual and acoustic privacy, view loss and excavation close to boundaries and therefore cannot demonstrate that the exception to the height of building development standard is unreasonable and unnecessary.

Council received five (5) unique submissions that raised concerns about various issues that have been discussed in this report.

Having regard to the merits of the proposal, the application is recommended for refusal for the reasons provided below.

## **HOW WERE THE COMMUNITY VIEWS TAKEN INTO CONSIDERATION?**

The original plans of the subject application (dated 13 March 2024) was notified to adjoining properties and the Waverton Precinct for 14 days where a number of issues were raised that have been addressed in this report and partially resolved in the amended plans.

## RECOMMENDATION

PURSUANT TO SECTION 4.16 OF ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

**THAT** the North Sydney Local Planning Panel, exercising the functions of Council as the consent authority, resolve to refuse development consent to Development Application No.78/24 for development relating to alterations and additions on land at 18 Larkin Street, Waverton, as shown on plans dated 10 October 2024, for the following eight (8) reasons:-

### 1. Insufficient information

The proposal is unacceptable because the applicant failed to submit sufficient information to support the application.

- A. View Impact Assessment for 19 – 25 Larkin Street
- B. Architectural Plans:
  - (i) The floor plans on the Ground Floor do not contain its uses.
  - (ii) The height (RL) of the roof ridge, roof balustrades and the depth of excavation (RL) are not clearly detailed on the plans.
  - (iii) The height (RL) of each existing and proposed level are not annotated clearly on the floor plans and elevations.
- C. Landscape Details/Plan
- D. BASIX Certification
- E. Geotechnical Report
- F. Preliminary Engineering Report

#### **Particulars:**

- (i) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not provide sufficient information to allow for a proper assessment against *NSLEP 2013* in regard to:
  - (a) Part 1, s1.2(2a), (2bi), (2bii), (ci), (ei) in the Aims of Plan including ensuring that new development does not adversely affect residential amenity, and the objectives of Part B, s1.4.6 (O4) Setbacks with NSDCP 2013 to preserve the amenity of existing dwellings and provide amenity to new dwellings in terms of privacy and views.
- (ii) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i), (1)(a)(iii) and (1)(b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not provide sufficient information to allow for a proper assessment against *NSLEP 2013* in regard to the satisfaction of the objective of the C4 (Environmental Living) zone in the Land Use Table in Part 2 of *NSLEP 2013*.
- (iii) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i), (1)(a)(iii) and (1)(b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not provide sufficient information to allow for a proper assessment against *NSLEP 2013* in regard to the satisfaction of the type of development (attached dual occupancy or detached dwelling) and its permissibility in the C4 (Environmental Living) zone in the Land Use Table in Part 2 of *NSLEP 2013*.

- (iv) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i) and (1)(b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not provide sufficient information to allow for a proper assessment against *NSLEP 2013* in regard to:
  - (b) Part 4 Principal Development Standards Cl4.3(1)(a – g), with exception of e) and Cl4.3(2)
- (v) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i) and (1)(b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not provide sufficient information to allow for a proper and complete assessment of Cl4.6 Exceptions to development standard objectives against *NSLEP 2013* in regard to the achievement of better outcomes in the contravention of development standards.
- (vi) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i) and (1)(b) of the *Environmental Planning and Assessment Act 1979* in that the Applicant's Clause 4.6 statement is not acceptable as it has not properly assessed the impact of the proposal on the residential amenity of adjoining dwellings and therefore cannot demonstrate that the exception to the height of building development standard is unreasonable and unnecessary.

## **2. Inconsistent/Inaccurate Information**

The inconsistency and inaccuracies in the plans package dated 31 January 2025 is unacceptable because it does not allow for an accurate assessment of the proposal.

### ***Particulars:***

- (i) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development inconsistent or inaccurate across the architectural plans set.
- (ii) The proposed eastern elevation incorrectly included the approved design of No.20 Larkin Street (DA88/21/4) that has not commenced construction.
- (iii) The rooftop balustrades in Section AA are inaccurate and inconsistent with the rest of the plans.
- (iv) The diagonal lines under the Ground Floor southern elevation cladding in Section AA and across the architectural plans package are inaccurate and inconsistent with the floor plans, appearing as a cantilever to the proposed development.

## **3. Inappropriate context, height, bulk and scale and built form**

The proposed development is unacceptable because of its inappropriate design with excessive height, bulk and scale within the context of the C4 Environmental Living zone and the Waverton Neighbourhood.



**Particulars:**

- (i) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i) and (1)(b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not satisfy the objectives (1a, b, c, d, f, g) and (2) of the height of building control with the breach of the maximum height of building control (8.5m) stipulated in Cl4.3 in *NSLEP 2013* by 2.3m (27%) measured from the existing lower ground floor to the proposed roof balustrades (total 10.8m) in a C4 Environmental Living zone that seeks to maintain a built form of mainly 1 or 2 storeys in the zone.
- (ii) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i) and (b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not achieve the objectives of the C4 Environmental Living zone in regard to low impact residential development and ensuring a high level of residential amenity is achieved and maintained.
- (iii) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(iii) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not satisfy the Area Character Statement for Waverton Neighbourhood in Section 10.6 in Part C of *NSDCP 2013* given that the proposal does not promote the desired form, massing and scale as identified in the Area Character Statement for low density and scaled development located along the ridge tops of the area.
- (iv) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(iii) and (b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not satisfy Part 1, Cl1.2(2)(a) to promote development appropriate to its context, and Cl1.2(2)(b)(i) to ensure new development is compatible with the desired future character of an area in terms of bulk, scale and appearance.
- (v) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(iii) and (b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not satisfy s1.4.6 Setbacks (Front) setback control on the Proposed First Floor to match the alignment of the primary facades of buildings on adjoining properties (O1), to control the bulk and scale of buildings (O2), to provide separation between buildings (O3), and to preserve the amenity of existing dwellings and provide amenity to new dwellings in terms of shadowing, privacy, views, ventilation and solar access (O4).
- (vi) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(iii) and (b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not satisfy s1.4.6 Setbacks (Side) setback control of 2.5m minimum setback requirement for development above 7m height caused by the proposed lift.

**4. Overdevelopment**

The proposed development is unacceptable because it constitutes overdevelopment on site and a poor landscaping and residential amenity outcome.

**Particulars:**

- (i) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i) and(iii) and (b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development is an overdevelopment of the subject site and is contrary to aim 1.2 (2)(a) in *NSLEP 2013* as well as sections 1.5.5 and 1.5.6 in Part B of *NSDCP 2013*.
- (ii) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(i) and s4.15(1)(a)(iii) of the *Environmental Planning and Assessment Act 1979* in that the proposed development does not satisfy the objective of the C4 Environment Living zone in the Land Use Table in Part 2 of *NSLEP 2013* because of the proposed development with a non-complying and further exceedance of the site coverage control and does not promote a high level of residential amenity.
- (iii) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(iii) of the *Environmental Planning and Assessment Act 1979* in that the proposed development is contrary to Section 1.5.5 in Part B of *NSDCP 2013* because the proposal is not consistent with the objectives of site coverage and does not comply with the maximum site coverage requirements.
- (iv) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(iii) of the *Environmental Planning and Assessment Act 1979* in that the proposed development is contrary to Section 1.5.6 in Part B of *North Sydney DCP 2013* because the proposal is not consistent with the objectives of landscaped area and does not comply with the minimum landscaped area and maximum unbuilt upon area requirements.

**5. Unacceptable Visual and Acoustic Impact from Proposed First Floor Front Balcony**

The proposed development is unacceptable because the amenity of the adjoining properties would be adversely impacted due to the proposed first floor front balcony.

**Particulars:**

- (i) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development consists of likely impacts to the social and built environments.
- (ii) The proposed development is unacceptable pursuant to the provisions of s. 4.15(1)(a) (i) of the *Environmental Planning and Assessment Act 1979* in that it fails to satisfy the objectives of *NSLEP 2013* C4 Environmental Living zone as it does not ensure that the proposed development achieves and maintains the high level of residential amenity for adjoining dwellings by the proposed first-floor front balcony and roof deck.
- (iii) The application is considered to be unacceptable pursuant to the provisions of s. 4.15(1)(a)(iii) of the *Environmental Planning and Assessment Act 1979* in that the proposed development is contrary to Section 1.3.10 Visual Privacy in Part B of *NSDCP 2013* because the proposal does not ensure that existing and future residents are provided with a reasonable level of visual privacy from the proposed roof deck.

## 6. Views

The proposed development is unacceptable as it does not ensure that a high level of residential amenity in terms of views identified in the Area Character Statement and towards the iconic view of Sydney Harbour Bridge are maintained and achieved on the site and adjoining dwellings.

### **Particulars:**

- (i) The proposed development is unacceptable pursuant to the provisions of s. 4.15(1)(a) (b) (c) and (d) of the *Environmental Planning and Assessment Act 1979* to the objectives of NSLEP 2014 C4 Environmental Living zone as it does not ensure that the proposed development achieves and maintains the high level of residential amenity on the site and adjoining dwellings, and the provision of low impact residential development that ensures no adverse effect on the special ecological, scientific or aesthetic values.

## 7. Landscaping

The proposed development is unacceptable because of the poor landscaping outcome.

### **Particulars:**

- (i) The proposed development is unacceptable pursuant to the provisions of s.4.15(1)(a)(iii) and (1)(b) of the *Environmental Planning and Assessment Act 1979* because the proposal is not satisfactory regarding the likely environmental impacts on the natural environment in the C4 Environmental Living zone and the site zoned as Bushland Buffer Area A (100m). The proposal is unlikely to successfully retain the existing mature *Plumeria sp.* (frangipani) within the northeastern setback (side) of the site, proposes increased excavation of 450mm on the Lower Ground Floor and proposes development 200mm from the northern boundary. No landscape plan and Arborist Report are submitted to support the proposal.
- (ii) The proposed development is unacceptable pursuant to the provisions of s.4.15(1)(a) (iii) of the *Environmental Planning and Assessment Act 1979* in that the proposed development is contrary to Section 1.5.6 Landscape Area and Section 1.5.7 Landscaping within NSDCP 2013 to promote substantial landscaping that includes the planting of trees that when mature will have a significant canopy cover (s1.5.6)(f), minimise site disturbance (s1.5.6)(h), contributes to streetscape and amenity (s1.5.6)(i), encourage the provision of space for biodiversity conservation and ecological processes (k), landscaping and planting that satisfies minimum performance standards and is sustainable and appropriate to the site (s1.5.7)(O1), encourage biodiversity conservation and ecological processes (s1.5.7)(O3).
- (iii) The proposed development is unacceptable pursuant to the provisions of s.4.15(1)(a)(iii) and (b) of the *Environmental Planning and Assessment Act 1979* in that the proposed development is contrary to Section 1.5.8 (O1) Front Gardens objective O1 to soften the built form.

## **8. Public Interest**

The proposed development is unacceptable pursuant to the provisions of s.4.15(1)(e) of the *Environmental Planning and Assessment Act 1979* in that the approval of the proposed development is not in public interest because of the excessive height, bulk and scale and non-compliant front setback, side setbacks, poor landscaping outcome and the potential adverse impacts on the residential amenity of the adjoining properties.

### ***Particulars:***

- (i) The proposed development is unacceptable pursuant to the provisions of s.4.15(1)(e) of the *Environmental Planning and Assessment Act 1979* in that the approval of the proposed development is not in public interest because of the potential adverse impacts on the C4 Environmental Living zone, overdevelopment and the landscaping quality of the subject site and the locality and the adverse impacts on the residential amenity including potential impacts to views, solar access, visual and acoustic privacy, and streetscape of the locality.

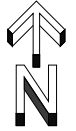
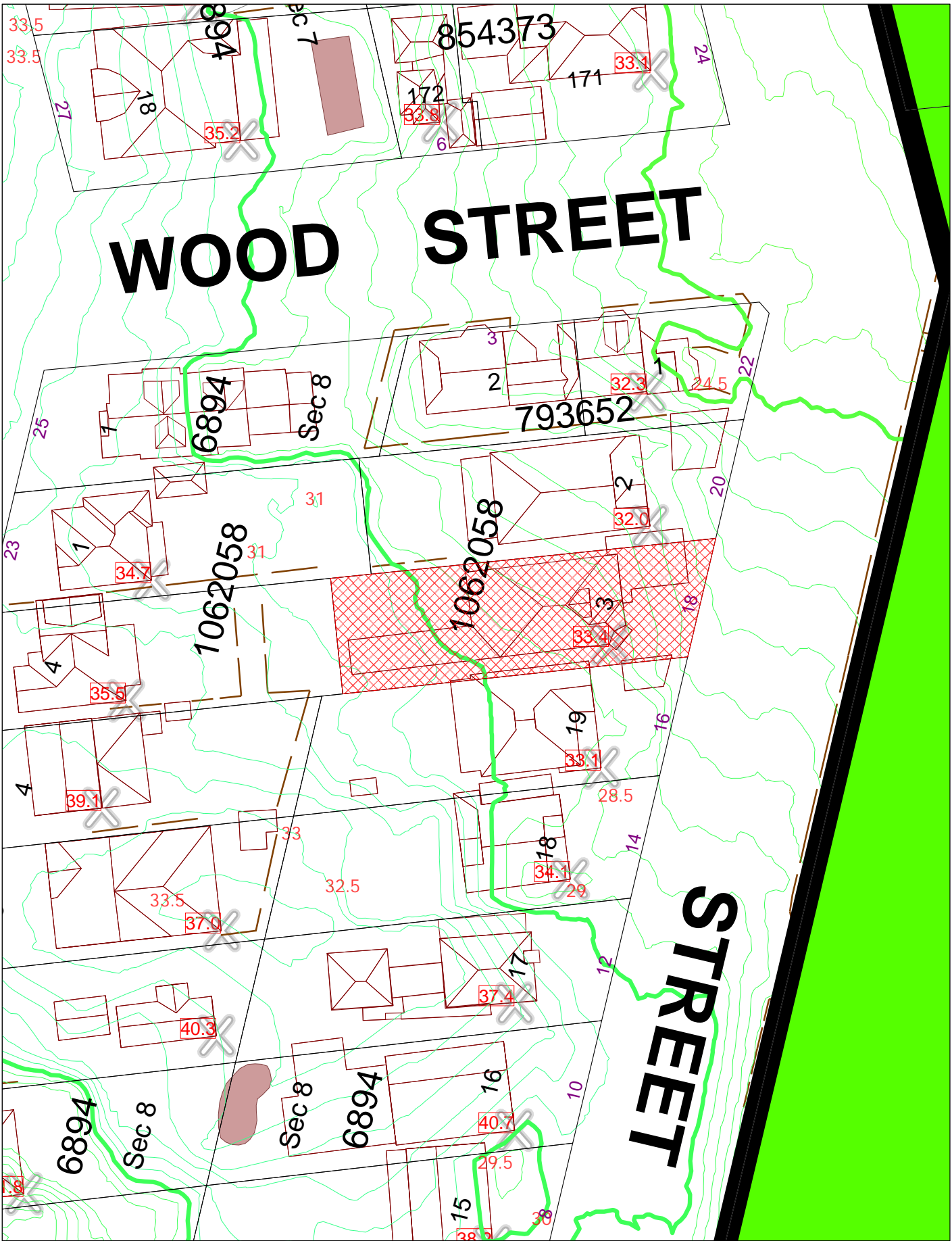
**RACHEL WU**  
**ASSESSMENT OFFICER**

Dated: 13/5/2025

**ISOBELLA LUCIC**  
**TEAM LEADER (ASSESSMENTS)**

**STEPHEN BEATTIE**  
**MANAGER DEVELOPMENT SERVICES**

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NOTE:

THE BOUNDARY INFORMATION SHOWN ON THIS PLAN REGARDING THE LOCATION OF THE PROPERTY BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9.1(1) OF THE "SURVEYING AND SPATIAL INFORMATION REGULATION 2017" AND IS ACCURATE TO ABOUT +0.05m. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.

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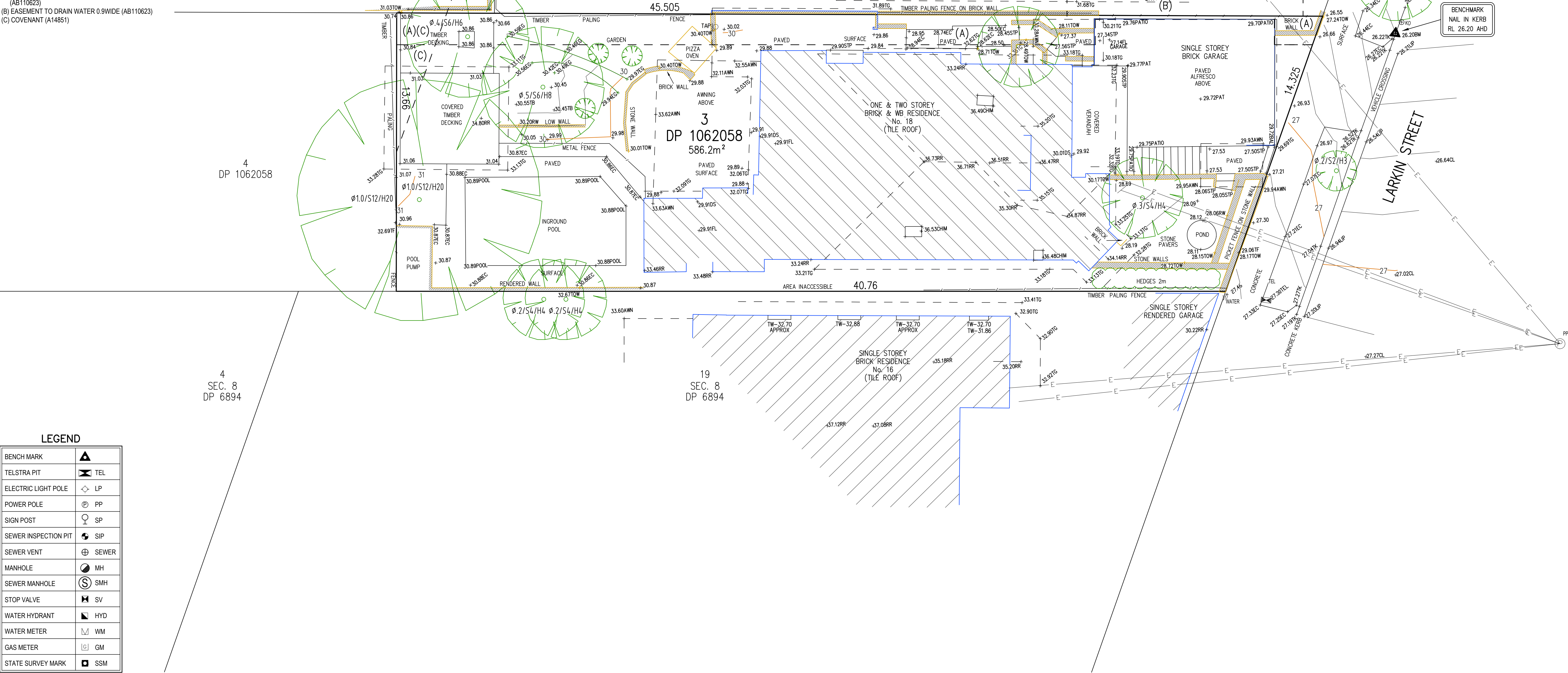
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LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING SSM 53635 WITH RL 35.326 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

(A) EASEMENT TO DRAIN WATER 1.4 WIDE AND 0.16 WIDE (AB110623)  
(B) EASEMENT TO DRAIN WATER 0.9WIDE (AB110623)  
(C) COVENANT (A14851)

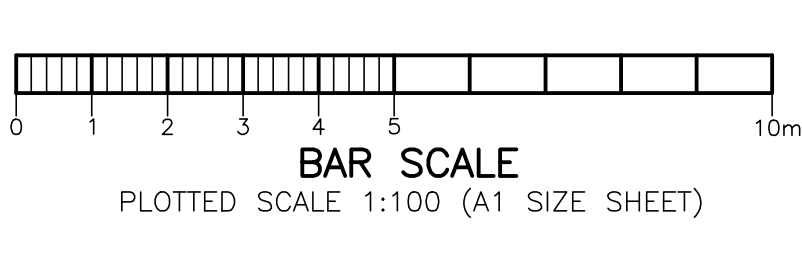


LEGEND	
BENCH MARK	▲
TELSTRA PIT	⬮ TEL
ELECTRIC LIGHT POLE	⬮ LP
POWER POLE	⬮ PP
SIGN POST	⬮ SP
SEWER INSPECTION PIT	⬮ SIP
SEWER VENT	⬮ SEWER
MANHOLE	⬮ MH
SEWER MANHOLE	⬮ SMH
STOP VALVE	⬮ SV
WATER HYDRANT	⬮ HYD
WATER METER	⬮ WM
GAS METER	⬮ GM
STATE SURVEY MARK	⬮ SSM

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REVISION No.	REVISION DATE:	COMMENT:

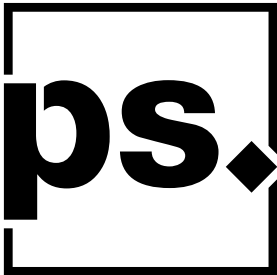
LEGEND:  
EB - EDGE OF BITUMEN  
EC - EDGE OF CONCRETE  
TB - TOP OF BANK  
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TW - TOP OF WINDOW  
BW - BOTTOM OF WINDOW  
TG - TOP OF GUTTER  
RR - ROOF RIDGE  
FL - FLOOR LEVEL  
INV - INVERT LEVEL  
ELEC - ELECTRICAL PIT  
Ø.4/S10/H16 - DIAMETER/SPREAD/HEIGHT



PLAN SHOWING DETAIL & LEVELS OVER LOT 3 IN DP1062058	
CLIENT: TONY BAUER	DATE: 28/08/2020
PROJECT: WAVERTON	DRAWN: JH
ADDRESS: 18 LARKIN STREET, WAVERTON	CHK: SF

JOB No.: 201524	LGA: NORTH SYDNEY
PLAN No.: 201524-1	DATUM: AHD
DATE: 28/08/2020	SCALE: 1:100@A1
DRAWN: JH	CONT. INTERVAL: 0.20m
CHK: SF	SHEET 1 OF 1





SITE LOCATION

DRAWINGS LIST

DRAWING ...	DESCRIPTION
02	SURVEY
03	SITE ANALYSIS PLAN
04	SITE PLAN
05	EXISTING LOWER GROUND FLOOR PLAN
06	EXISTING GROUND FLOOR PLAN
07	EXISTING ATTIC PLAN
08	LOWER GROUND FLOOR DEMOLITION ...
09	GROUND FLOOR DEMOLITION PLAN
10	ROOF DEMOLITION PLAN
11	PROPOSED LOWER GROUND FLOOR P...
12	PROPOSED GROUND FLOOR PLAN
13	PROPOSED FIRST FLOOR PLAN
14	PROPOSED ROOF PLAN
15	EAST AND WEST ELEVATION
16	NORTH ELEVATION
17	SOUTH ELEVATION
18	EAST ELEVATION WITH 20 LARKIN ST
19	WEST ELEVATION WITH 20 LARKIN ST
20	SECTION A-A & B-B
21	SECTION C-C
22	OPENING SCHEDULE
23	CALCULATIONS
24	FINISHES SCHEDULE - FRONT
25	FINISHES SCHEDULE - BACK
26	SHADOWS ON 21ST JUNE @ 9 AM
27	SHADOWS ON 21ST JUNE @ 10AM
28	SHADOWS ON 21ST JUNE @ 11AM
29	SHADOWS ON 21ST JUNE @ 12 NOON
30	SHADOWS ON 21ST JUNE @ 1PM
31	SHADOWS ON 21ST JUNE @ 2PM
32	SHADOWS ON 21ST JUNE @ 3 PM
33	CONSTRUCTION MANAGEMENT PLAN
35	NOTIFICATION PLAN
36	EROSION AND SEDIMENT CONTROL PL...
37	GENERAL NOTES
38	GENERAL NOTES
39	3D VIEWS
40	REAR NEIGHBOUR VIEW

PROJECT DETAILS

OWNER/S  
TONY BAUER

ADDRESS  
18 LARKIN STREET,  
WAVERTON, NSW 2060

PROJECT  
ALTERATIONS AND  
ADDITIONS

DATE  
Friday, 31 January 2025

JOB NO  
4322

planshop.

a: bay 5, 2 locomotive st, south eveleigh, 2015  
p: +612 9181 2820  
e: info@planshop.com.au  
www.planshop.com.au  
Martin Taylor nominated architect nsw 10509

DEVELOPMENT APPLICATION

NORTH SYDNEY COUNCIL

NOTE:

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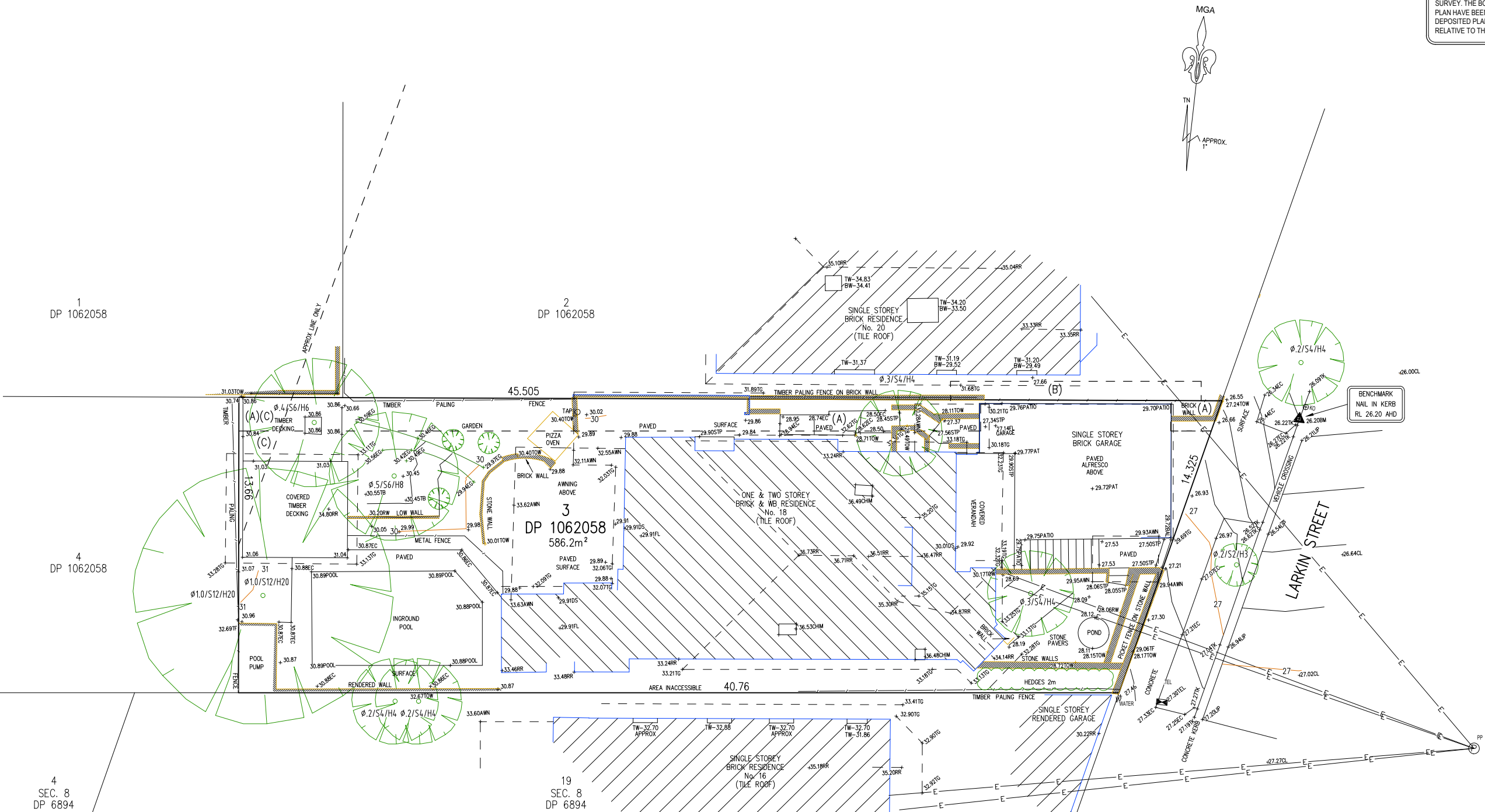
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(C) COVENANT (A14851)

BOUNDARIES HAVE NOT BEEN LOCATED BY SURVEY. THE BOUNDARIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM THE TITLE DEPOSITED PLAN AND ARE APPROXIMATE RELATIVE TO THE DETAIL SURVEY.



LEGEND

BENCH MARK	▲
TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP
SIGN POST	SP
SEWER INSPECTION PIT	SIP
SEWER VENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV
WATER HYDRANT	HYD
WATER METER	WM
GAS METER	GM
STATE SURVEY MARK	SSM

NOTE:

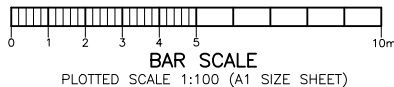
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Ø4/S10/H16 - DIAMETER/SPREAD/HEIGHT



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OVER LOT 3 IN DP1062058

CLIENT: TONY BAUER  
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DATE: 28/08/2020	SCALE: 1:100@A1
DRAWN: JH	CONT. INTERVAL: 0.20m
CHK: SF	SHEET 1 OF 1



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NOTES

- ALL CONSTRUCTION AND DEMOLITION WORKS TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA.

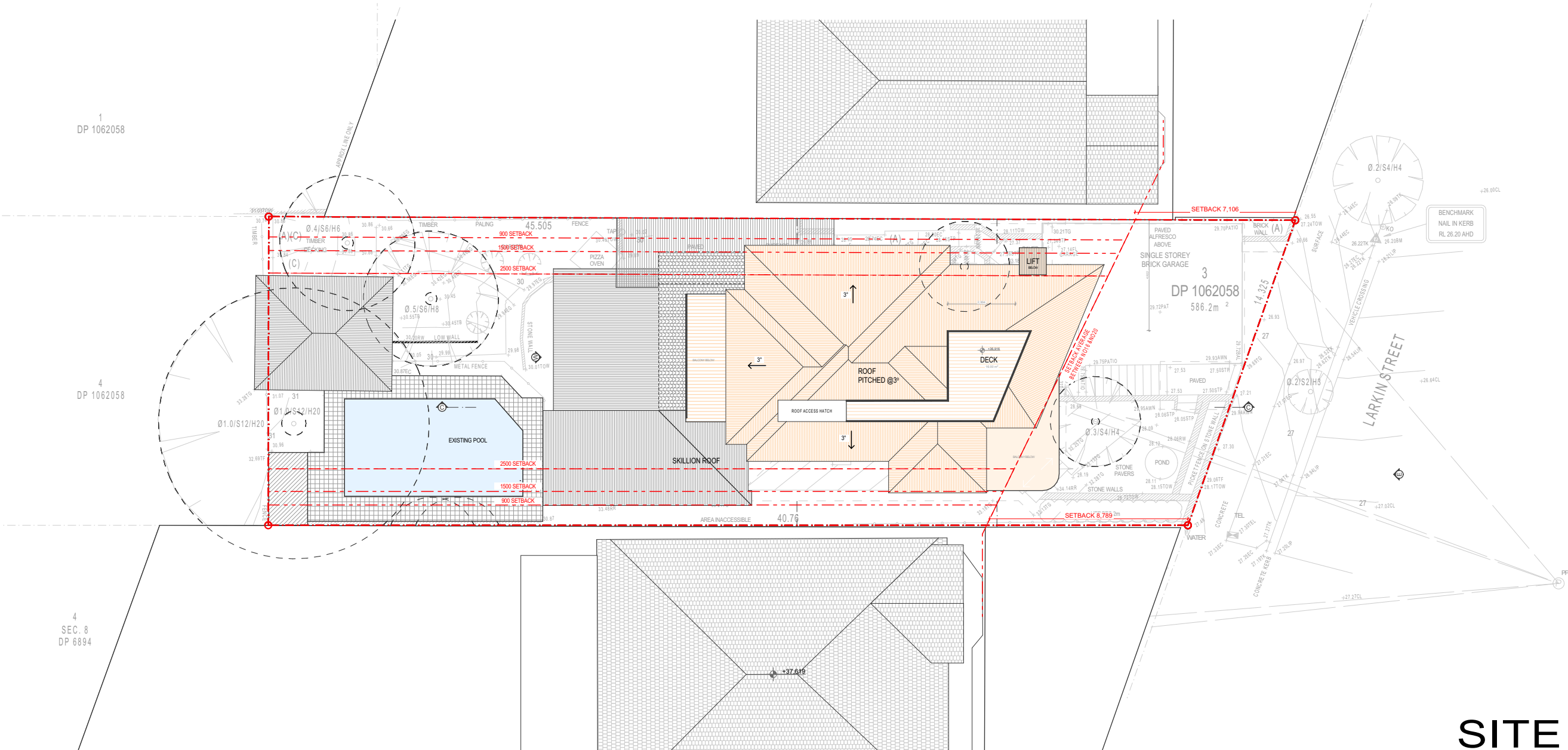
- MEASUREMENTS TO BE CHECKED ON SITE AND ADJUSTED WHERE NECESSARY TO SUIT EXISTING CONDITIONS.

- LEVELS SHOWN ARE OBTAINED FROM INITIAL SITE WORKS SURVEY BY SURELINE ENGINEERING SURVEYS PTY LTD.

TERMITE PROTECTION

TERMIMESH TERMITE PROTECTION SYSTEM TO BE USED IN THE PROTECTION AGAINST SUBTERANEAN TERMITES IN ACCORDANCE WITH AS3660.1:2000 AND TO MANUFACTURERS SPECIFICATIONS

DEVELOPMENT APPLICATION TABLE		
DESCRIPTION	AREA	
SITE AREA	586.12 m <sup>2</sup>	
	EXISTING	PROPOSED
GROUND FLOOR AREA	167.04 m <sup>2</sup>	167.04 m <sup>2</sup>
FIRST FLOOR AREA / ATTIC FLOOR AREA	33.25 m <sup>2</sup>	114.26 m <sup>2</sup>
TOTAL FLOOR AREA	200.29 m <sup>2</sup>	281.30 m <sup>2</sup>
FLOOR SPACE RATIO	0.34 :1	0.48 :1
SITE COVERAGE	449.82 m <sup>2</sup> (76.75%)	449.82 m <sup>2</sup> (76.75%)
LANDSCAPE AREA	86.45 m <sup>2</sup> (14.75%)	86.45 m <sup>2</sup> (14.75%)



0 1 2 3 4 5m 10m SCALE 1:200 - A3		
BY	DATE	REVISION



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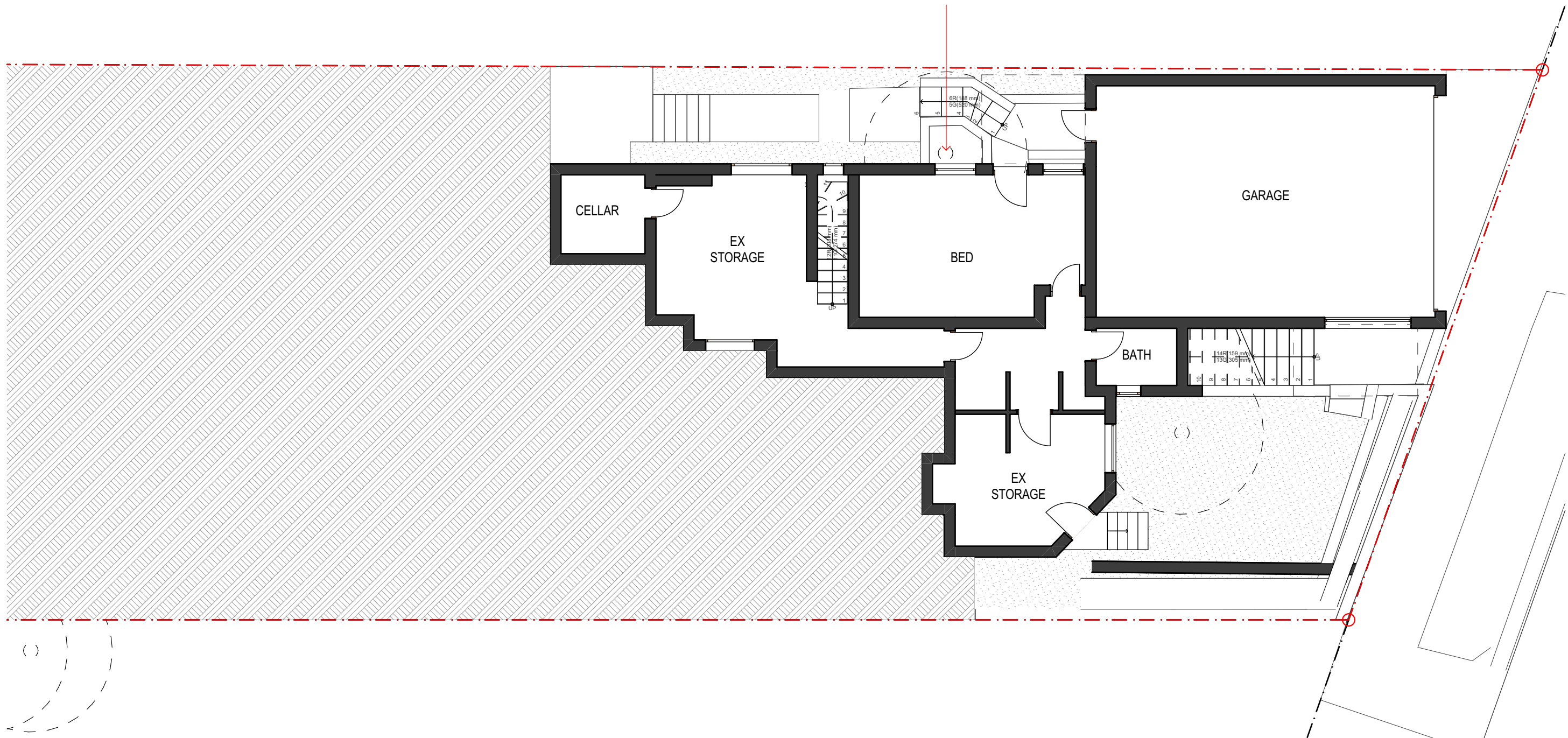
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'Martin Taylor nominated architect nsw 10509'  
p. 0452 517 125

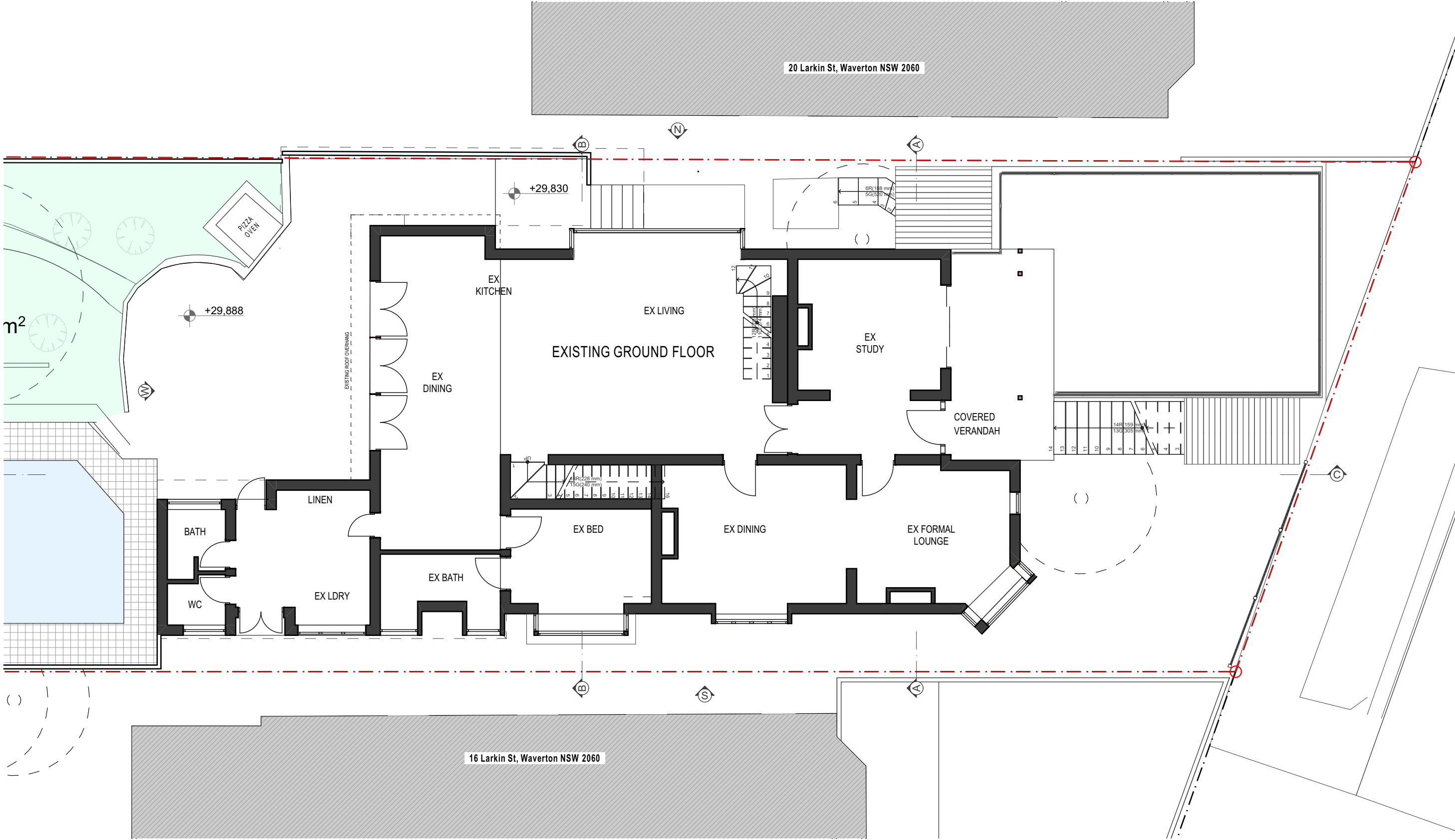
DO NOT SCALE OFF DRAWING		
SURVEYORS TOTAL SURVEYING SOLUTIONS	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE 31/01/2025
TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060	DRN/CHK PA
PURPOSE DEVELOPMENT APPLICATION	CLIENT TONY BAUER	SCALE 1:100, 1:200
LGA NORTH SYDNEY COUNCIL		DRAWING No. DR-4322 SHEET 04





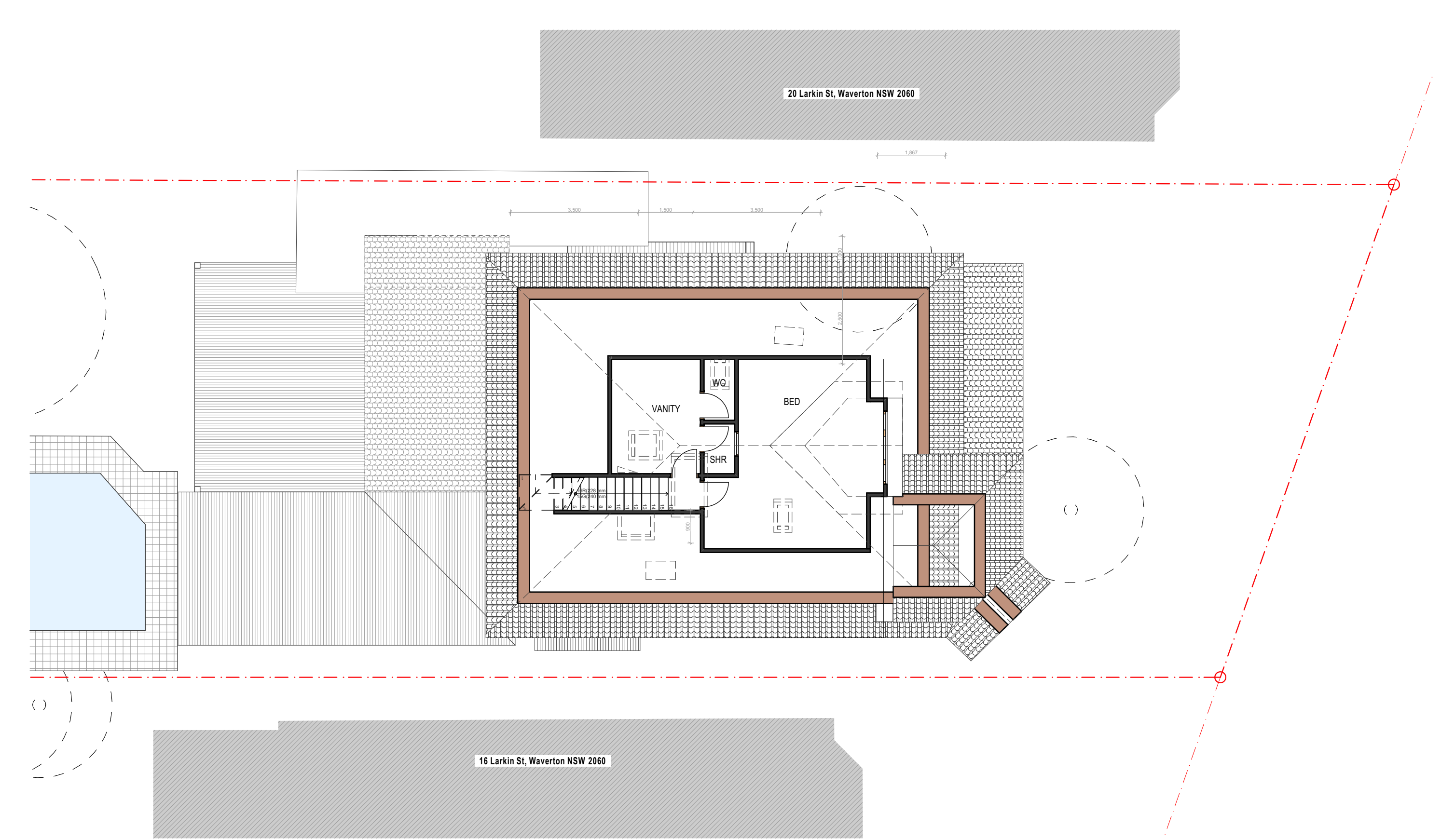
EXISTING LOWER GROUND FLOOR PLAN

				<p>THE DRAWINGS, ARRANGEMENTS, ANNOTATIONS AND GRAPHICAL PRESENTATIONS ON THIS DOCUMENT ARE THE PROPERTY OF THE PLAN SHOP. THE PLAN SHOP RETAINS OWNERSHIP AND AUTHORSHIP OF THIS DOCUMENT IN ITS ENTIRETY.</p> <p>THIS DOCUMENT MAY BE RECALLED AT ANY TIME AT THE PLAN SHOP'S DISCRETION.</p> <p>AUTHORISED USE OF THIS DRAWING IS GRANTED FOR THE SOLE PURPOSE OF THIS SPECIFIC PROJECT AND LOCATION, AND NOT FOR CONSTRUCTION OR USE FOR ANY OTHER PROJECT. IT MAY NOT BE REPRODUCED, USED OR PUBLICISED WITHOUT THE PERMISSION OF THE PLAN SHOP.</p> <p>PLANS MARKED 'PRELIMINARY' ARE FOR DESIGN PHASE AND NOT FOR USE BY EXTERNAL CONSULTANTS.</p>	<p><b>planshop.</b></p> <p>bay 5, 2 locomotive street, south eveleigh +612 9181 2820   info@planshop.com.au www.planshop.com.au</p> <p>'Martin Taylor nominated architect nsw 10509' p. 0452 517 125</p>	DO NOT SCALE OFF DRAWING			
						SURVEYORS TOTAL SURVEYING SOLUTIONS	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE 31/01/2025	
						TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060	DRN/CHK PA	
						PURPOSE DEVELOPMENT APPLICATION		SCALE 1:100	
BY	DATE	REVISION				L.G.A NORTH SYDNEY COUNCIL	CLIENT TONY BAUER	DRAWING No. DR-4322 SHEET 05	



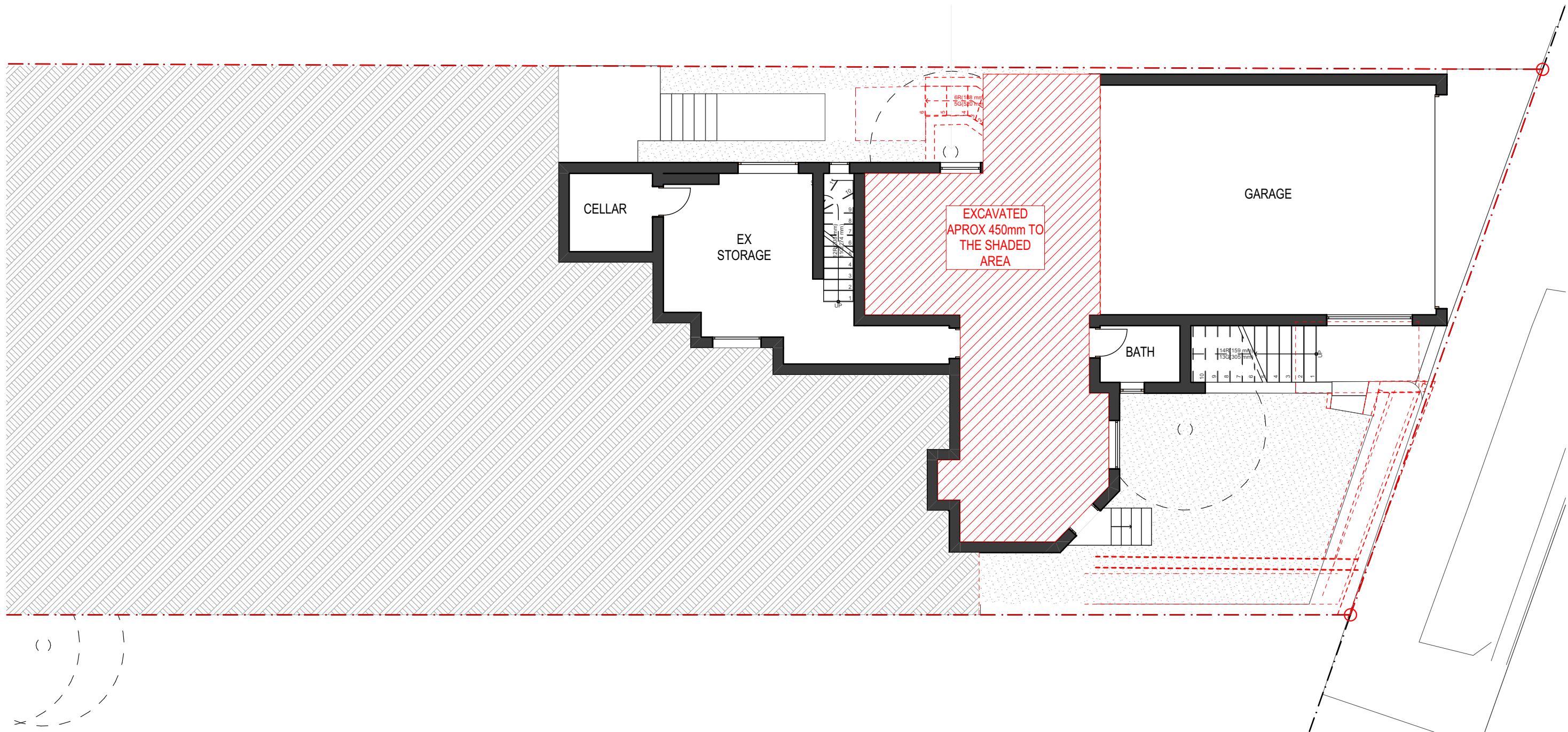
# EXISTING GROUND FLOOR PLAN

				<p>THE DRAWINGS, ARRANGEMENTS, ANNOTATIONS AND GRAPHICAL PRESENTATIONS ON THIS DOCUMENT ARE THE PROPERTY OF THE PLAN SHOP. THE PLAN SHOP RETAINS OWNERSHIP AND AUTHORSHIP OF THIS DOCUMENT IN ITS ENTIRETY.</p> <p>THIS DOCUMENT MAY BE RECALLED AT ANY TIME AT THE PLAN SHOP'S DISCRETION.</p> <p>AUTHORISED USE OF THIS DRAWING IS GRANTED FOR THE SOLE PURPOSE OF THIS SPECIFIC PROJECT AND LOCATION, AND NOT FOR CONSTRUCTION OR USE FOR ANY OTHER PROJECT. IT MAY NOT BE REPRODUCED, USED OR PUBLICISED WITHOUT THE PERMISSION OF THE PLAN SHOP.</p> <p>PLANS MARKED 'PRELIMINARY' ARE FOR DESIGN PHASE AND NOT FOR USE BY EXTERNAL CONSULTANTS.</p>	<p><b>planshop.</b></p> <p>bay 5, 2 locomotive street, south eveleigh +612 9181 2820   info@planshop.com.au www.planshop.com.au</p> <p>'Martin Taylor nominated architect nsw 10509' p. 0452 517 125</p>	DO NOT SCALE OFF DRAWING					
						SURVEYORS TOTAL SURVEYING SOLUTIONS	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE 31/01/2025			
						TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m²	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060	DRN/CHK PA			
						PURPOSE DEVELOPMENT APPLICATION	CLIENT TONY BAUER	SCALE 1:100			
BY	DATE	REVISION				L.G.A NORTH SYDNEY COUNCIL		DRAWING No. DR-4322 SHEET 06			



EXISTING ATTIC PLAN

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						SURVEYORS	TOTAL SURVEYING SOLUTIONS	PROJECT	ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE	31/01/2025
						TITLE DESCRIPTION	LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	ADDRESS	18 LARKIN STREET, WAVERTON NSW 2060	DRN/CHK	PA
						PURPOSE	DEVELOPMENT APPLICATION	CLIENT	TONY BAUER	SCALE	1:100
BY	DATE	REVISION				LGA	NORTH SYDNEY COUNCIL			DRAWING No.	DR-4322 SHEET 07



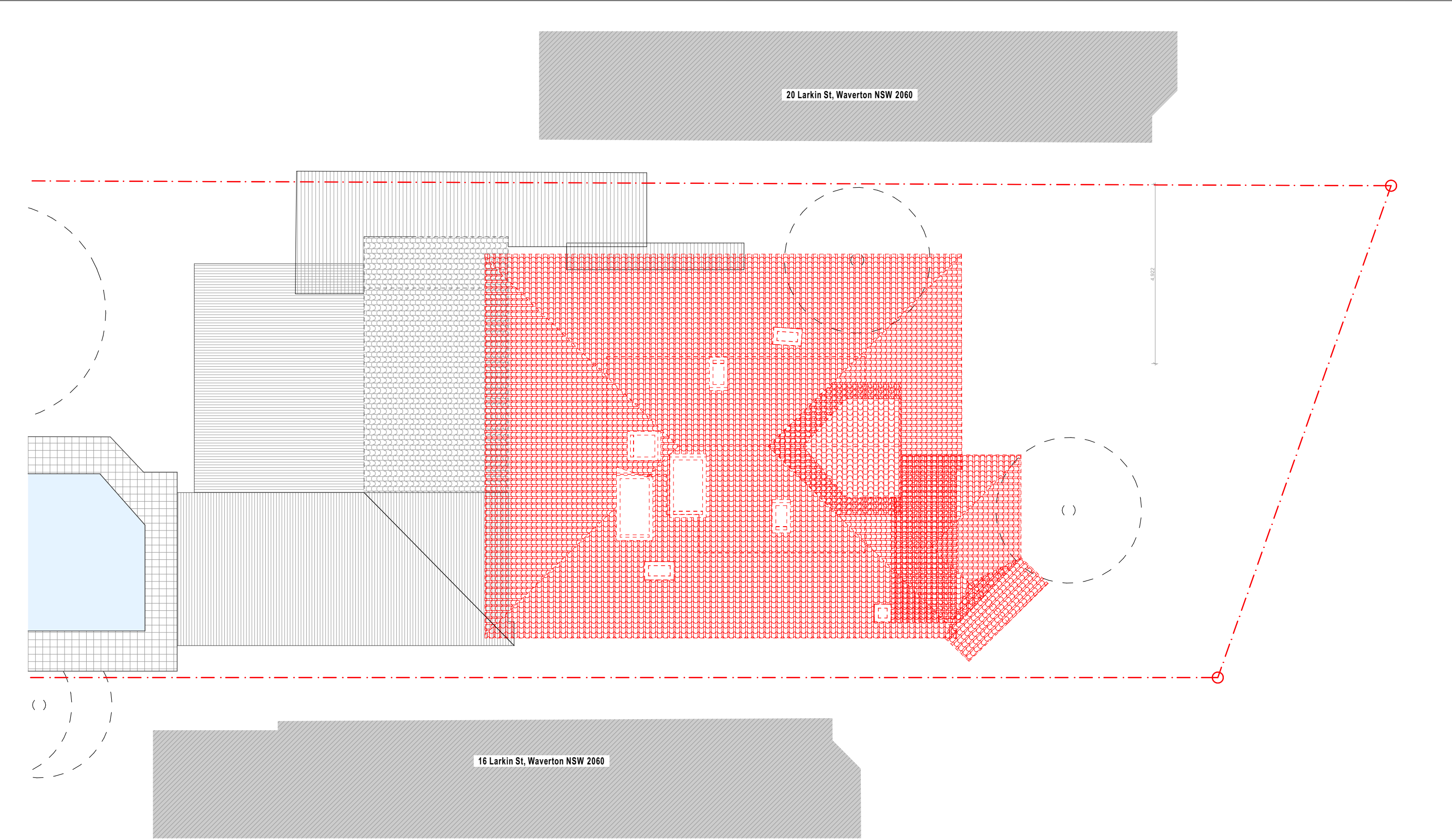
LOWER GROUND FLOOR DEMOLITION PLAN

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						SURVEYORS TOTAL SURVEYING SOLUTIONS	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE 31/01/2025			
						TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060	DRN/CHK PA			
						PURPOSE DEVELOPMENT APPLICATION	CLIENT TONY BAUER	SCALE 1:100			
BY	DATE	REVISION				L.G.A NORTH SYDNEY COUNCIL		DRAWING No. DR-4322 SHEET 08			



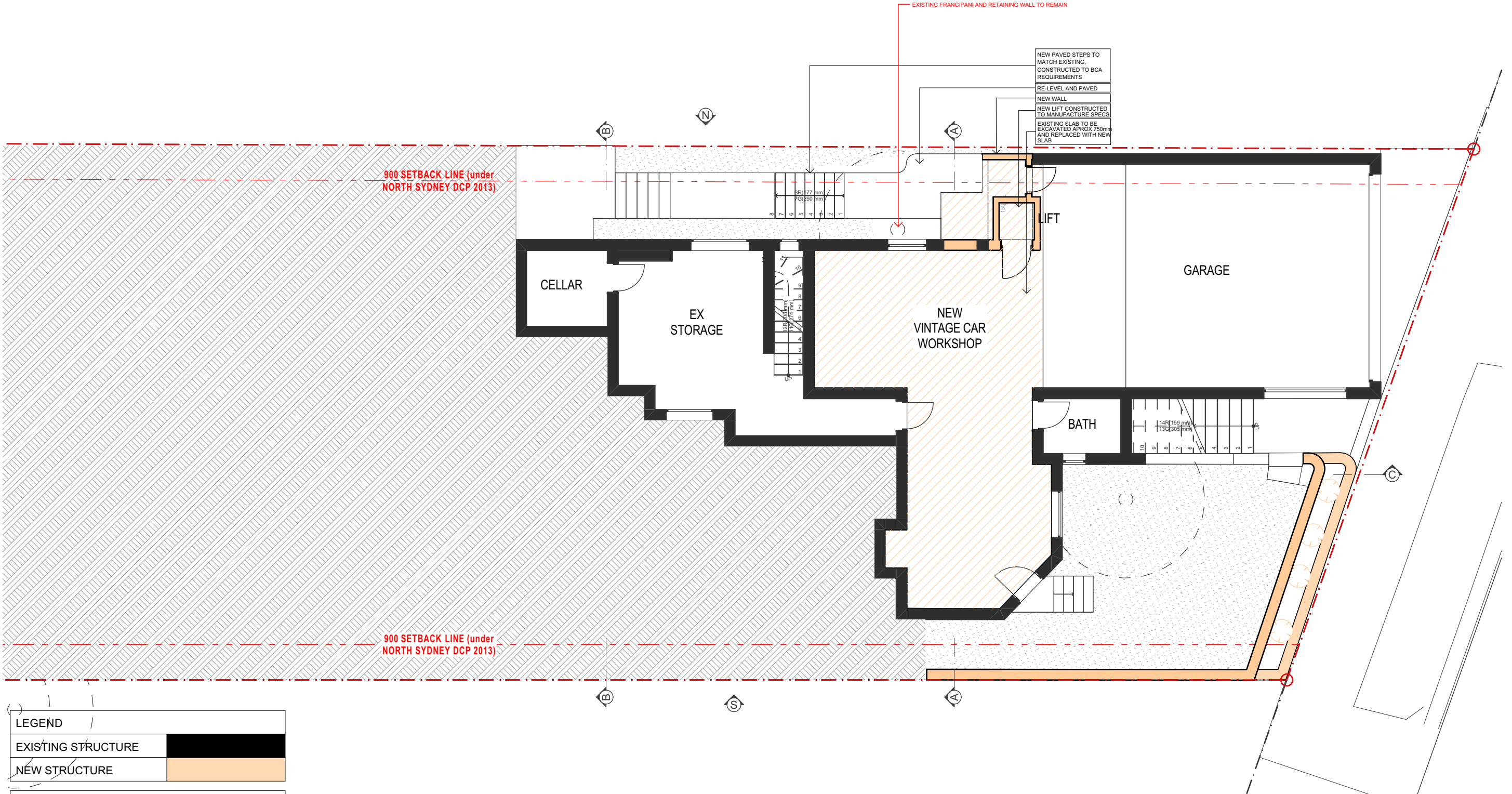






ROOF DEMOLITION PLAN

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						SURVEYORS TOTAL SURVEYING SOLUTIONS	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE 31/01/2025	DRN/CHK PA				
						TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060	SCALE 1:100					
						PURPOSE DEVELOPMENT APPLICATION		DRAWING No. DR-4322					
BY	DATE	REVISION				L.G.A NORTH SYDNEY COUNCIL	CLIENT TONY BAUER	SHEET 10					



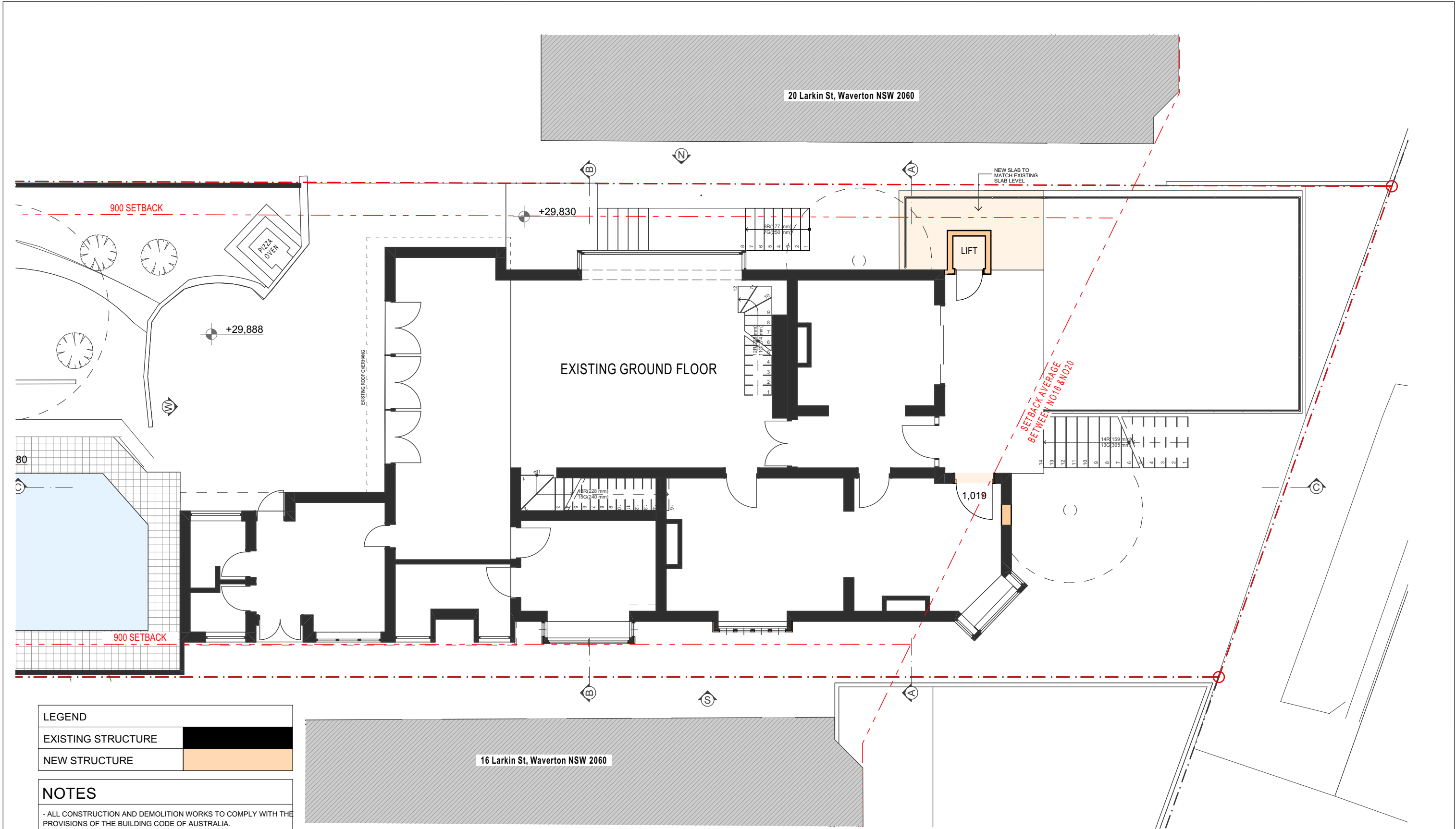
LEGEND	
EXISTING STRUCTURE	
NEW STRUCTURE	

NOTES	
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# PROPOSED LOWER GROUND FLOOR PLAN

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				PLANS MARKED 'PRELIMINARY' ARE FOR DESIGN PHASE AND NOT FOR USE BY EXTERNAL CONSULTANTS.			PURPOSE DEVELOPMENT APPLICATION		CLIENT TONY BAUER		SCALE 1:100	
BY	DATE	REVISION					L.G.A NORTH SYDNEY COUNCIL				DRAWING No. DR-4322 SHEET 11	



LEGEND

EXISTING STRUCTURE

NEW STRUCTURE

NOTES

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PROPOSED GROUND FLOOR PLAN

BY	DATE	REVISION



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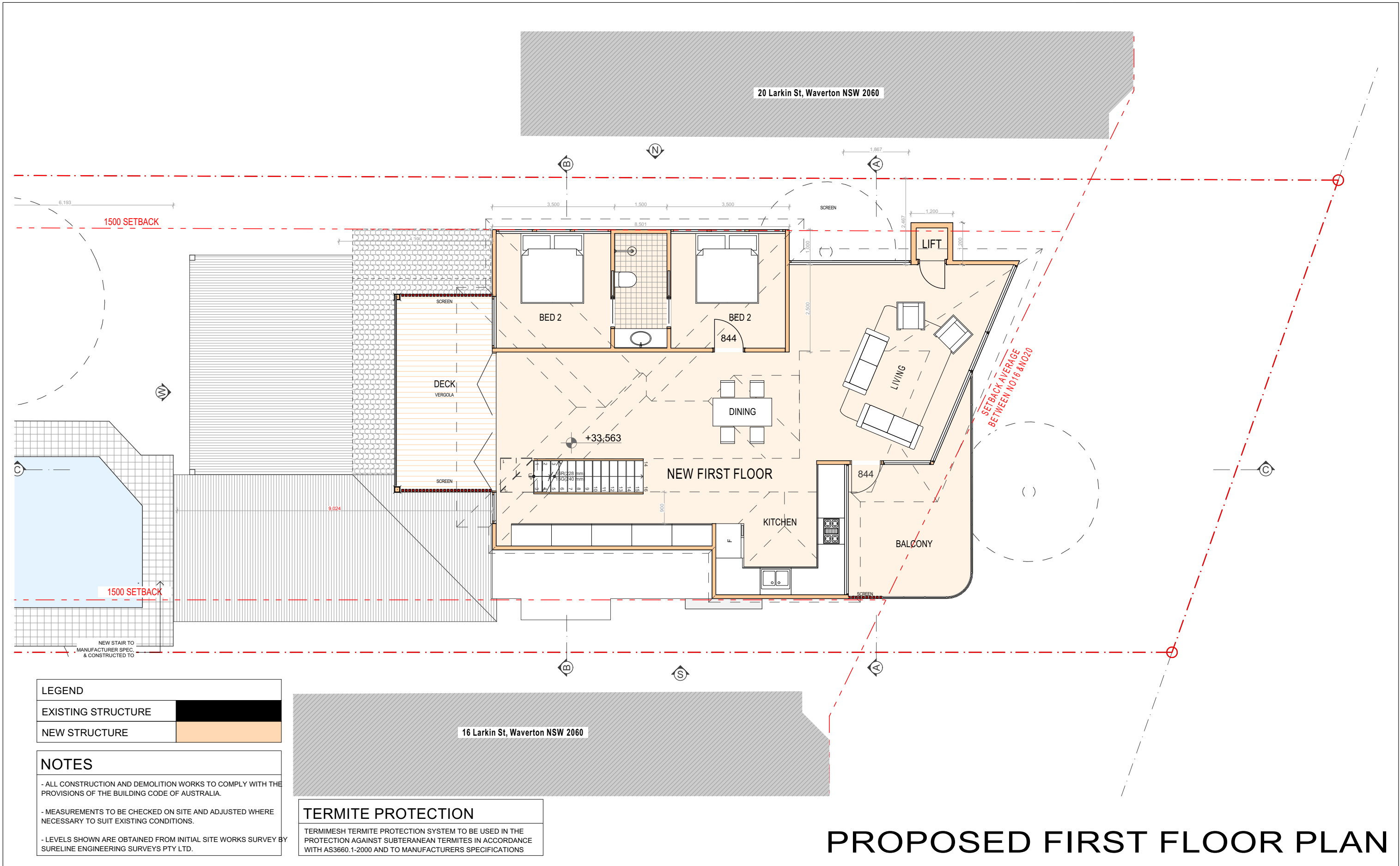
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p. 0452 517 125

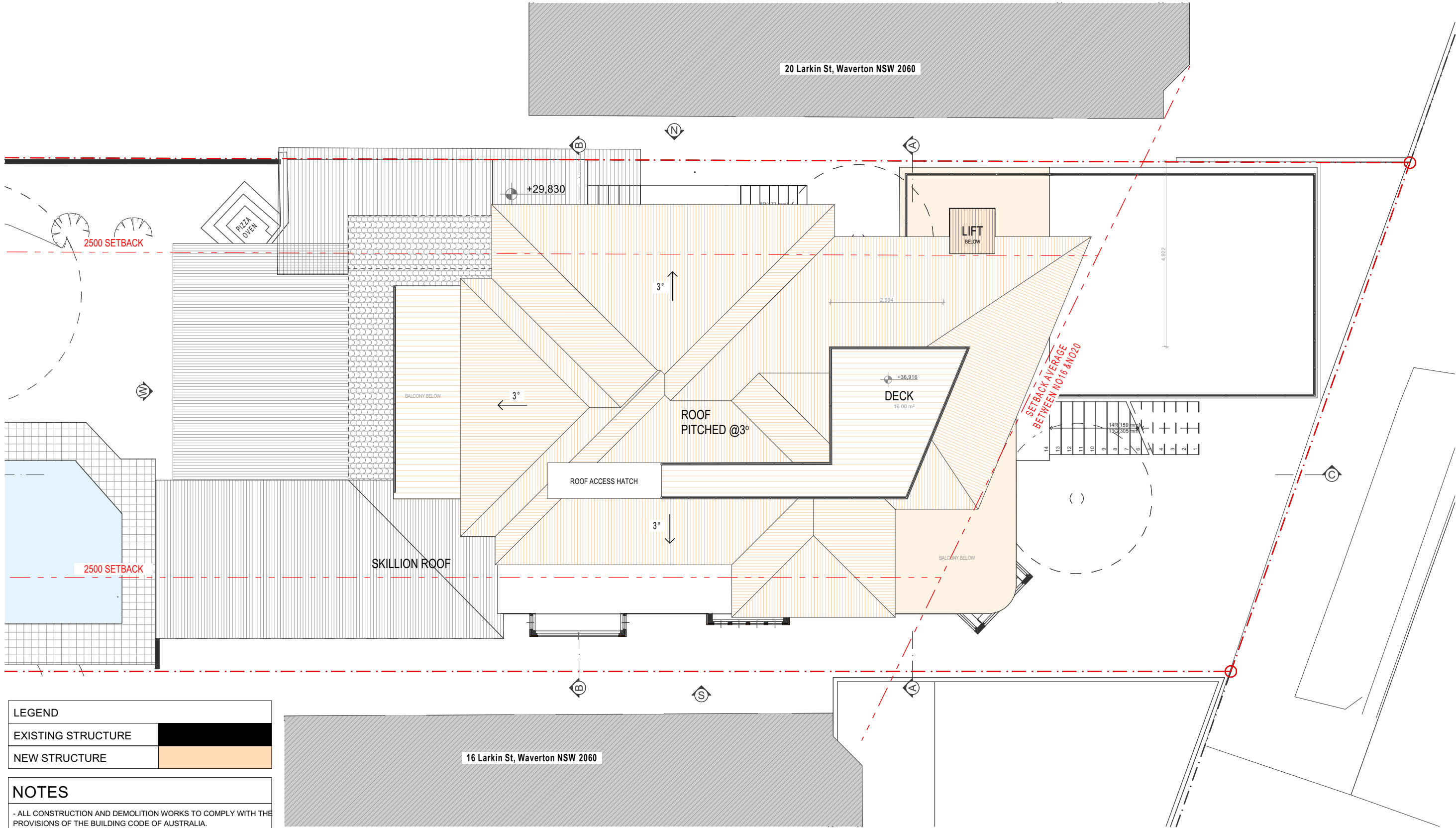
DO NOT SCALE OFF DRAWING			
SURVEYORS TOTAL SURVEYING SOLUTIONS	TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE 31/01/2025
		ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060	DRN/CHK PA
PURPOSE DEVELOPMENT APPLICATION	LGA NORTH SYDNEY COUNCIL	CLIENT TONY BAUER	SCALE 1:100
			DRAWING No. DR-4322 SHEET 12



PROPOSED FIRST FLOOR PLAN

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						SURVEYORS	TOTAL SURVEYING SOLUTIONS	PROJECT	ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE	31/01/2025
						TITLE DESCRIPTION	LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	ADDRESS	18 LARKIN STREET, WAVERTON NSW 2060	DRN/CHK	PA
TD	03/09/2024	A				PURPOSE	DEVELOPMENT APPLICATION	CLIENT	TONY BAUER	SCALE	1:100
BY	DATE	REVISION				LGA	NORTH SYDNEY COUNCIL			DRAWING No.	DR-4322 SHEET 13





LEGEND

EXISTING STRUCTURE	
NEW STRUCTURE	

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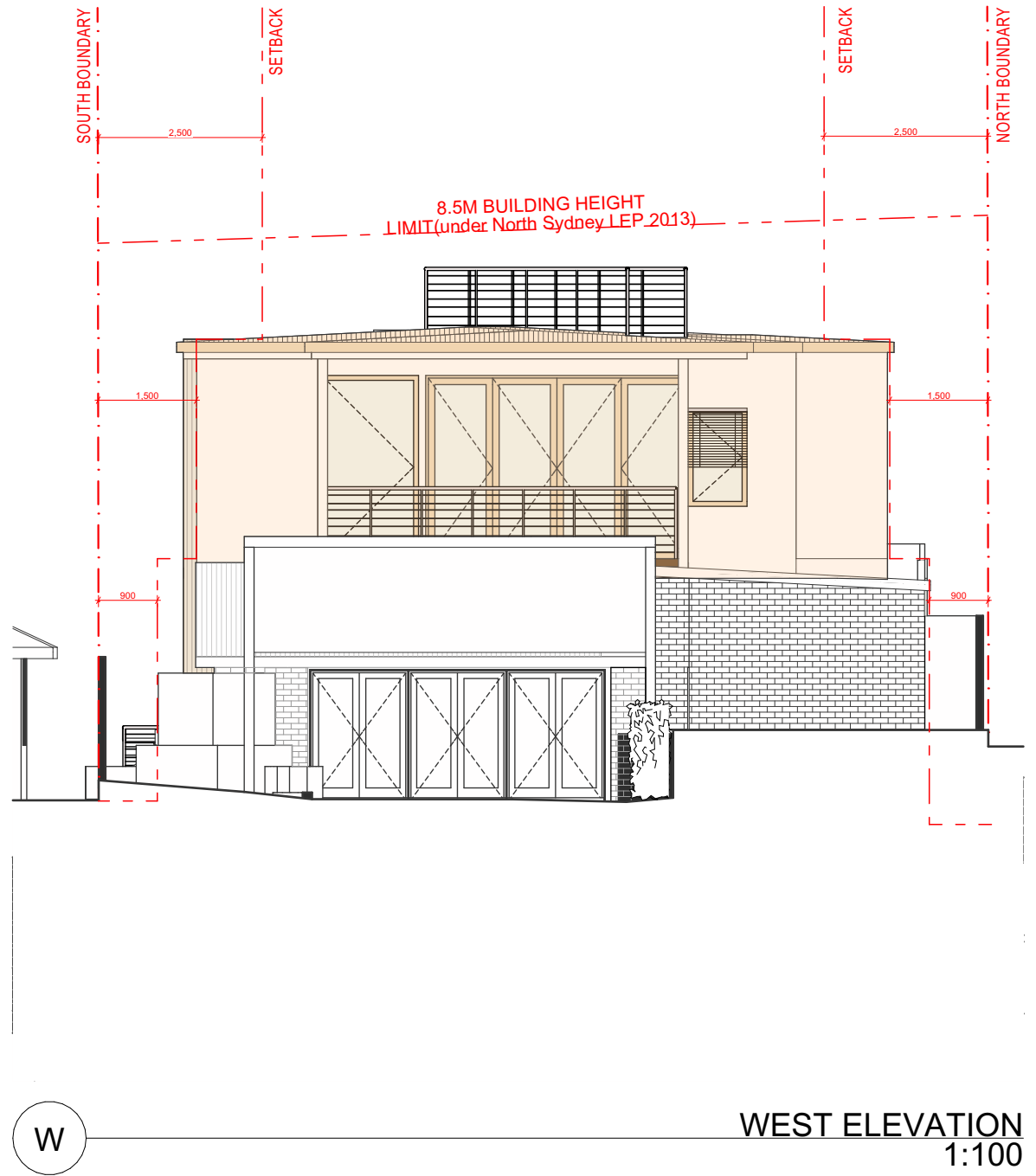
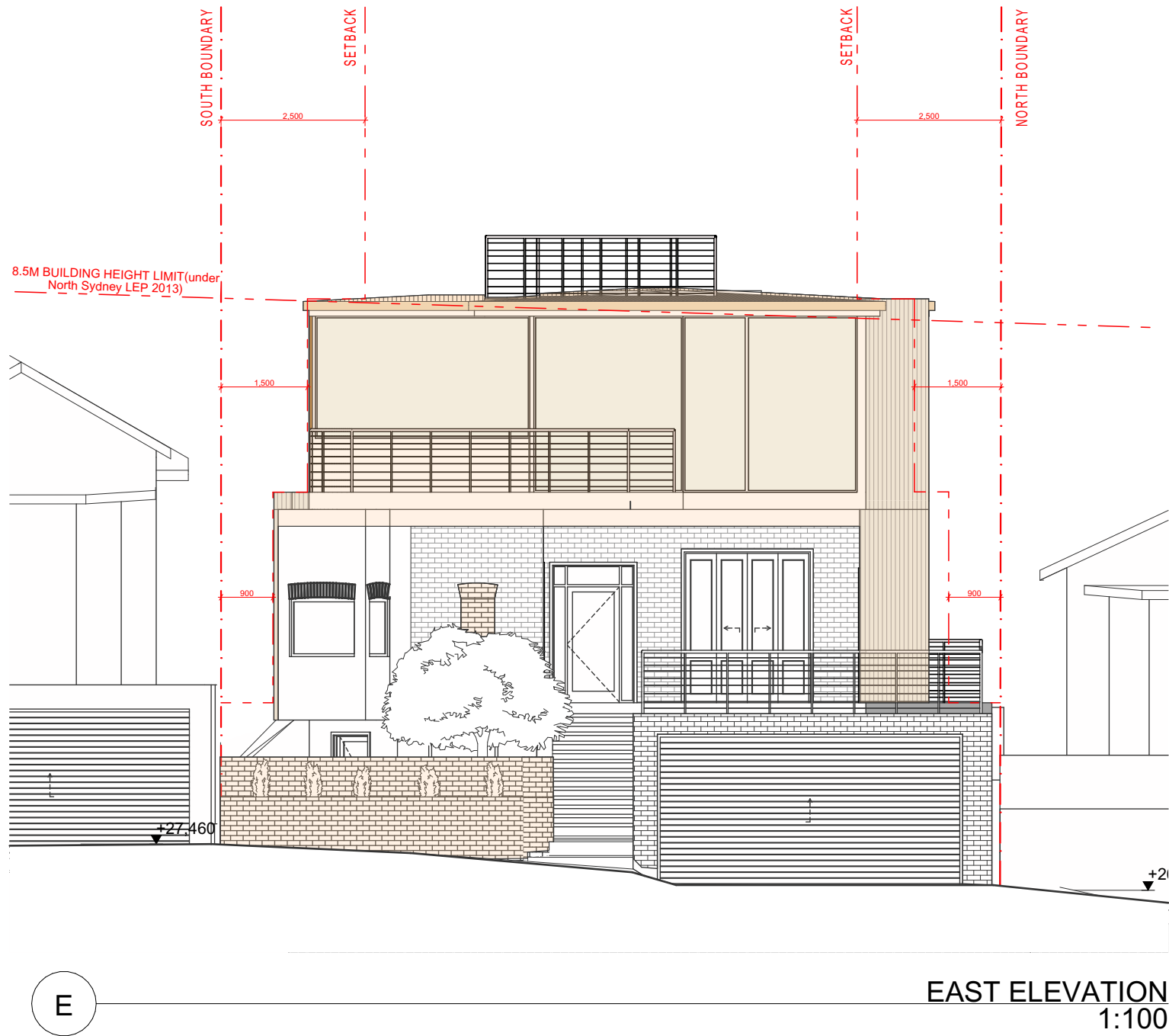
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PROPOSED ROOF PLAN

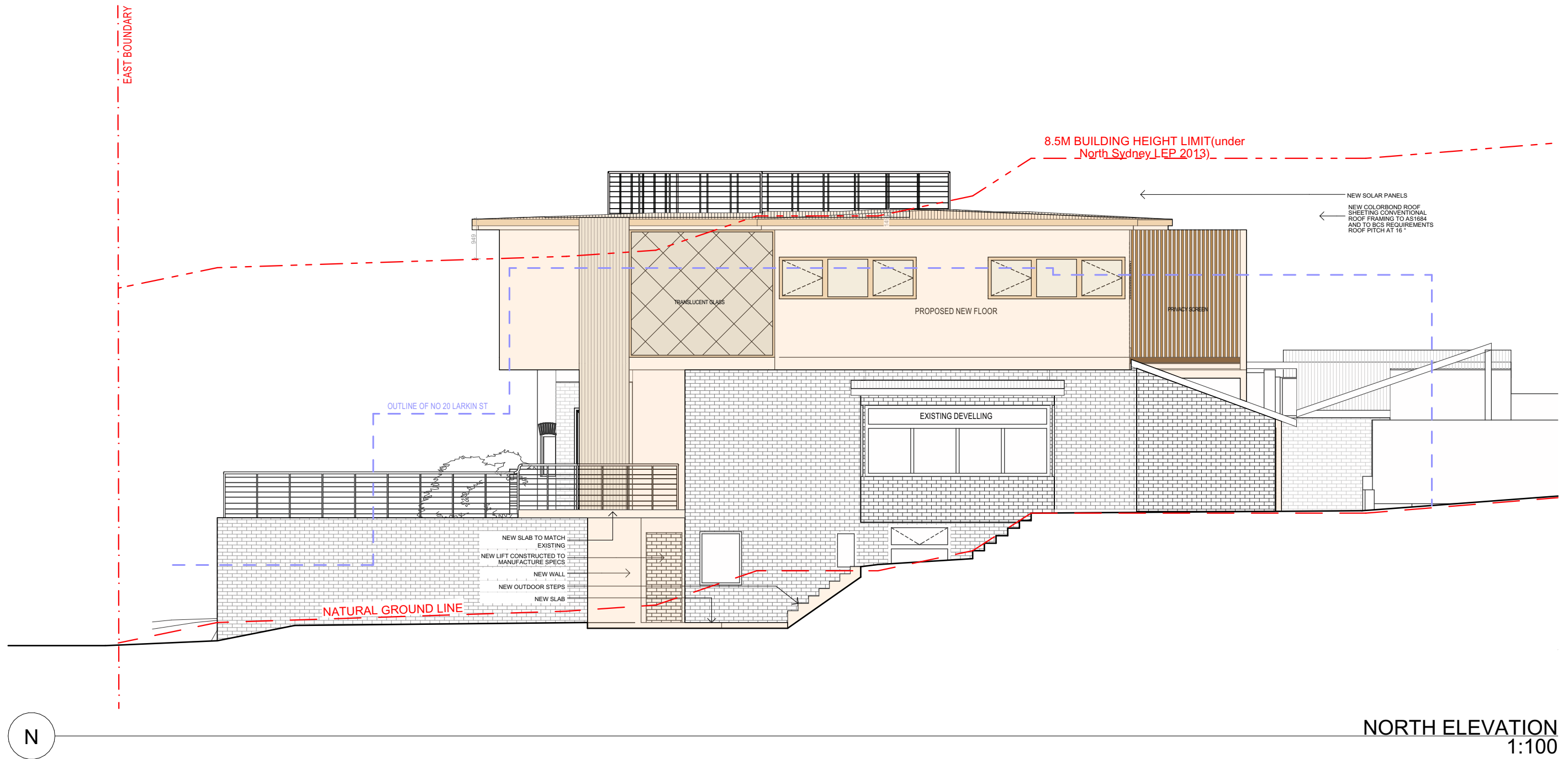
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				SURVEYORS		TOTAL SURVEYING SOLUTIONS		PROJECT	ALTERATIONS AND ADDITIONS TO EXISTING DWELLING		DATE	31/01/2025	
				TITLE DESCRIPTION		LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>		ADDRESS	18 LARKIN STREET, WAVERTON NSW 2060		DRN/CHK	PA	
				PURPOSE		DEVELOPMENT APPLICATION				SCALE	1:100		
				L.G.A		NORTH SYDNEY COUNCIL		CLIENT	TONY BAUER		DRAWING No. DR-4322		
BY				DATE		REVISION		SHEET 14					





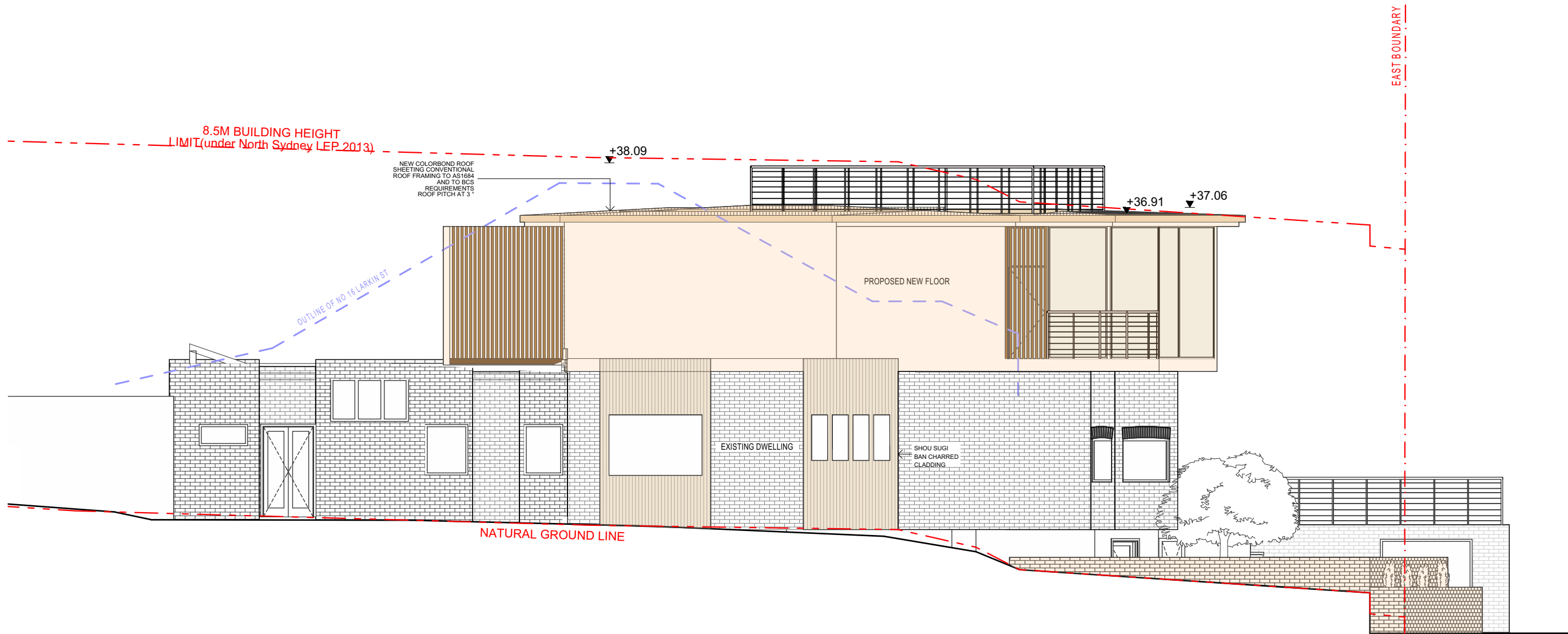
# EAST AND WEST ELEVATION

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			AUTHORISED USE OF THIS DRAWING IS GRANTED FOR THE SOLE PURPOSE OF THIS SPECIFIC PROJECT AND LOCATION, AND NOT FOR CONSTRUCTION OR USE FOR ANY OTHER PROJECT. IT MAY NOT BE REPRODUCED, USED OR PUBLICISED WITHOUT THE PERMISSION OF THE PLAN SHOP.				TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>		ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060		DRN/CHK PA	
TD	12/10/22	B	PLANS MARKED 'PRELIMINARY' ARE FOR DESIGN PHASE AND NOT FOR USE BY EXTERNAL CONSULTANTS.				PURPOSE DEVELOPMENT APPLICATION		CLIENT TONY BAUER		SCALE 1:100	
BY	DATE	REVISION					L.G.A NORTH SYDNEY COUNCIL				DRAWING No. DR-4322 SHEET 15	



# NORTH ELEVATION

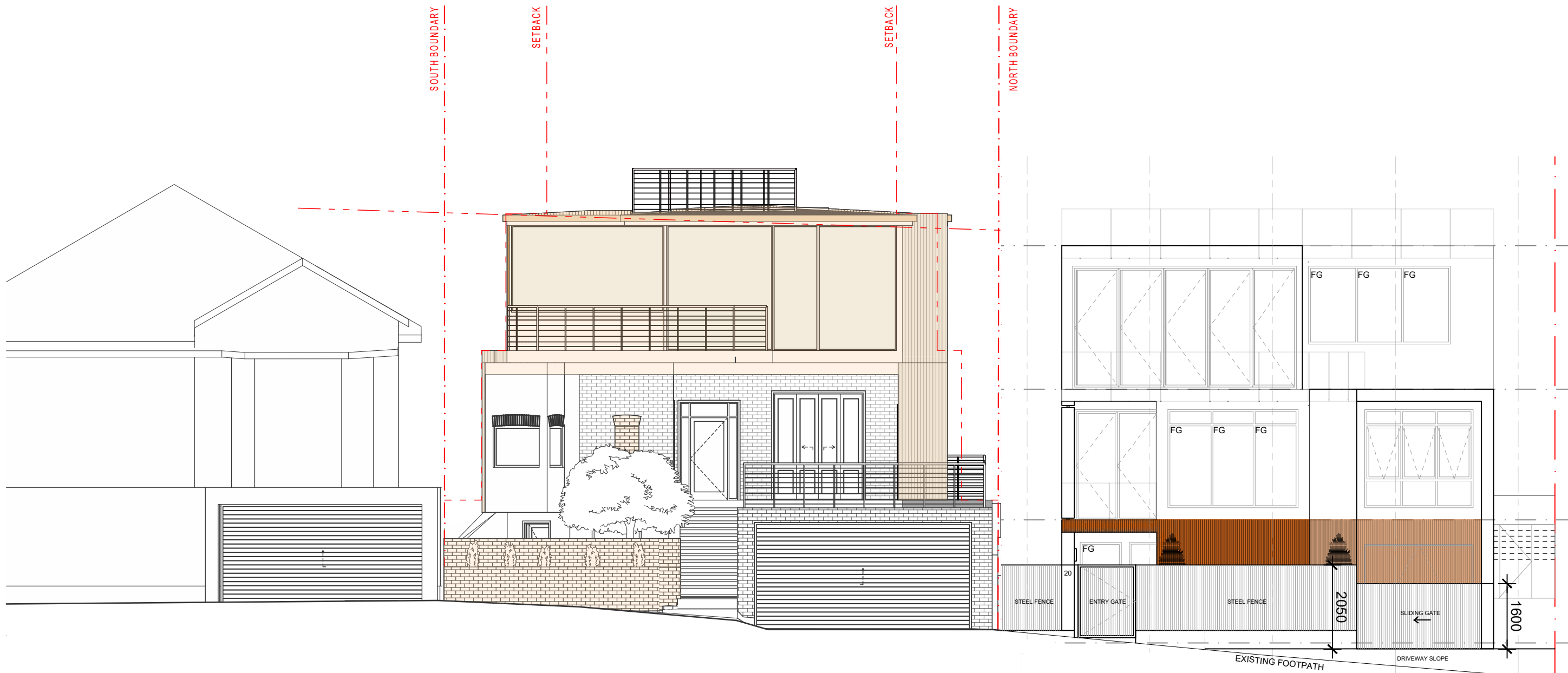
			THE DRAWINGS, ARRANGEMENTS, ANNOTATIONS AND GRAPHICAL PRESENTATIONS ON THIS DOCUMENT ARE THE PROPERTY OF THE PLAN SHOP. THE PLAN SHOP RETAINS OWNERSHIP AND AUTHORSHIP OF THIS DOCUMENT IN ITS ENTIRETY.			<div>planshop.</div> <div>bay 5, 2 locomotive street, south eveleigh +612 9181 2820   info@planshop.com.au www.planshop.com.au</div> <div>'Martin Taylor nominated architect nsw 10509' p. 0452 517 125</div>	DO NOT SCALE OFF DRAWING											
			THIS DOCUMENT MAY BE RECALLED AT ANY TIME AT THE PLAN SHOP'S DISCRETION.				SURVEYORS		TOTAL SURVEYING SOLUTIONS		PROJECT		ALTERATIONS AND ADDITIONS TO EXISTING DWELLING		DATE		31/01/2025	
			AUTHORISED USE OF THIS DRAWING IS GRANTED FOR THE SOLE PURPOSE OF THIS SPECIFIC PROJECT AND LOCATION, AND NOT FOR CONSTRUCTION OR USE FOR ANY OTHER PROJECT. IT MAY NOT BE REPRODUCED, USED OR PUBLICISED WITHOUT THE PERMISSION OF THE PLAN SHOP.				TITLE DESCRIPTION		LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>		ADDRESS		18 LARKIN STREET, WAVERTON NSW 2060		DRN/CHK		PA	
TD	12/10/22	B	PLANS MARKED 'PRELIMINARY' ARE FOR DESIGN PHASE AND NOT FOR USE BY EXTERNAL CONSULTANTS.				PURPOSE		DEVELOPMENT APPLICATION		CLIENT		TONY BAUER		SCALE		1:100	
BY	DATE	REVISION					LGA		NORTH SYDNEY COUNCIL						DRAWING No.		DR-4322 SHEET 16	



SOUTH ELEVATION  
1:100

## SOUTH ELEVATION

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TD	12/10/22	B	PLANS MARKED 'PRELIMINARY' ARE FOR DESIGN PHASE AND NOT FOR USE BY EXTERNAL CONSULTANTS.				PURPOSE DEVELOPMENT APPLICATION		CLIENT TONY BAUER		SCALE 1:100	
BY	DATE	REVISION					LGA NORTH SYDNEY COUNCIL				DRAWING No. DR-4322	
											SHEET 17	



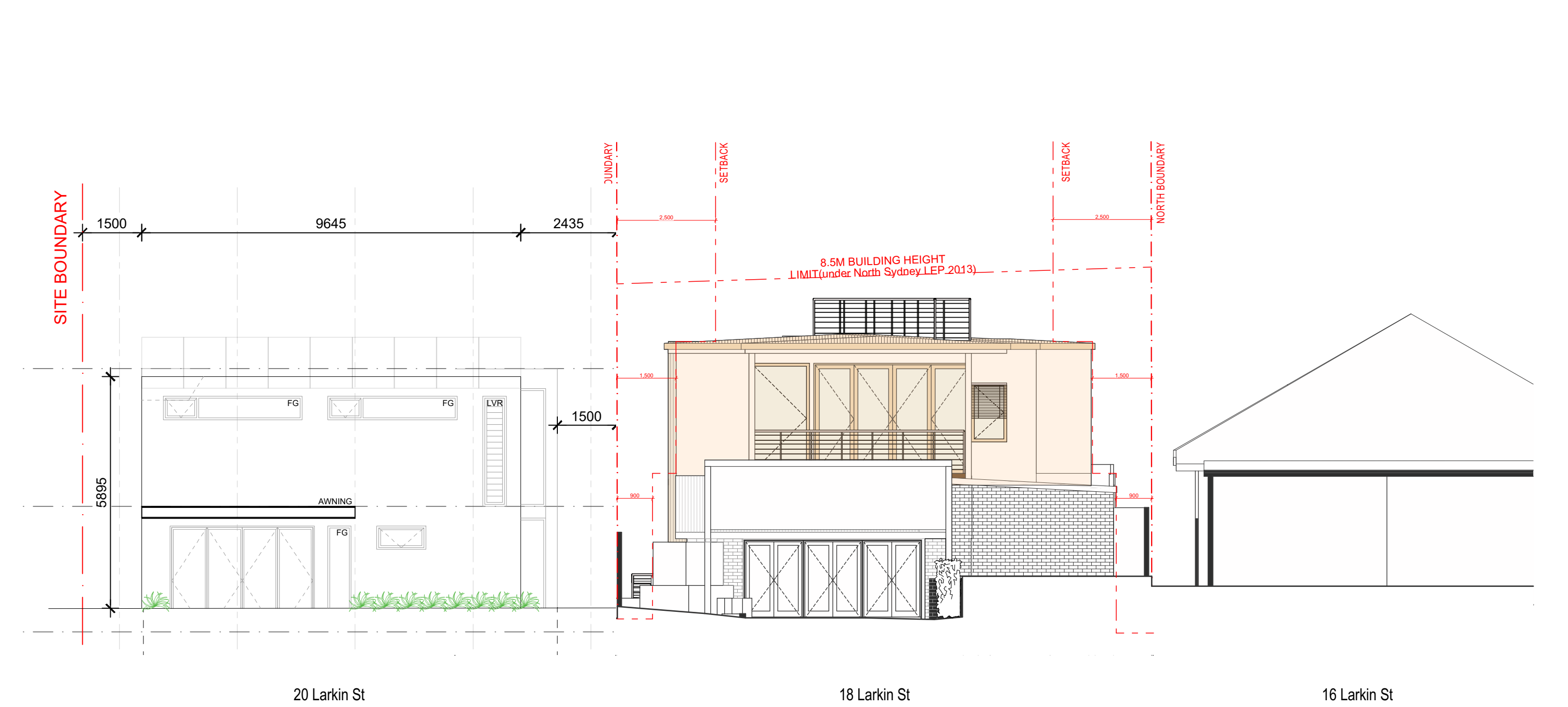
16 Larkin St

18 Larkin St

20 Larkin St

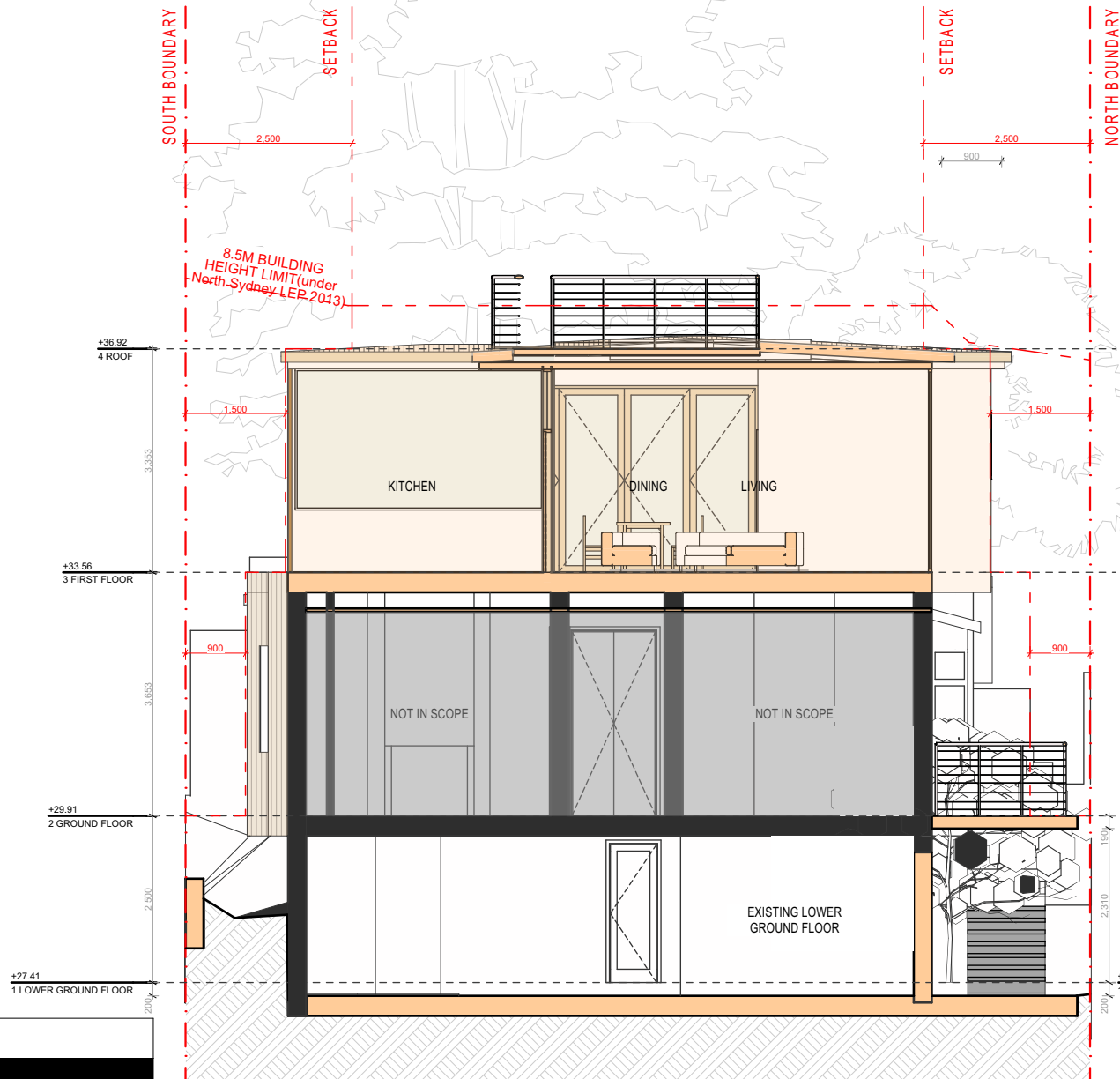
EAST ELEVATION WITH 20 LARKIN ST

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					SURVEYORS TOTAL SURVEYING SOLUTIONS	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE 31/01/2025			
					TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m²	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060	DRN/CHK PA			
					PURPOSE DEVELOPMENT APPLICATION	CLIENT TONY BAUER	SCALE 1:100, 2:1			
BY	DATE	REVISION			L.G.A NORTH SYDNEY COUNCIL		DRAWING No. DR-4322 SHEET 18			

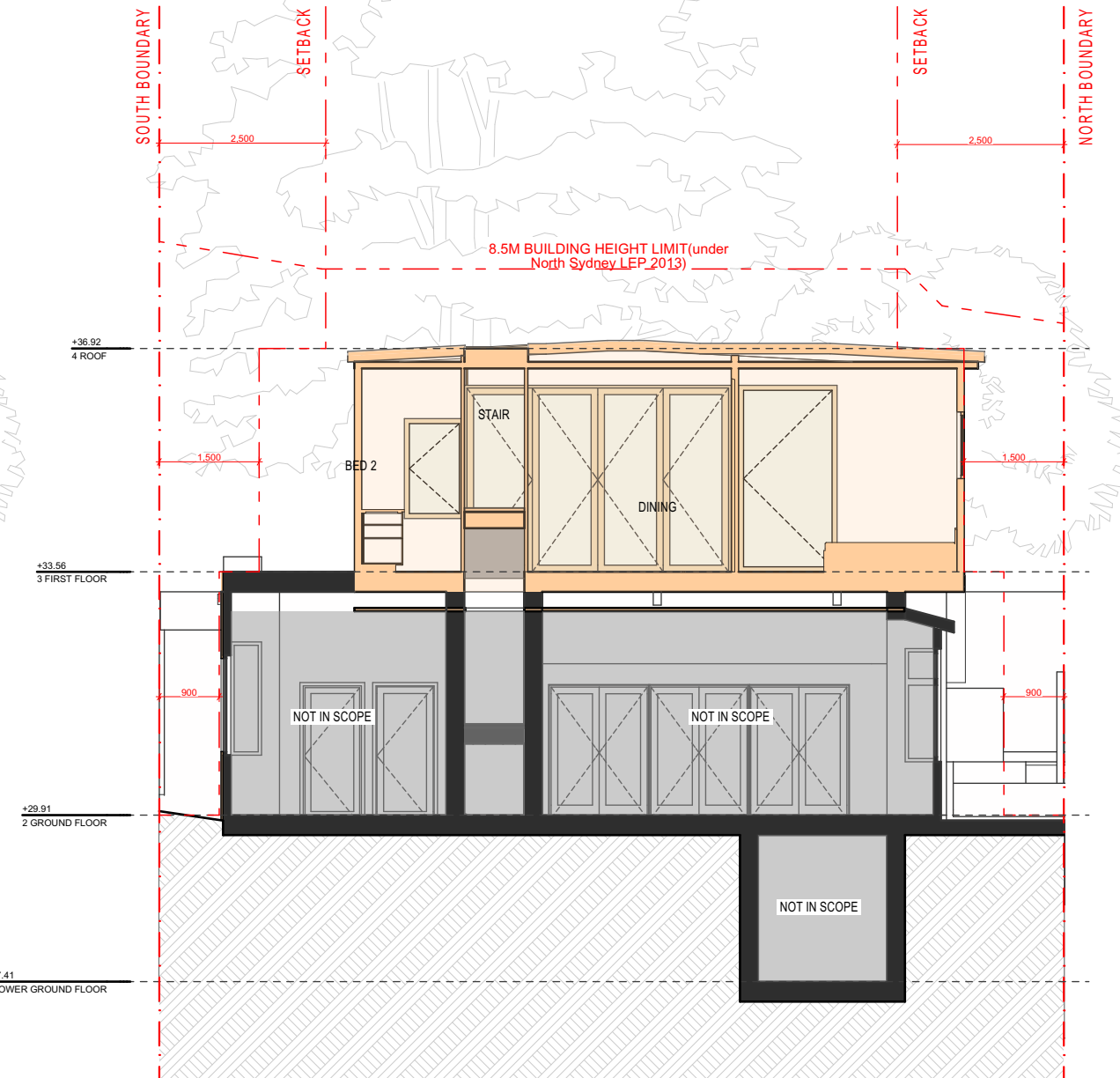


WEST ELEVATION WITH 20 LARKIN ST

			<div>THE DRAWINGS, ARRANGEMENTS, ANNOTATIONS AND GRAPHICAL PRESENTATIONS ON THIS DOCUMENT ARE THE PROPERTY OF THE PLAN SHOP. THE PLAN SHOP RETAINS OWNERSHIP AND AUTHORSHIP OF THIS DOCUMENT IN ITS ENTIRETY.</div> <div>THIS DOCUMENT MAY BE RECALLED AT ANY TIME AT THE PLAN SHOP'S DISCRETION.</div> <div>AUTHORISED USE OF THIS DRAWING IS GRANTED FOR THE SOLE PURPOSE OF THIS SPECIFIC PROJECT AND LOCATION, AND NOT FOR CONSTRUCTION OR USE FOR ANY OTHER PROJECT. IT MAY NOT BE REPRODUCED, USED OR PUBLICISED WITHOUT THE PERMISSION OF THE PLAN SHOP.</div> <div>PLANS MARKED 'PRELIMINARY' ARE FOR DESIGN PHASE AND NOT FOR USE BY EXTERNAL CONSULTANTS.</div>	<div>planshop.</div> <div>bay 5, 2 locomotive street, south eveleigh</div> <div>+612 9181 2820   info@planshop.com.au</div> <div>www.planshop.com.au</div> <div>'Martin Taylor nominated architect nsw 10509'</div> <div>p. 0452 517 125</div>	DO NOT SCALE OFF DRAWING				<div>SURVEYORS</div> <div>TOTAL SURVEYING SOLUTIONS</div> <div>TITLE DESCRIPTION</div> <div>LOT 3, DP1062058 - AREA: 586.2 m<sup>2</sup></div> <div>PURPOSE</div> <div>DEVELOPMENT APPLICATION</div> <div>L.G.A</div> <div>NORTH SYDNEY COUNCIL</div>	<div>PROJECT</div> <div>ALTERATIONS AND ADDITIONS TO EXISTING DWELLING</div> <div>ADDRESS</div> <div>18 LARKIN STREET, WAVERTON NSW 2060</div> <div>CLIENT</div> <div>TONY BAUER</div>	<div>DATE</div> <div>31/01/2025</div> <div>DRN/CHK</div> <div>PA</div> <div>SCALE</div> <div>1:100, 2:1</div> <div>DRAWING No.</div> <div>DR-4322</div> <div>SHEET 19</div>
BY	DATE	REVISION									



A SECTION AA 1:100



B SECTION BB 1:100

LEGEND	
EXISTING STRUCTURE	
NEW STRUCTURE	

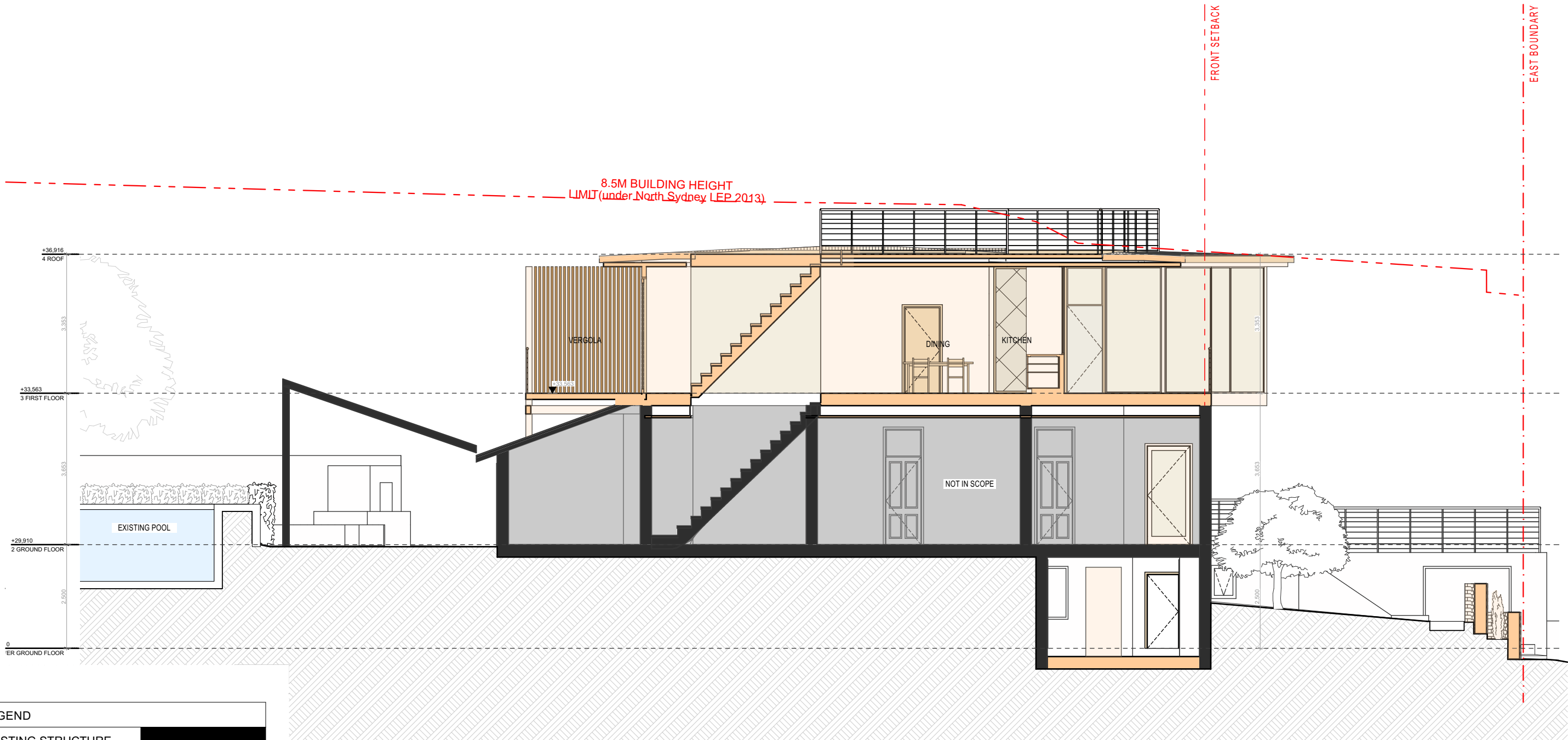
NOTES	
- ALL CONSTRUCTION AND DEMOLITION WORKS TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA.	
- MEASUREMENTS TO BE CHECKED ON SITE AND ADJUSTED WHERE NECESSARY TO SUIT EXISTING CONDITIONS.	
- LEVELS SHOWN ARE OBTAINED FROM INITIAL SITE WORKS SURVEY BY SURELINE ENGINEERING SURVEYS PTY LTD.	

TERMITE PROTECTION	
TERMIMESH TERMITE PROTECTION SYSTEM TO BE USED IN THE PROTECTION AGAINST SUBTERANEAN TERMITES IN ACCORDANCE WITH AS3660.1-2000 AND TO MANUFACTURERS SPECIFICATIONS	

## SECTION A-A & B-B

			THE DRAWINGS, ARRANGEMENTS, ANNOTATIONS AND GRAPHICAL PRESENTATIONS ON THIS DOCUMENT ARE THE PROPERTY OF THE PLAN SHOP. THE PLAN SHOP RETAINS OWNERSHIP AND AUTHORSHIP OF THIS DOCUMENT IN ITS ENTIRETY.			<div>planshop.</div> <div>bay 5, 2 locomotive street, south eveleigh +612 9181 2820   info@planshop.com.au www.planshop.com.au</div> <div>'Martin Taylor nominated architect nsw 10509' p. 0452 517 125</div>	DO NOT SCALE OFF DRAWING					
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			AUTHORISED USE OF THIS DRAWING IS GRANTED FOR THE SOLE PURPOSE OF THIS SPECIFIC PROJECT AND LOCATION, AND NOT FOR CONSTRUCTION OR USE FOR ANY OTHER PROJECT. IT MAY NOT BE REPRODUCED, USED OR PUBLICISED WITHOUT THE PERMISSION OF THE PLAN SHOP.				TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>		ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060		DRN/CHK PA	
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BY      DATE      REVISION							L.G.A NORTH SYDNEY COUNCIL				DRAWING No. DR-4322	
											SHEET 20	





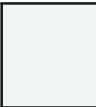



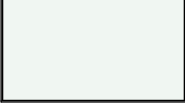



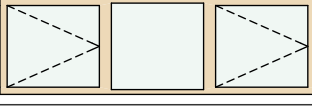
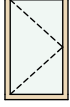
LEGEND	
EXISTING STRUCTURE	
NEW STRUCTURE	

NOTES	
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SECTION C-C

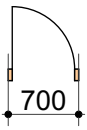
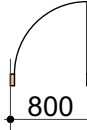
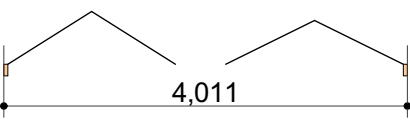
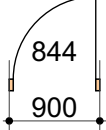
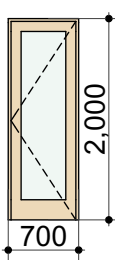
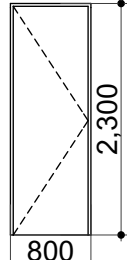
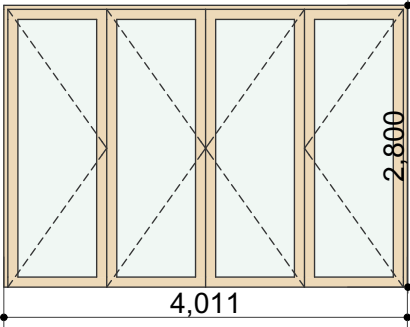
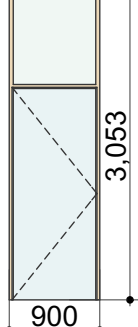
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			THIS DOCUMENT MAY BE RECALLED AT ANY TIME AT THE PLAN SHOP'S DISCRETION.				SURVEYORS TOTAL SURVEYING SOLUTIONS		PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING		DATE 31/01/2025	
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			PLANS MARKED 'PRELIMINARY' ARE FOR DESIGN PHASE AND NOT FOR USE BY EXTERNAL CONSULTANTS.				PURPOSE DEVELOPMENT APPLICATION		CLIENT TONY BAUER		SCALE 1:100	
BY      DATE      REVISION							L.G.A NORTH SYDNEY COUNCIL				DRAWING No. DR-4322 SHEET 21	

FIRST FLOOR EXTERNAL OPENINGS					
ID	WIDTH	HEIGHT	AREA	ORIENTATION	TYPE
W7	2,812	3,053	8.59		
W8	1,200	3,053	3.66		
W9	2,079	3,053	6.35		
W10	1,354	3,053	4.14		
W11	3,726	2,118	7.89		
W12	3,485	3,053	10.64		
W16	1,480	2,800	4.14		
W16	3,280	1,000	3.28		
W17	3,280	1,000	3.28		
W18	900	1,500	1.35		

1.

FIRST FLOOR EXTERNAL OPENINGS  
1:0.65

EXTERNAL DOOR OPENINGS

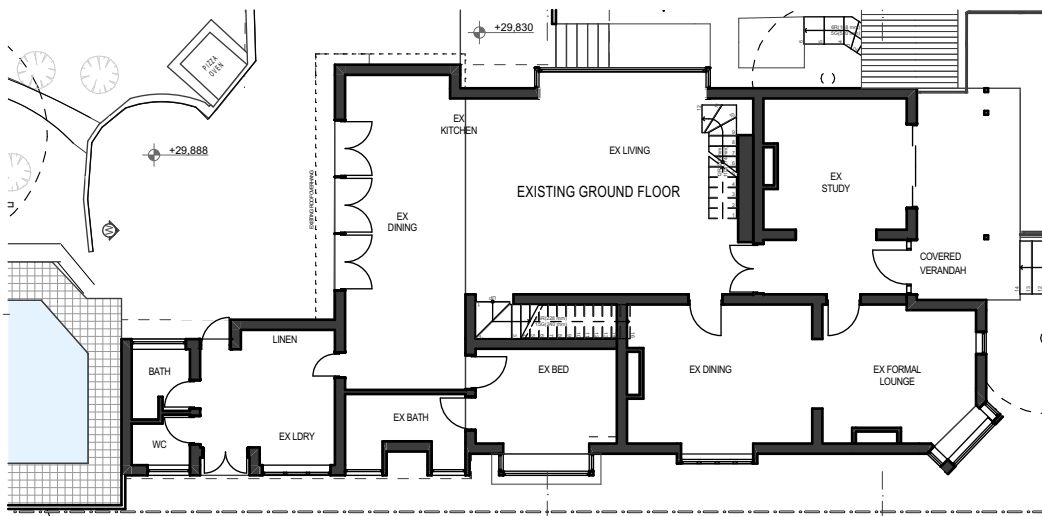
DOOR SCHEDULE				
DOOR NO:	D0	D0	D2	D5
FLOOR LEVEL	LOWER GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR
QUANTITY	1	1	1	1
PLAN VIEW				
ELEVATION				
LEAF DIMENSIONS	644×1,972	744×2,272	3,931×2,760	844×2,112
DOOR LEAF WIDTH	700	800	4,011	900
HEAD HEIGHT	2.00	2.30	2.80	3.05
SURFACE AREA (M2)	6.35	7.46	28.00	9.96

SKYLIGHT SCHEDULE				
ID	WIDTH	HEIGHT	AREA	TYPE
SK1	3000	950	2.85m <sup>2</sup>	ROOF ACCES HATCH

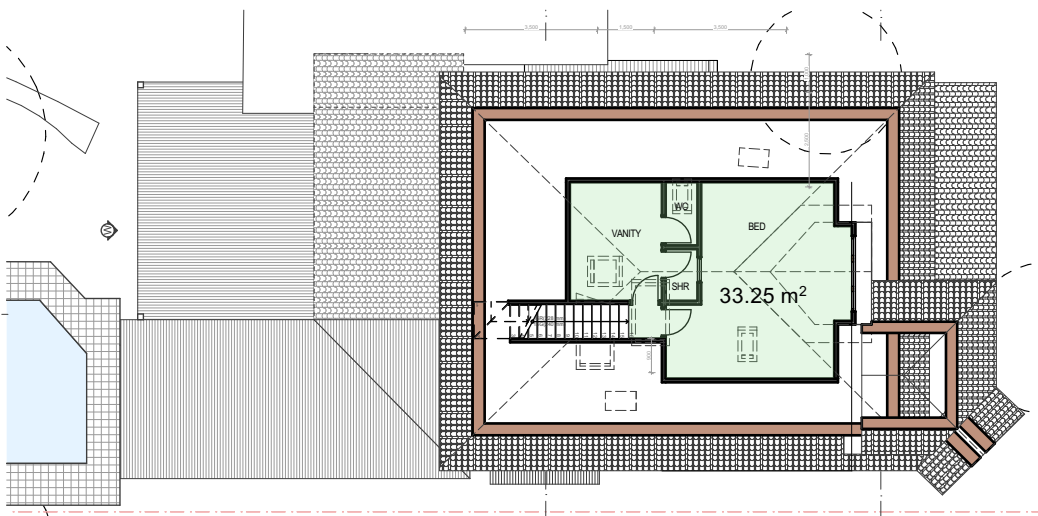
2.

SKYLIGHT LIST  
1:0.58

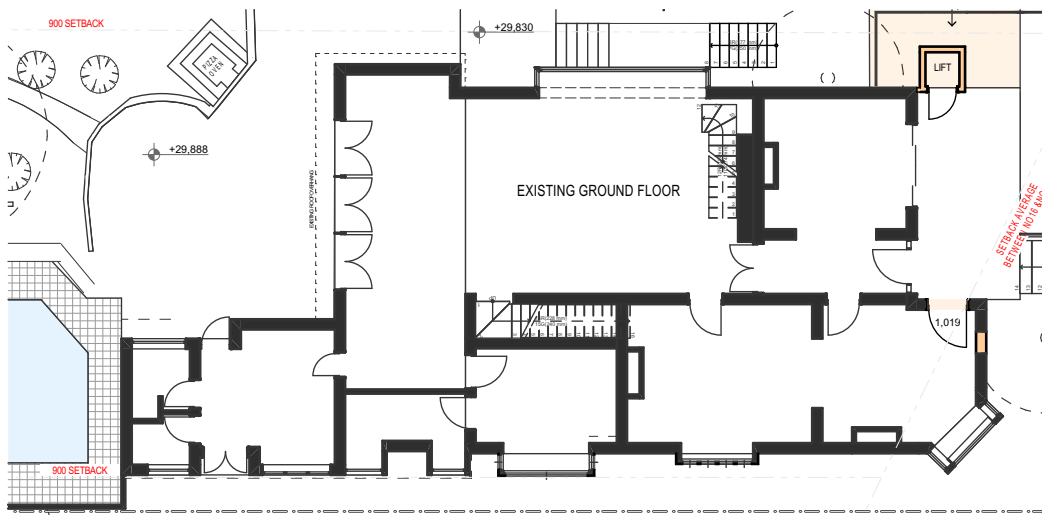
OPENING SCHEDULE



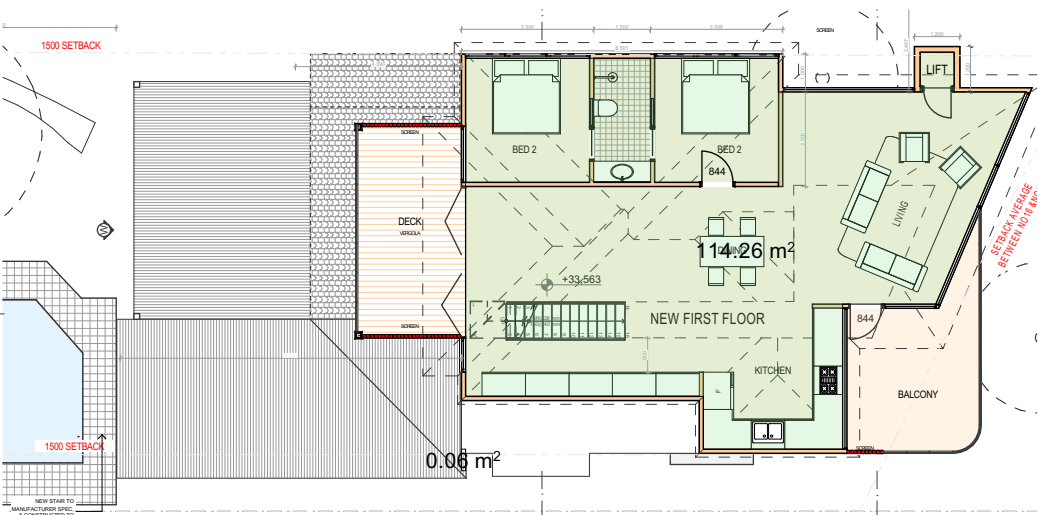
C1 EXITING GROUND FLOOR AREA 1:200



C2 EXISTING FIRST FLOOR AREA 1:200

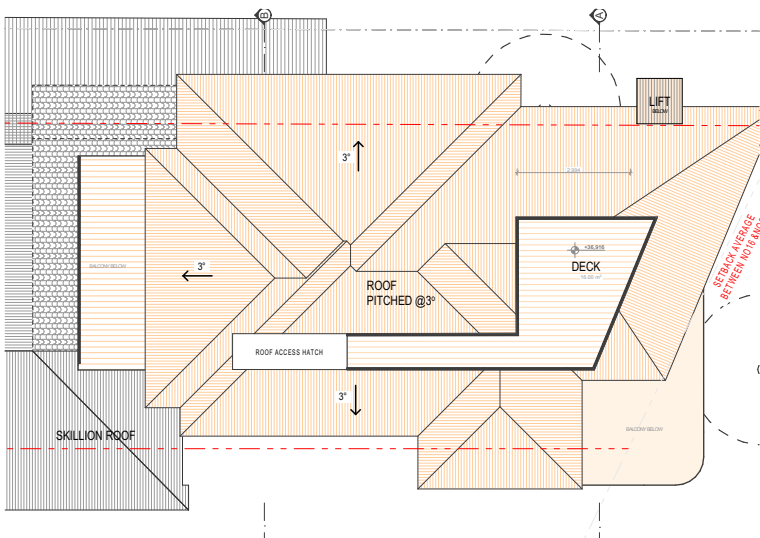


C3 PROPOSED GROUND FLOOR AREA 1:200

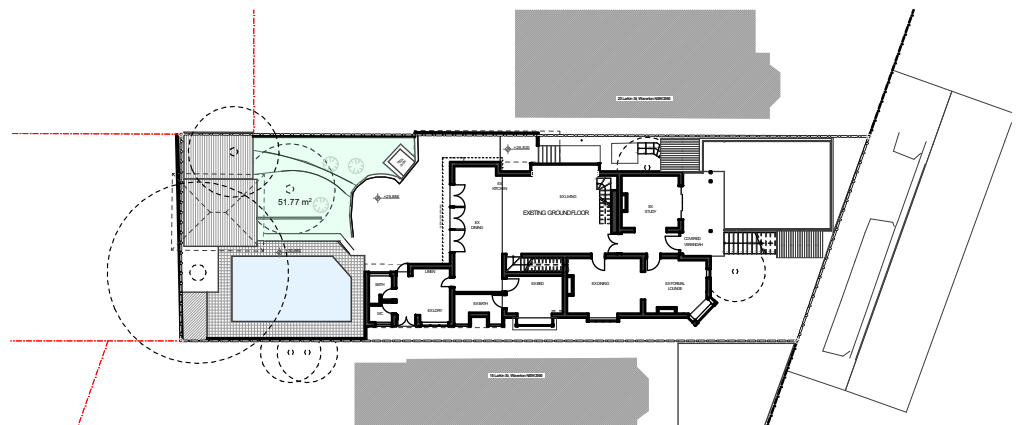


C4 PROPOSED FIRST FLOOR AREA 1:200

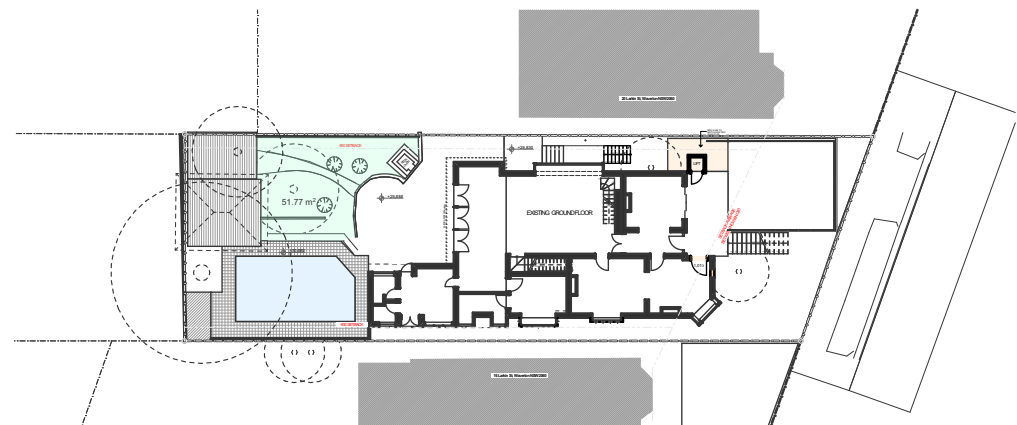
DEVELOPMENT APPLICATION TABLE		
DESCRIPTION	AREA	
SITE AREA	586.12 m <sup>2</sup>	
	EXISTING	PROPOSED
GROUND FLOOR AREA	167.04 m <sup>2</sup>	167.04 m <sup>2</sup>
FIRST FLOOR AREA / ATTIC FLOOR AREA	33.25 m <sup>2</sup>	114.26 m <sup>2</sup>
TOTAL FLOOR AREA	200.29 m <sup>2</sup>	281.30 m <sup>2</sup>
FLOOR SPACE RATIO	0.34 :1	0.48 :1
SITE COVERAGE	449.82 m <sup>2</sup> (76.75%)	449.82 m <sup>2</sup> (76.75%)
LANDSCAPE AREA	86.45 m <sup>2</sup> (14.75%)	86.45 m <sup>2</sup> (14.75%)



C5 PROPOSED ROOF AREA 1:200



C6 EXISTING COVERAGE & LANDSCAPE 1:500

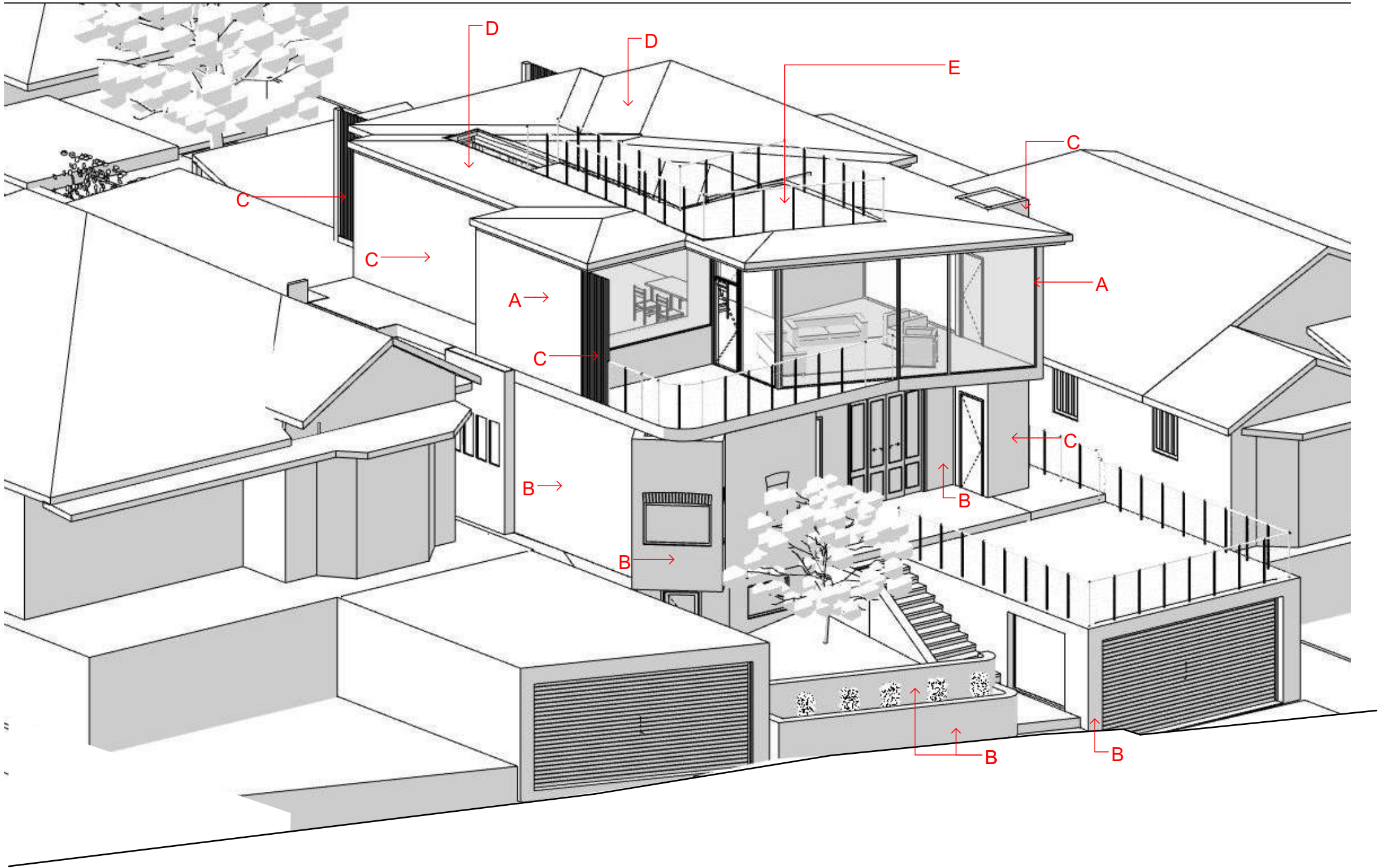







C7 PROPOSED SITE COVERAGE & LANDSCAPE 1:500

## CALCULATIONS

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						SURVEYORS		TOTAL SURVEYING SOLUTIONS		PROJECT	ALTERATIONS AND ADDITIONS TO EXISTING DWELLING		DATE	31/01/2025
						TITLE DESCRIPTION		LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>		ADDRESS	18 LARKIN STREET, WAVERTON NSW 2060		DRN/CHK	PA
						PURPOSE		DEVELOPMENT APPLICATION				SCALE	1:200, 1:500, 1:100	
						L.G.A		NORTH SYDNEY COUNCIL		CLIENT	TONY BAUER		DRAWING No.	DR-4322
BY	DATE	REVISION										SHEET 23		

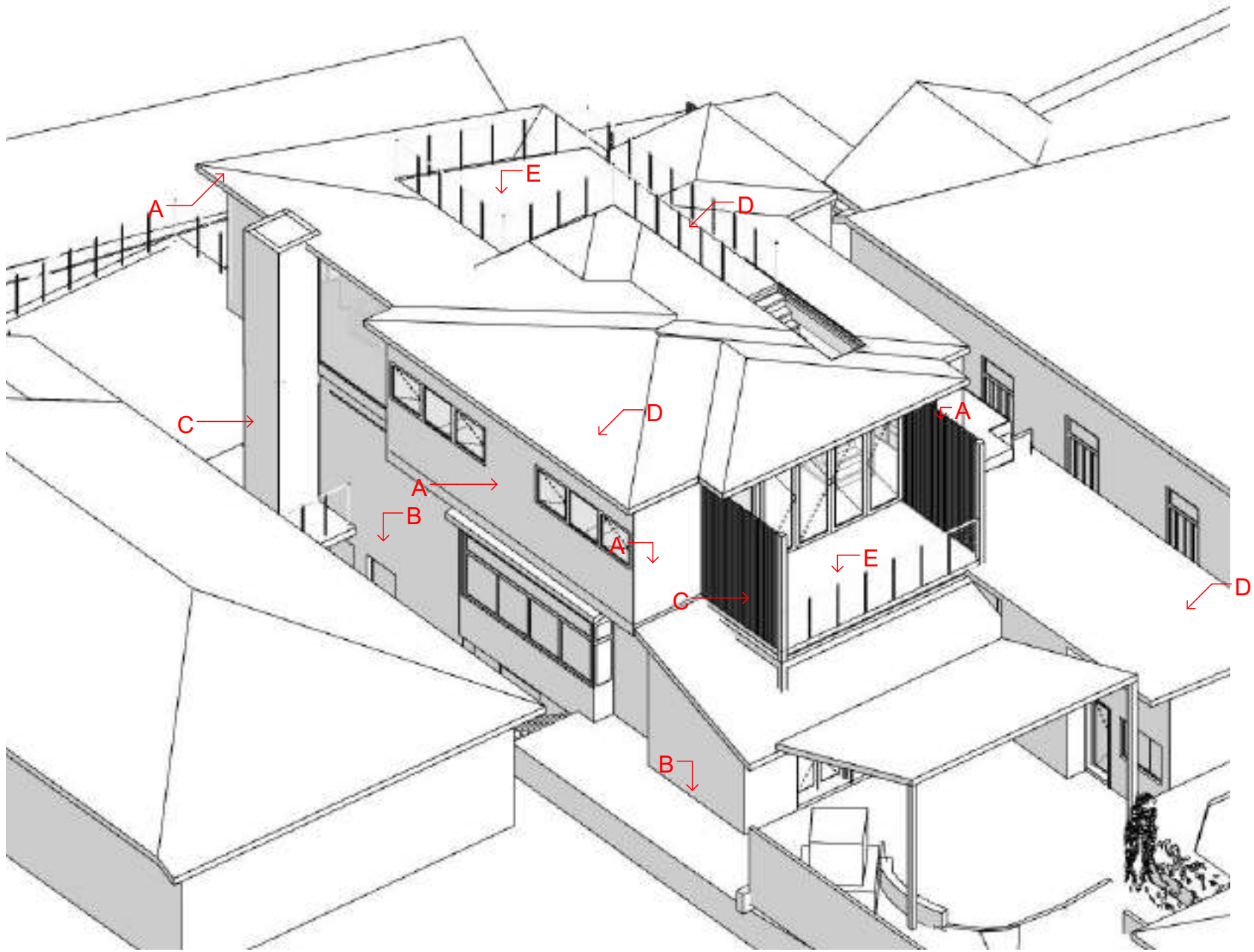









INDEX	FINISH / MATERIAL	COLOR
A	RENDER WITH PAINT FINISH - WHITE	
B	EXISTING AND NEW BRICK WALLS TO BE BAGGED BRICKWORK - WHITE	
C	SHOU SUGI BAN CHARRED CLADDING	
D	METAL SHEET ROOFING - LIGHT COLOUR	
E	TIMBER DECKING	

FINISHES SCHEDULE - FRONT

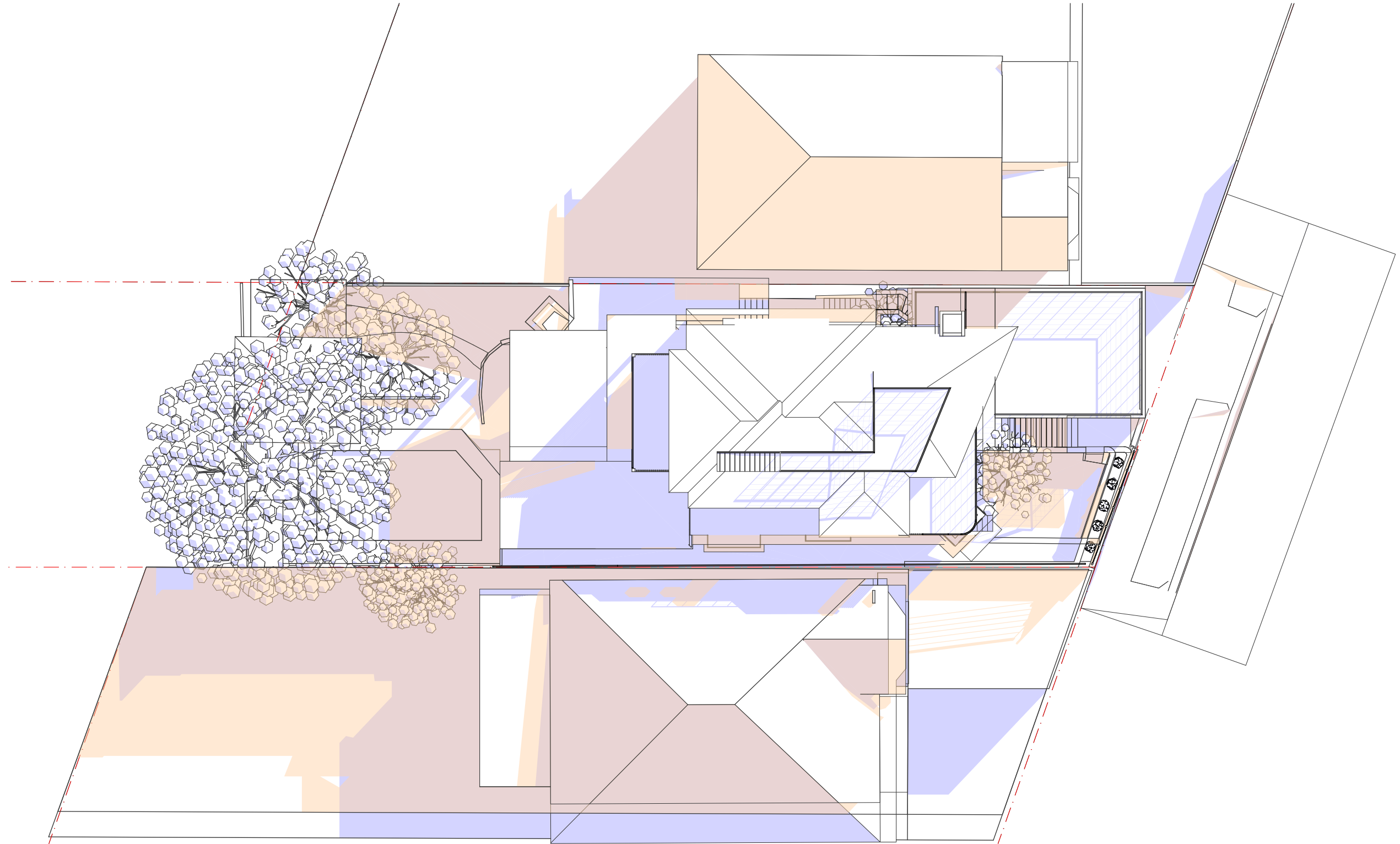
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					SURVEYORS	PROJECT	DATE	
					TOTAL SURVEYING SOLUTIONS	ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	31/01/2025	
					TITLE DESCRIPTION	ADDRESS	DRN/CHK PA	
					LOT 3, DP1062058 - AREA: 586.2 m²	18 LARKIN STREET, WAVERTON NSW 2060	SCALE 1:71.43	
			PURPOSE	CLIENT	DRAWING No.			
			DEVELOPMENT APPLICATION	TONY BAUER	DR-4322			
BY	DATE	REVISION	L.G.A		SHEET 24			
			NORTH SYDNEY COUNCIL					





INDEX	FINISH / MATERIAL	COLOR
A	RENDER WITH PAINT FINISH - WHITE	
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D	METAL SHEET ROOFING - LIGHT COLOUR	
E	TIMBER DECKING	

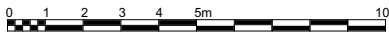
FINISHES SCHEDULE - BACK





LEGEND	
EXISTING SHADOWS	
PROPOSED SHADOWS	

## SHADOWS ON 21ST JUNE @ 9 AM

 SCALE 1:200 - A3		
BY	DATE	REVISION



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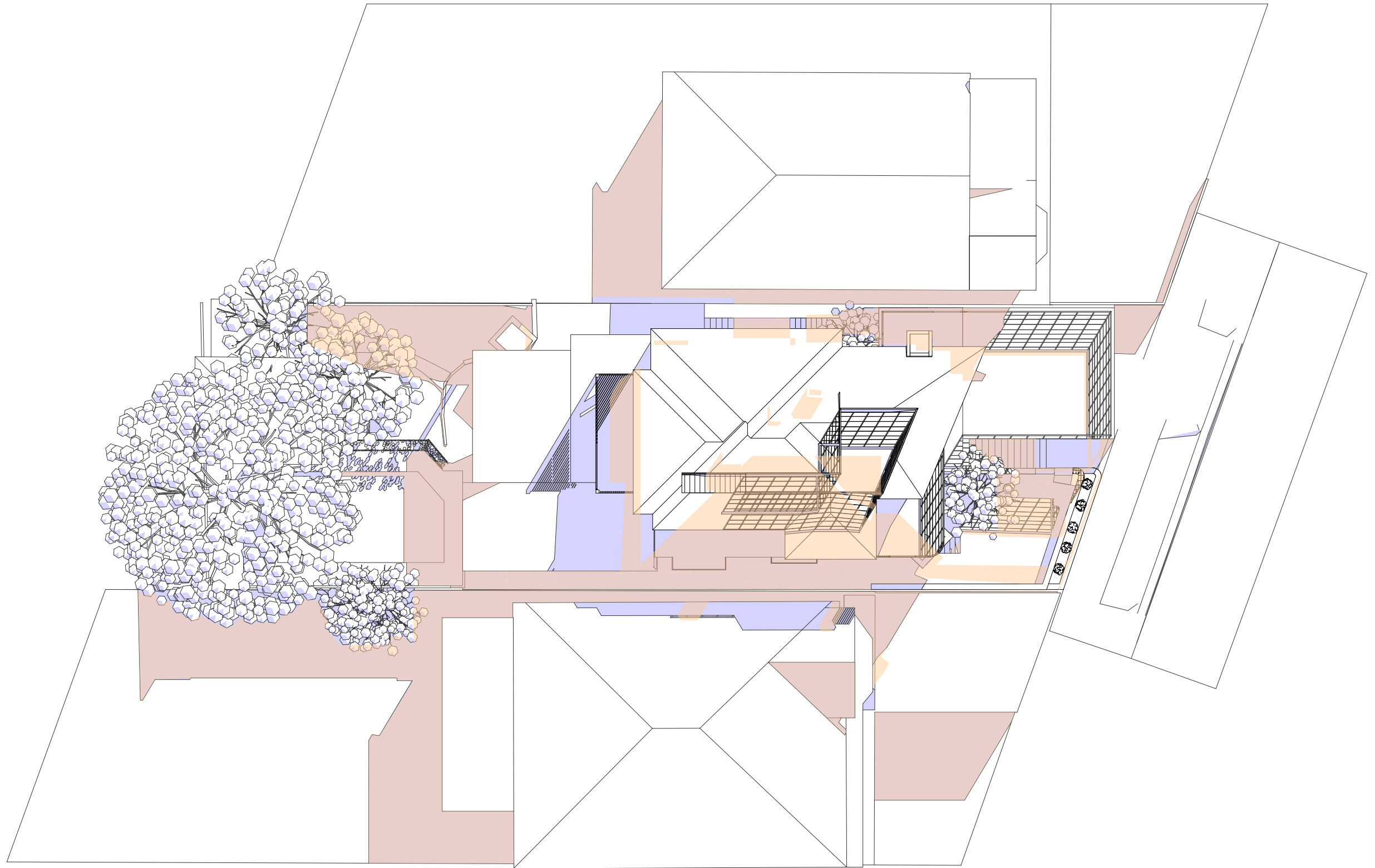
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'Martin Taylor nominated architect nsw 10509'  
p. 0452 517 125

DO NOT SCALE OFF DRAWING			
SURVEYORS TOTAL SURVEYING SOLUTIONS	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE 31/01/2025	DRAWING No. <b>DR-4322</b> <b>SHEET 26</b>
TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060	DRN/CHK PA	
PURPOSE DEVELOPMENT APPLICATION	CLIENT TONY BAUER	SCALE 1:200	
LGA NORTH SYDNEY COUNCIL			



LEGEND	
EXISTING SHADOWS	<div></div>
PROPOSED SHADOWS	<div></div>

# SHADOWS ON 21ST JUNE @ 10AM

BY	DATE	REVISION



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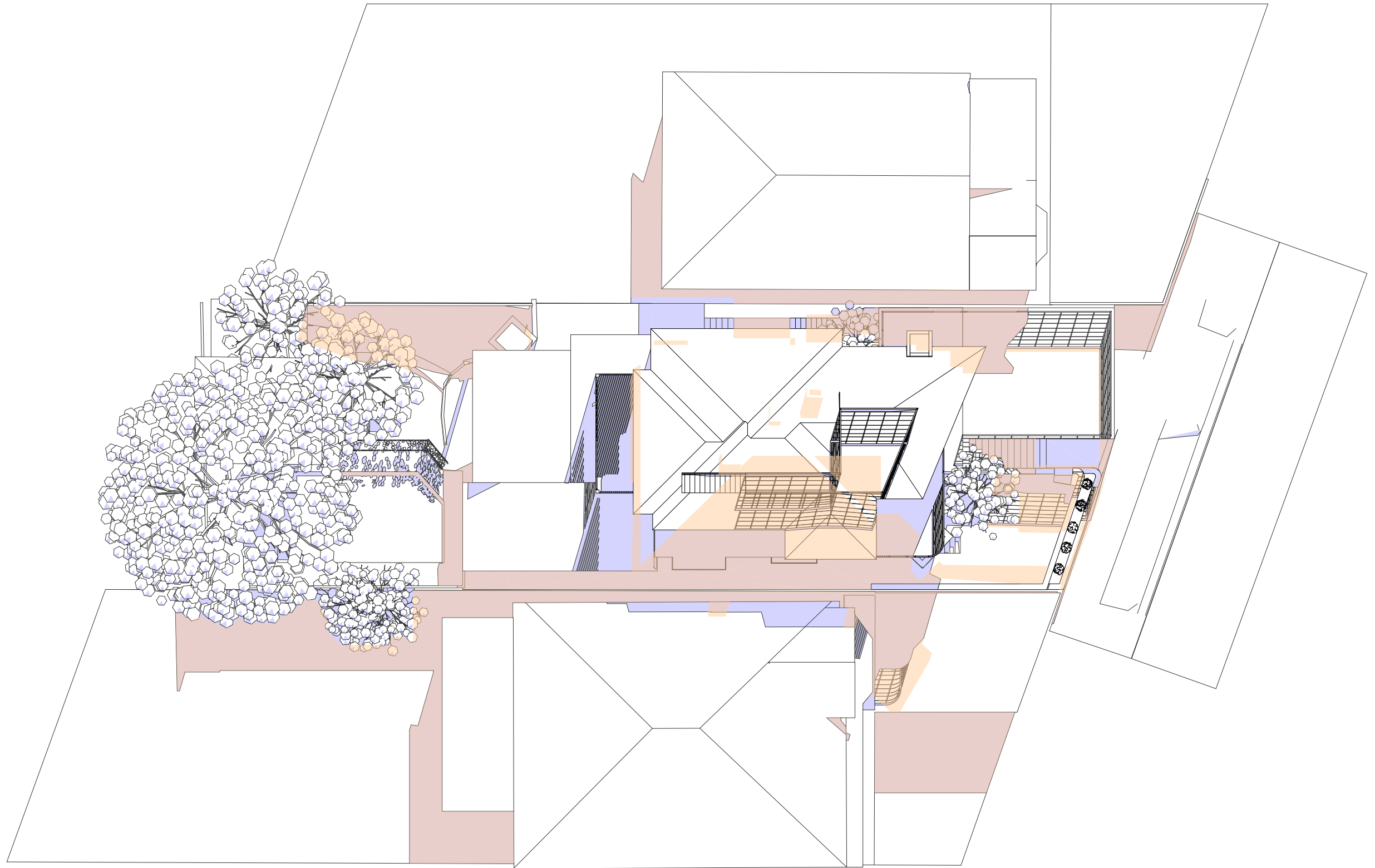
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'Martin Taylor nominated architect nsw 10509'  
p. 0452 517 125

DO NOT SCALE OFF DRAWING			
SURVEYORS	PROJECT	DATE	
TOTAL SURVEYING SOLUTIONS	ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	31/01/2025	
TITLE DESCRIPTION	ADDRESS	DRN/CHK	PA
LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	18 LARKIN STREET, WAVERTON NSW 2060	SCALE	1:200
PURPOSE	CLIENT	DRAWING No.	
DEVELOPMENT APPLICATION	TONY BAUER	DR-4322	
LGA		SHEET 27	
NORTH SYDNEY COUNCIL			



LEGEND	
EXISTING SHADOWS	<div></div>
PROPOSED SHADOWS	<div></div>

## SHADOWS ON 21ST JUNE @ 11AM

BY	DATE	REVISION



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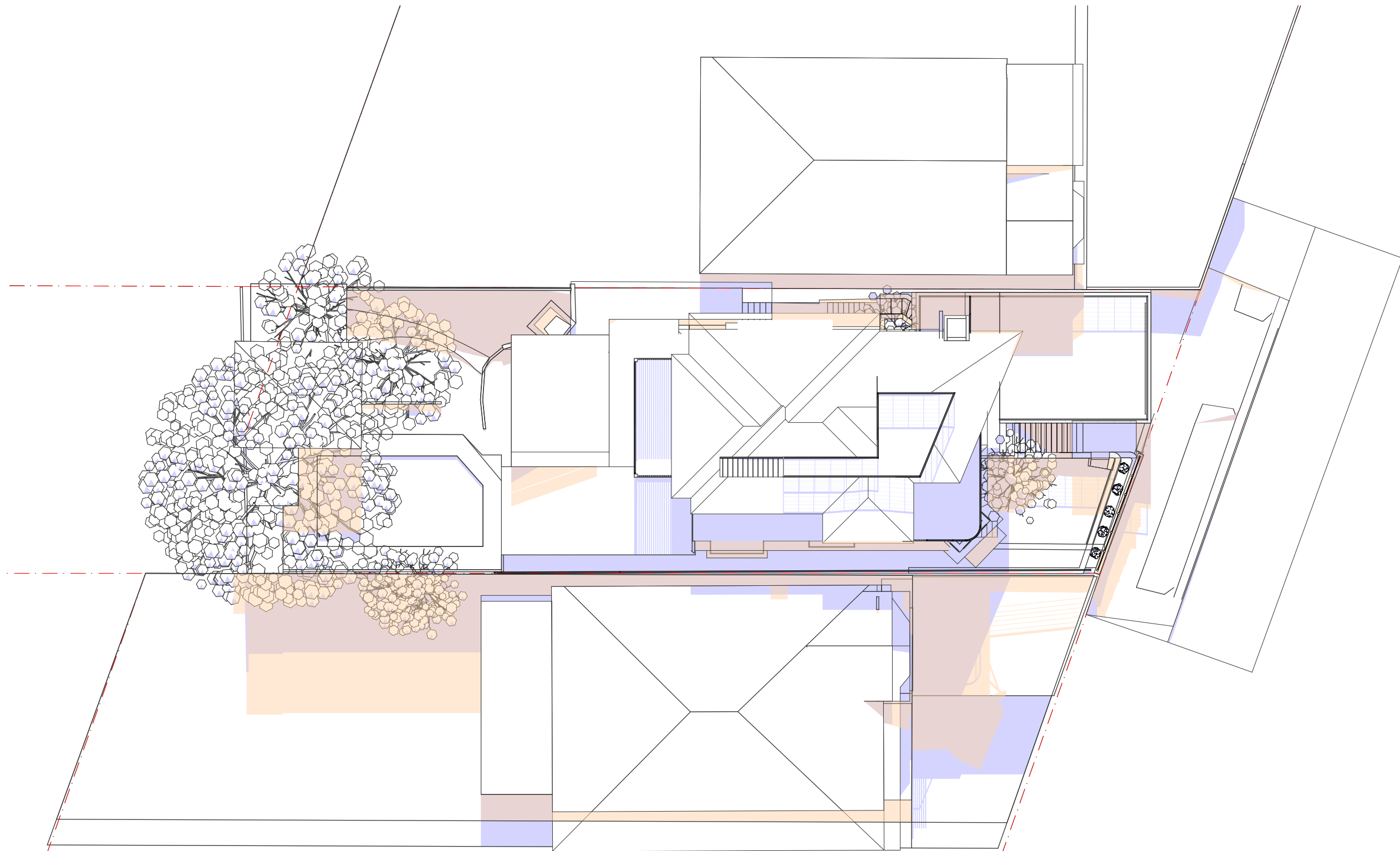
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SURVEYORS TOTAL SURVEYING SOLUTIONS	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE 31/01/2025	DRAWING No. <b>DR-4322</b> <b>SHEET 28</b>
TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060	DRN/CHK PA	
PURPOSE DEVELOPMENT APPLICATION	CLIENT TONY BAUER	SCALE 1:200	
LGA NORTH SYDNEY COUNCIL			



LEGEND	
EXISTING SHADOWS	<div></div>
PROPOSED SHADOWS	<div></div>

## SHADOWS ON 21ST JUNE @ 12 NOON

<div><div></div><div>012345m10m</div><div>SCALE 1:200 - A3</div></div>		
BY	DATE	REVISION



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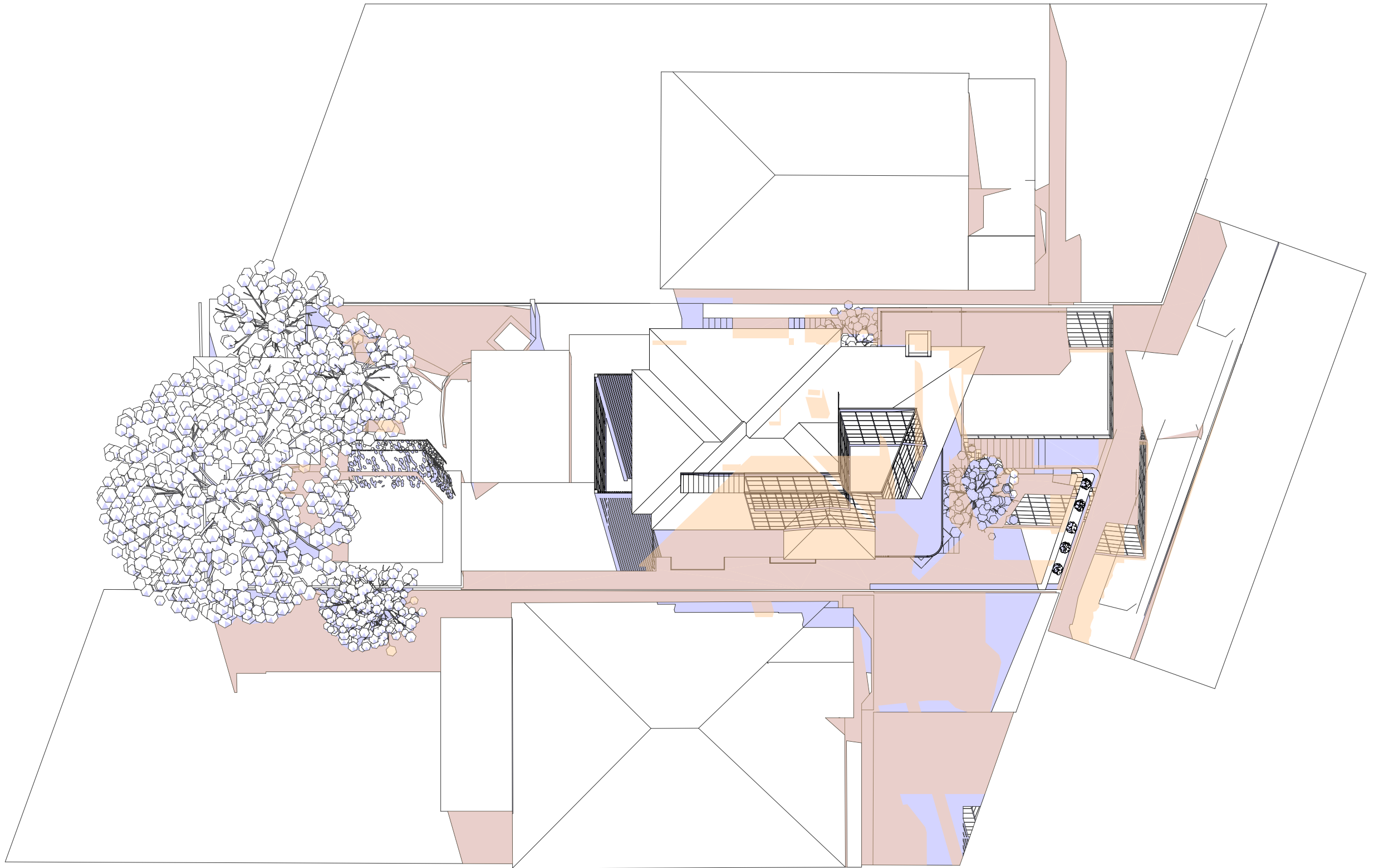
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SURVEYORS	TOTAL SURVEYING SOLUTIONS	PROJECT	ALTERATIONS AND ADDITIONS TO EXISTING DWELLING
TITLE DESCRIPTION	LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	ADDRESS	18 LARKIN STREET, WAVERTON NSW 2060
PURPOSE	DEVELOPMENT APPLICATION	CLIENT	TONY BAUER
LGA	NORTH SYDNEY COUNCIL		
		DATE	31/01/2025
		DRN/CHK	PA
		SCALE	1:200
		DRAWING No.	DR-4322
			SHEET 29





LEGEND	
EXISTING SHADOWS	<div></div>
PROPOSED SHADOWS	<div></div>

# SHADOWS ON 21ST JUNE @ 1PM

BY	DATE	REVISION



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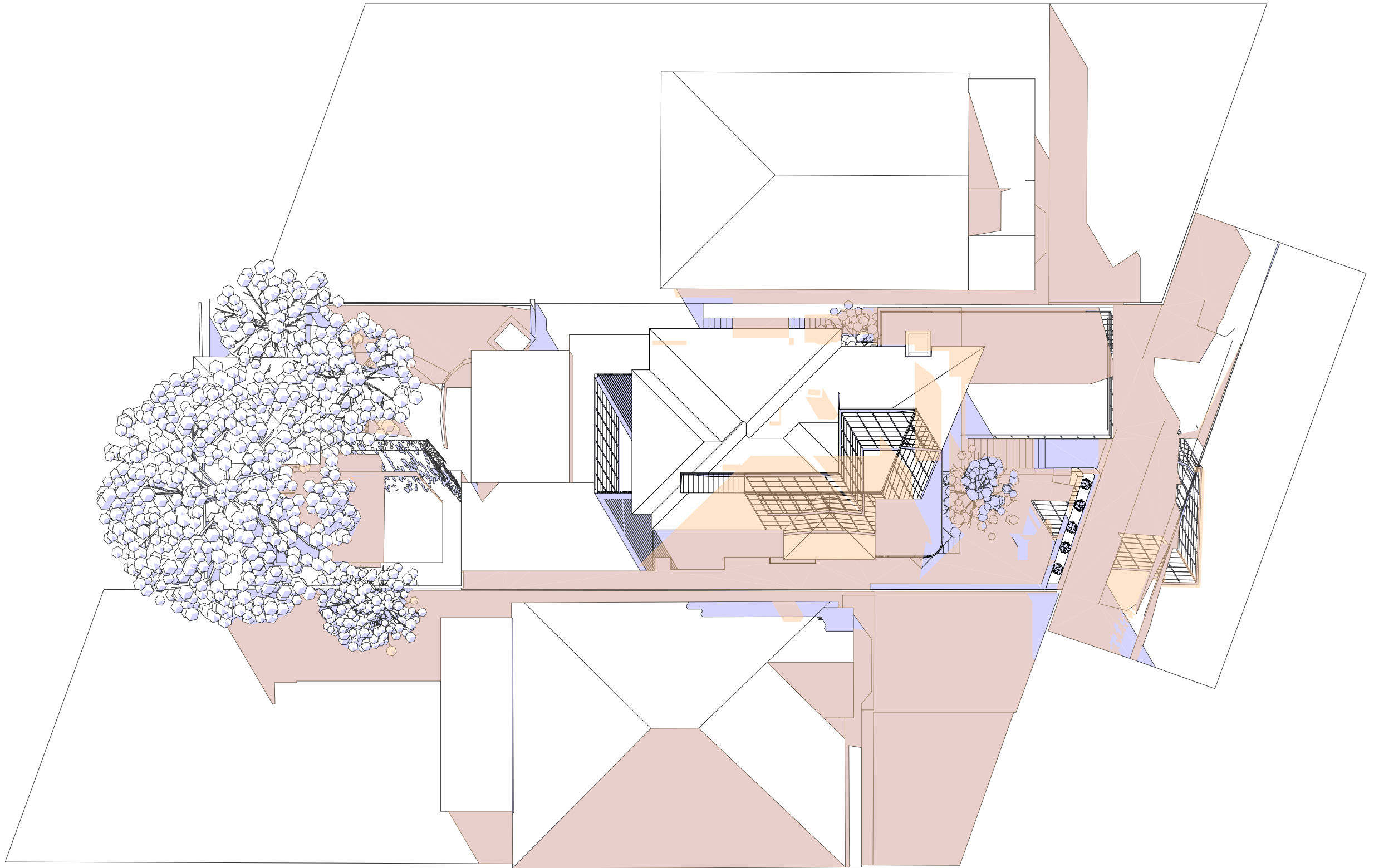
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SURVEYORS TOTAL SURVEYING SOLUTIONS TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup> PURPOSE DEVELOPMENT APPLICATION LGA NORTH SYDNEY COUNCIL	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING		DATE 31/01/2025
	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060		DRN/CHK PA
	CLIENT TONY BAUER		SCALE 1:200 DRAWING No. DR-4322 SHEET 30





LEGEND	
EXISTING SHADOWS	
PROPOSED SHADOWS	

# SHADOWS ON 21ST JUNE @ 2PM

BY	DATE	REVISION



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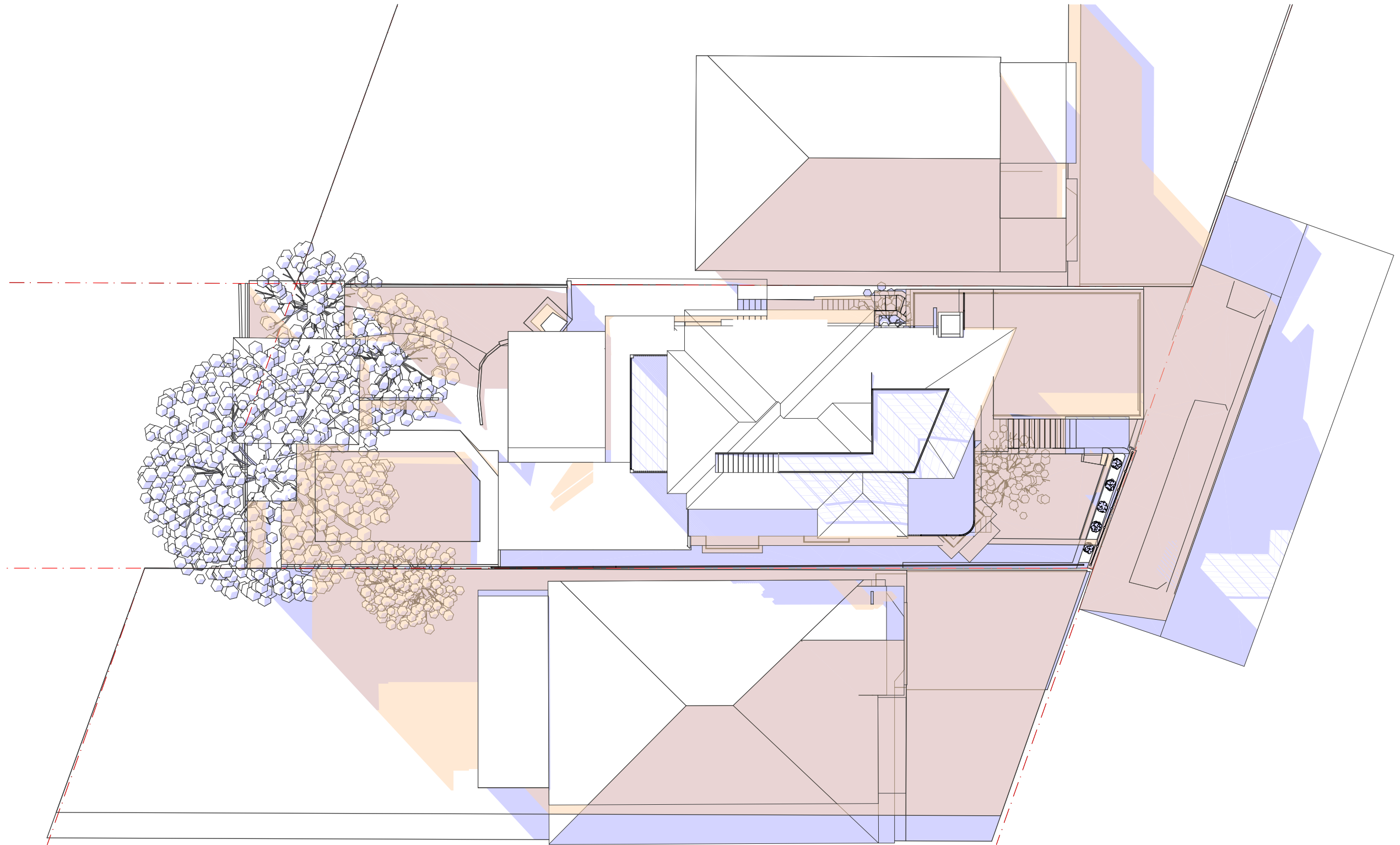
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SURVEYORS TOTAL SURVEYING SOLUTIONS		PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE 31/01/2025
TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>			DRN/CHK PA
PURPOSE DEVELOPMENT APPLICATION		ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060	SCALE 1:200
L.G.A NORTH SYDNEY COUNCIL			DRAWING No. DR-4322 SHEET 31



LEGEND	
EXISTING SHADOWS	<div></div>
PROPOSED SHADOWS	<div></div>

SHADOWS ON 21ST JUNE @ 3 PM

<div><div></div><div>012345m10m</div><div>SCALE 1:200 - A3</div></div>		
BY	DATE	REVISION



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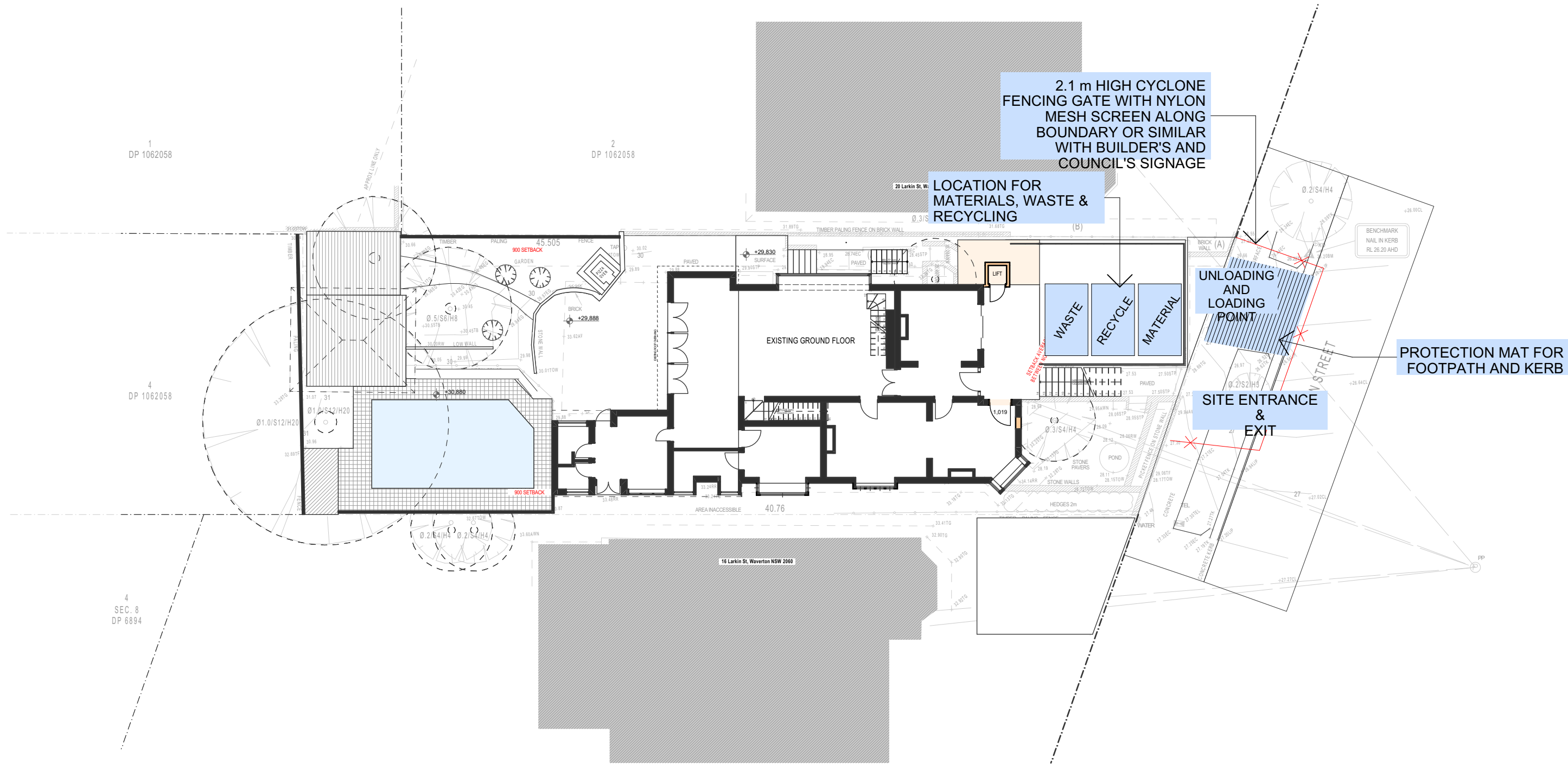
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	TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>		DRN/CHK PA
PURPOSE DEVELOPMENT APPLICATION	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060		SCALE 1:200
LGA NORTH SYDNEY COUNCIL	CLIENT TONY BAUER		DRAWING No. DR-4322 SHEET 32



# CONSTRUCTION MANAGEMENT PLAN

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						SURVEYORS TOTAL SURVEYING SOLUTIONS	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING		
						TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m <sup>2</sup>	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060		
						PURPOSE DEVELOPMENT APPLICATION	CLIENT TONY BAUER		
BY	DATE	REVISION				LGA NORTH SYDNEY COUNCIL			









RESIDENTIAL BUILDING SPECIFICATION – GENERAL NOTES

<p><b>1. SITE PREPARATION</b></p> <p>1.1 GEOTECHNICAL INVESTIGATION.</p> <p>AN ENGINEER QUALIFIED TO INVESTIGATE THE SOIL CONDITIONS AND CLASSIFY THE SITE IN THE AREA OF THE PROPOSED BUILDING MAY BE ENGAGED BY EITHER THE BUILDER OR THE OWNER/S. WHERE POSSIBLE, THE ENGINEER WILL CERTIFY THAT THE SITE WILL SUPPORT THE PROPOSED FOOTINGS, SLAB AND BUILDING DESIGN.</p> <p>COSTS OF CONSULTATION WILL BE PAYABLE BY THE OWNER/S AS AN ADDITIONAL COST NOT ALLOWED FOR/OR INCLUDED IN THE CONTRACT SUM, UNLESS OTHERWISE SPECIFIED.</p> <p>1.2 SITE IDENTIFICATION &amp; SETTING OUT</p> <p>THE BUILDER IS TO VISIT THE SITE AND NOTE THE EXISTING LEVELS, SITE CONDITIONS AND FACILITIES. THE BUILDER SHALL ADVISE THE OWNER/S OF ANY VARIATION FOUND AT THE SITE FROM THE DOCUMENTATION OR INFORMATION PROVIDED.</p> <p>THE LAND SHALL BE BLOCK AND PEG SURVEYED AND THE SURVEY CERTIFICATE PROVIDED BEFORE THE WORK COMMENCES. THE COST OF THE SURVEY SHALL BE INCLUDED IN THE PRICE UNLESS OTHERWISE SPECIFIED.</p> <p>ANY ADDITIONAL SURVEY SHALL BE SUBJECT TO THE ALLOWANCE IN THE P.C SCHEDULE.</p>		
<p><b>2. EXCAVATIONS, FOUNDATIONS AND FOOTINGS</b></p> <p>2.1 EARTHWORKS FOR BUILDING/STRUCTURE MUST COMPLY WITH PART 3.2 (ABCB HOUSING PROVISIONS) AND SITE CLASSIFICATION (A, S, M, H, OR E) IN NORMAL CONDITIONS. EARTH RETAINING STRUCTURE MUST COMPLY WITH AS 4678. PART 3.4 COMPLIANCE SATISFIES TERMITE RISK MANAGEMENT FOR H1P1.</p>		
<p><b>3. CONCRETE</b></p> <p>3.1 TERMITE RISK MANAGEMENT (BCA 3.1.3)</p> <p>TERMITE BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH BCA 3.1.3 PRIOR TO THE COMMENCEMENT OF WORKS, THE SITE SHALL BE INSPECTED FOR EVIDENCE OF TERMITE ACTIVITY. WHERE TERMITE NESTS ARE FOUND ON THE SITE, TREATMENT OF THE NESTS SHALL BE CARRIED OUT BY A COMPETENT AND QUALIFIED CONTRACTOR.</p> <p>IT IS RECOMMENDED THAT THE OWNER/S IS PROVIDED WITH A COPY OF MASTER BUILDERS HOME OWNER’S GUIDE FOR TERMITE MANAGEMENT.</p> <p>3.2 VAPOUR BARRIER (BCA 3.2.2)</p> <p>VAPOUR BARRIER INSTALLED UNDER THE SLAB-ON-GROUND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NSW VARIATION BCA 3.2.2.6</p> <p>THE VAPOUR BARRIER SHALL BE 0.2MM NOMINAL THICKNESS POLYETHYLENE FILM OF HIGH IMPACT RESISTANCE AND BRANDED CONTINUOUSLY: “AS 2870 CONCRETE UNDERLAY, 0.2MM HIGH IMPACT RESISTANCE”.</p> <p>3.3 FORMWORK</p> <p>QUALITY FORMWORK SHALL BE USED TO PROVIDE SHAPE, LINE, TRUE POSITIONING AND DIMENSION TO CARRY ALL IMPOSED LOADS. BRACE SUFFICIENTLY TO PREVENT BOWING OR BUCKLING WHILE CONCRETE IS BEING POURED AND CURED.</p> <p>WHERE THE SLAB EDGE IS TO BE EXPOSED FOR TERMITE MANAGEMENT, THE EXPOSED EDGE SHALL BE OFF-THE-FORM, SMOOTH AND WITHOUT HONEYCOMB.</p> <p>3.4 REINFORCEMENT (BCA 3.2.3)</p> <p>STEEL REINFORCEMENT SHALL COMPLY WITH BCA 3.2.3.2 AND THE ENGINEERS DETAILS.</p> <p>BAR CHAIRS SHALL BE PLACED TO GIVE THE FOLLOWING CLEAR COVER:</p> <ul style="list-style-type: none"><li>- 40MM TO UNPROTECTED GROUND;</li><li>- 30MM TO A MEMBRANE IN CONTACT WITH THE GROUND;</li><li>- 20MM TO AN INTERNAL SURFACE;</li><li>- 40MM TO AN EXTERNAL SURFACE.</li></ul> <p>3.5 PREMIXED CONCRETE (BCA 3.2.3)</p> <p>PREMIXED CONCRETE SHALL BE SUPPLIED TO COMPLY WITH AS1379. UNLESS OTHERWISE SPECIFIED, CONCRETE SHALL HAVE DEFAULT STRENGTH AT 28 DAYS OF NOT LESS THAN 20MPA (GRADE N20) AND HAVE A NOMINAL AGGREGATE SIZE OF 20MM.</p> <p>UNLESS OTHERWISE SPECIFIED, A DEFAULT SLUMP OF 100MM WILL APPLY TO RESIDENTIAL SLABS AND FOOTINGS.</p> <p>3.6 CURING</p> <p>CONCRETE SHALL BE CURED BY COVERING WITH PLASTIC SHEETING, THE APPLICATION OF A SUITABLE CURING COMPOUND, BY KEEPING CONTINUALLY DAMP, OR IN ACCORDANCE WITH AS3600</p>		

<p><b>4. DRAINAGE AND WASTE WATER/SEWAGE TREATMENT</b></p> <p>4.1 GENERAL (BCA PART 3.1.2)</p> <p>ALL DRAINAGE WORK SHALL BE CARRIED OUT BY A LICENSED DRAINER. STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA.</p>	
<p><b>5. BRICKLAYING/MASONRY (BCA PART 3.3)</b></p> <p>5.1 MASONRY UNITS</p> <p>MASONRY UNITS ARE TO BE AS SELECTED AND AS IDENTIFIED IN THE SCHEDULE. MASONRY UNITS PRODUCED FROM CLAY, CONCRETE AND CALCIUM SILICATE SHALL COMPLY WITH AS/NZS 4455.</p> <p>MASONRY UNITS EXPOSED TO SALT ATTACK SHALL COMPLY WITH THE DURABILITY REQUIREMENTS OF AS 3700.</p> <p>AUTOCLAVED AERATED CONCRETE (AAC) BLOCKS SHALL BE SELECTED AND INSTALLED TO THE MANUFACTURER’S SPECIFICATION.</p> <p>5.2 WORKMANSHIP</p> <p>TIMBER AND TIMBER PRODUCTS DELIVERED TO THE SITE SHALL BE STORED AT LEAST 150MM OFF THE GROUND, STORED LEVEL, EVENLY SUPPORTED, WELL VENTILATED AND PROTECTED FROM THE RAIN AND SUN. PRE- FABRICATED TRUSSES SHOULD BE HANDLED IN A VERTICAL POSITION TO AVOID DISTORTION AND OVERSTRESSING OF THE TIMBER AND CONNECTING PLATES. WHERE PRE-FABRICATED ROOF TRUSSES ARE REQUIRED TO BE HANDLED HORIZONTALLY, PROVIDE INTERMEDIATE SUPPORT. DO NOT SITE REPAIR DAMAGED TRUSSES AND REPORT THEM TO THE TRUSS FABRICATOR IMMEDIATELY TO AVOID DELAYS IN RECTIFICATION.</p> <p>6.3 HANDLING AND STORAGE</p> <p>TIMBER AND TIMBER PRODUCTS DELIVERED TO THE SITE SHALL BE STORED AT LEAST 150MM OFF THE GROUND, STORED LEVEL, EVENLY SUPPORTED, WELL VENTILATED AND PROTECTED FROM THE RAIN AND SUN. PRE- FABRICATED TRUSSES SHOULD BE HANDLED IN A VERTICAL POSITION TO AVOID DISTORTION AND OVERSTRESSING OF THE TIMBER AND CONNECTING PLATES. WHERE PRE-FABRICATED ROOF TRUSSES ARE REQUIRED TO BE HANDLED HORIZONTALLY, PROVIDE INTERMEDIATE SUPPORT. DO NOT SITE REPAIR DAMAGED TRUSSES AND REPORT THEM TO THE TRUSS FABRICATOR IMMEDIATELY TO AVOID DELAYS IN RECTIFICATION.</p> <p>6.4 FLOOR FRAMING</p> <p>ALL FLOORS NOT SPECIFIED TO BE CONCRETE ARE TO BE FRAMED AT THE LEVEL SHOWN. FLOOR STRUCTURE SIZES AND SPACING ARE TO BE IN ACCORDANCE WITH AS 1684 OR OTHERWISE SPECIFIED BY A PRACTICING STRUCTURAL ENGINEER. BEARERS, JOIST AND PLATES SHALL BE LAID TRUE AND LEVEL.</p> <p>A) BLOCKING</p> <p>WHERE THE DEPTH OF FLOOR JOIST IS EQUAL TO OR EXCEEDS 4 TIMES THEIR WIDTH, HERRINGBONE STRUTTING OR SOLID BLOCKING MUST BE PROVIDED BETWEEN THE OUTER PAIRS OF JOISTS AND BETWEEN INTERMEDIATE PAIRS OF JOISTS AT NOT MORE THAN 1.8M CENTRES, OR CONTINUOUS TRIMMING JOISTS CAN BE PROVIDED TO THE ENDS OF JOISTS ABOVE EXTERNAL BEARERS OR WALL PLATES. TRIMMERS OR SOLID BLOCKING MAY BE 25MM LESS IN DEPTH THAN THE JOISTS AND SOLID BLOCKING SHALL BE A MINIMUM THICKNESS OF 25MM.</p> <p>B) JOISTS UNDER WALLS</p> <p>PROVIDE DOUBLE JOIST UNDER ALL EXTERNAL WALLS RUNNING PARALLEL WITH THE FLOOR JOIST UNDER THE WALL. WHERE A JOIST IS NOT PROVIDED DIRECTLY UNDER AN INTERNAL TIE-DOWN OR BRACING WALL PROVIDE NOGGING OR BRIDGING BETWEEN ADJACENT JOISTS AT ALL REQUIRED FIXING POINTS.</p> <p>6.5 FLOORING</p> <p>A) STRIP FLOORING</p> <p>FLOOR IS TO BE CLEAR FINISHED AND SHALL NOT BE LAID UNTIL THE BUILDING IS WEATHER TIGHT. CHECK SUPPLIER CERTIFICATE FOR SPECIES, GRADE SIZE AND MOISTURE CONTENT PRIOR TO LAYING.</p> <p>WHERE MACHINE NAILING IS TO BE USED, ENSURE BOARDS ARE IN CONTACT WITH THE JOIST AS THIS TYPE NAILING CANNOT BE RELIED UPON TO PULL BOARD DOWN TOJOIST.</p> <p>ALL FITTED FLOORS REQUIRE A 12MM EXPANSION GAP BETWEEN THE FLOOR BOARDS AND ANY INTERNAL OR EXTERNAL WALL STRUCTURES.</p> <p>B) PLYWOOD STRUCTURAL FLOORING</p> <p>STRUCTURAL PLYWOOD MUST BE MANUFACTURED IN ACCORDANCE WITH AS/NZS 2269 AND SHEETS MARKED WITH MANUFACTURER'S NAME OR TRADEMARK.</p> <p>SHEETS SHALL BE INSTALLED IN ACCORDANCE WITH AS 1684. PLYWOOD FACE GRAIN MUST RUN AT RIGHT ANGLES TO THE JOISTS AND SHALL BE CONTINUOUS OVER AT LEAST TWO SPANS. WHERE POSSIBLE, PANEL ENDS SHALL BE STAGGERED.</p>	

<p><b>6. CARPENTRY (BCA PART 3.4)</b></p> <p>6.1 TIMBER GENERALLY</p> <p>REFER TO THE SCHEDULE FOR SPECIES, GRADE AND DURABILITY TO BE USED.</p> <p>ALL TIMBER USED SHALL BE OF THE DURABILITY AND STRESS GRADE SPECIFIED AND/OR COMPLY WITH THE PROVISIONS OF AS 1720 AND AS 1684. ALL STRUCTURAL TIMBER USED WILL BE OF A DURABILITY CLASS APPROPRIATE TO THE EXPECTED SERVICE LIFE AND EXPOSURE CONDITIONS. ALL STRUCTURAL TIMBER USED WILL BE STAMPED OR OTHERWISE IDENTIFIED IN RESPECT OF STRESS GRADE. SIZES OF TIMBER FOR CONSTRUCTIONAL PURPOSES TO BE THE NOMINAL SIZE MENTIONED WITH ALLOWABLE TOLERANCES AS PROVIDED BY THE RELEVANT SUPPLEMENT OF AS 1684. SCANTLINGS TO BE IN LONG LENGTHS, ACCURATELY CUT AND FITTED AND SECURELY FIXED.</p> <p>6.2 ENGINEERED TIMBER PRODUCTS</p> <p>FABRICATED GLUE-LAMINATED TIMBER BEAMS ARE TO CONFORM TO AS 1328. FABRICATED L-BEAMS, LAMINATED VENEER LUMBER BEAMS ARE TO BE DESIGNED IN ACCORDANCE WITH AS 1720.1.</p> <p>6.3 HANDLING AND STORAGE</p> <p>TIMBER AND TIMBER PRODUCTS DELIVERED TO THE SITE SHALL BE STORED AT LEAST 150MM OFF THE GROUND, STORED LEVEL, EVENLY SUPPORTED, WELL VENTILATED AND PROTECTED FROM THE RAIN AND SUN. PRE- FABRICATED TRUSSES SHOULD BE HANDLED IN A VERTICAL POSITION TO AVOID DISTORTION AND OVERSTRESSING OF THE TIMBER AND CONNECTING PLATES. WHERE PRE-FABRICATED ROOF TRUSSES ARE REQUIRED TO BE HANDLED HORIZONTALLY, PROVIDE INTERMEDIATE SUPPORT. DO NOT SITE REPAIR DAMAGED TRUSSES AND REPORT THEM TO THE TRUSS FABRICATOR IMMEDIATELY TO AVOID DELAYS IN RECTIFICATION.</p> <p>6.4 FLOOR FRAMING</p> <p>ALL FLOORS NOT SPECIFIED TO BE CONCRETE ARE TO BE FRAMED AT THE LEVEL SHOWN. FLOOR STRUCTURE SIZES AND SPACING ARE TO BE IN ACCORDANCE WITH AS 1684 OR OTHERWISE SPECIFIED BY A PRACTICING STRUCTURAL ENGINEER. BEARERS, JOIST AND PLATES SHALL BE LAID TRUE AND LEVEL.</p> <p>A) BLOCKING</p> <p>WHERE THE DEPTH OF FLOOR JOIST IS EQUAL TO OR EXCEEDS 4 TIMES THEIR WIDTH, HERRINGBONE STRUTTING OR SOLID BLOCKING MUST BE PROVIDED BETWEEN THE OUTER PAIRS OF JOISTS AND BETWEEN INTERMEDIATE PAIRS OF JOISTS AT NOT MORE THAN 1.8M CENTRES, OR CONTINUOUS TRIMMING JOISTS CAN BE PROVIDED TO THE ENDS OF JOISTS ABOVE EXTERNAL BEARERS OR WALL PLATES. TRIMMERS OR SOLID BLOCKING MAY BE 25MM LESS IN DEPTH THAN THE JOISTS AND SOLID BLOCKING SHALL BE A MINIMUM THICKNESS OF 25MM.</p> <p>B) JOISTS UNDER WALLS</p> <p>PROVIDE DOUBLE JOIST UNDER ALL EXTERNAL WALLS RUNNING PARALLEL WITH THE FLOOR JOIST UNDER THE WALL. WHERE A JOIST IS NOT PROVIDED DIRECTLY UNDER AN INTERNAL TIE-DOWN OR BRACING WALL PROVIDE NOGGING OR BRIDGING BETWEEN ADJACENT JOISTS AT ALL REQUIRED FIXING POINTS.</p> <p>6.5 FLOORING</p> <p>A) STRIP FLOORING</p> <p>FLOOR IS TO BE CLEAR FINISHED AND SHALL NOT BE LAID UNTIL THE BUILDING IS WEATHER TIGHT. CHECK SUPPLIER CERTIFICATE FOR SPECIES, GRADE SIZE AND MOISTURE CONTENT PRIOR TO LAYING.</p> <p>WHERE MACHINE NAILING IS TO BE USED, ENSURE BOARDS ARE IN CONTACT WITH THE JOIST AS THIS TYPE NAILING CANNOT BE RELIED UPON TO PULL BOARD DOWN TOJOIST.</p> <p>ALL FITTED FLOORS REQUIRE A 12MM EXPANSION GAP BETWEEN THE FLOOR BOARDS AND ANY INTERNAL OR EXTERNAL WALL STRUCTURES.</p> <p>B) PLYWOOD STRUCTURAL FLOORING</p> <p>STRUCTURAL PLYWOOD MUST BE MANUFACTURED IN ACCORDANCE WITH AS/NZS 2269 AND SHEETS MARKED WITH MANUFACTURER'S NAME OR TRADEMARK.</p> <p>SHEETS SHALL BE INSTALLED IN ACCORDANCE WITH AS 1684. PLYWOOD FACE GRAIN MUST RUN AT RIGHT ANGLES TO THE JOISTS AND SHALL BE CONTINUOUS OVER AT LEAST TWO SPANS. WHERE POSSIBLE, PANEL ENDS SHALL BE STAGGERED.</p>	
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<p>C) PARTICLEBOARD FLOORING</p> <p>PARTICLEBOARD FLOORING SHALL BE LAID AND FIXED IN ACCORDANCE WITH AS 1860.2.</p> <p>SHEETS SHALL SPAN NOT LESS THAN TWO FLOOR JOIST SPACING'S. SQUARE EDGES AND ENDS OF SHEETS SHALL BE BUTTED OVER JOISTS AND TRIMMERS.</p> <p>6.6 WALL FRAMING</p> <p>WALL FRAME, SIZES AND SPACING SHALL BE IN ACCORDANCE WITH AS 1684 OR A SPECIFIED BY A PRACTISING ENGINEER.</p> <p>6.7 TIMBER STAIRS</p> <p>TIMBER STAIRS ARE TO BE DESIGNED AND CONSTRUCTED TO RISER, GOING AND BALUSTRADE DIMENSIONS AND COMPLY WITH PART 3.9 BCA.</p> <p>6.8 ROOF TRUSSES</p> <p>ROOF TRUSSES SHALL BE FABRICATED IN ACCORDANCE WITH DESIGNS PREPARED BY A PRACTICING STRUCTURAL ENGINEER AND ASD 1720.1.</p> <p>6.9 ROOF BRACING</p> <p>PROVIDE ROOF BRACING IN ACCORDANCE WITH TRUSS MANUFACTURER'S DETAIL AND SECTION 8 OF AS 1684.</p> <p>6.10 ACCESS TO ROOF SPACE</p> <p>WHERE THE SPACE BETWEEN THE ROOF AND CEILING EXCEED 900MM IN HEIGHT, TRIM AS REQUIRED BETWEEN ROOF TRUSSES FOR A MANHOLE, LINE THE OPENING AND PROVIDE A SUITABLE COVER.</p> <p>6.11 VERANDAH POSTS</p> <p>VERANDAH POSTS UNLESS OTHERWISE SPECIFIED SHALL BE A MINIMUM OF 100MM X 100MM OR AS REQUIRED BY AS 1684, CHECKED AT THE TOP PLAT AND SECURED TO THE FLOOR STRUCTURE. WHERE FIXED TO CONCRETE THE BASE OF THE VERANDAH POSTS SHALL BE SUPPORTED BY GALVANIZED SHOES, STIRRUPS OR SIMILAR SUPPORTS.</p> <p>6.12 EAVES SOFFIT</p> <p>WHERE OVERHANG IS LESS THAN 600MM SUPPORT LININGS ON 45MM X 32MM SOFFIT BEARERS AT NOT MORE THAN 450MM CENTRES. WHERE OVERHANG IS BETWEEN 600MM AND NOT MORE THAN 1500MM SUPPORT SOFFIT LININGS ON 70MM X 35MM SOFFIT BEARERS AT NOT MORE THAN 450MM CENTRES.</p>	
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GENERAL NOTES

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			THIS DOCUMENT MAY BE RECALLED AT ANY TIME AT THE PLAN SHOP'S DISCRETION.				SURVEYORS TOTAL SURVEYING SOLUTIONS	PROJECT ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	DATE 31/01/2025	DRN/CHK PA
			AUTHORISED USE OF THIS DRAWING IS GRANTED FOR THE SOLE PURPOSE OF THIS SPECIFIC PROJECT AND LOCATION, AND NOT FOR CONSTRUCTION OR USE FOR ANY OTHER PROJECT. IT MAY NOT BE REPRODUCED, USED OR PUBLICISED WITHOUT THE PERMISSION OF THE PLAN SHOP.							
			PLANS MARKED 'PRELIMINARY' ARE FOR DESIGN PHASE AND NOT FOR USE BY EXTERNAL CONSULTANTS.				TITLE DESCRIPTION LOT 3, DP1062058 - AREA: 586.2 m²	ADDRESS 18 LARKIN STREET, WAVERTON NSW 2060	SCALE	DRAWING No. DR-4322 SHEET 37
BY	DATE	REVISION								
							L.G.A NORTH SYDNEY COUNCIL			

RESIDENTIAL BUILDING SPECIFICATION – GENERAL NOTES

7. STEEL FRAMING (PART 3.4.2 BCA)

7.1 GENERAL  
STEEL FRAMING WILL COMPLY WITH PART 3.4.2 OF THE BCA. STEEL FRAMING SHALL BE DESIGNED AND CONSTRUCTED TO EITHER:  
a) AS 4100 – STEEL STRUCTURES  
b) AS/NZS 4600 – COLD-FORMED STEEL STRUCTURES  
c) NASH – RESIDENTIAL AND LOW-RISE STEEL FRAMING – PART 1 DESIGN CRITERIA  
THE FRAME IS TO BE ASSEMBLED WITH FIXINGS AS PER THE DESIGN, OR IN ACCORDANCE WITH MANUFACTURE’S RECOMMENDATIONS.

8. ROOFING (TILES AND METAL) (PART 3.5.1 BCA)

8.1 GENERAL  
ALL ROOF CLADDING SHALL COMPLY WITH BCA PART 3.5.1 AND ONE OR MORE OF THE FOLLOWING BCA REFERENCED DOCUMENTS RELEVANT TO THE WORK:  
a) AS 2049 - ROOF TILES  
b) AS 2050 - INSTALLATION OF ROOF TILES  
c) AS 1562.1 - DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING - METAL  
d) AS/NZS 4256 PTS 1,2,3 AND 5; AND AS/NZS 1562.3 PLASTIC SHEET ROOFING

8.2 BATTENS  
ROOF BATTENS MAY BE OF TIMBER OR STEEL.  
TIMBER BATTENS SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH AS 1684.2 AND AS 1684.3. WHERE BATTENS ARE JOINED IN A RUN, THEY SHOULD BE BUTT JOINTED AT THE CENTRE OF THE TRUSS AND RAFTER. METAL BATTENS SHALL BE CORROSION RESISTANT AND FIXED TO THE MANUFACTURER’S RECOMMENDATIONS. METAL BATTENS ARE TO BE JOINED OVER TRUSSES WITH A MINIMUM LAP OF 40MM. ADVICE SHOULD BE OBTAINED FROM THE MANUFACTURER ON THE USE OF METAL BATTENS IN HIGH CORROSIVE AREAS.

8.3 SARKING  
REFLECTIVE FOIL SARKING SHALL COMPLY WITH AS 4200.1 AND BE INSTALLED IN ACCORDANCE WITH AS 4200.2  
SARKINGS SHALL BE PROVIDED FOR ALL ROOFS WHERE THE DESIGN WIND CLASSIFICATION IS GREATER THAN N3. THE REQUIREMENT FOR SARKING WILL BE INFLUENCED BY ROOF PITCH, LENGTH OF RAFTER AND BUSHFIRE PRONE AREAS.  
FOR TILED ROOFS AT A SLOPE BELOW 200, PROVIDE SARKING AND ANTI-PONDING BOARD AT THE EAVES.  
WHERE A GUTTER DISCHARGES ONTO A TILE ROOF THROUGH A SPREADER, IRRESPECTIVE OF THE ROOF SLOPE, SARK THE ROOF FROM THE POINT OF DISCHARGE OVER A WIDTH OF 1800MM DOWN TO THE GUTTER. WHERE ONE SECTION OF ROOF FULLY DISCHARGES ONTO A LOWER SECTION, FULLY SARK THE LOWER SECTION.  
FIX SARKING OVER RAFTERS/TRUSSES TO ENSURE THE DISCHARGE OF WATER WITHOUT PONDING INTO THE EAVES GUTTER. SECURE SARKING AT THE TOP EDGE OF THE FASCIA AND DRESS DOWN 25MM INTO THE GUTTER. EXTEND SARKING OVER THE BEAD OF VALLEY GUTTERS AND TURN UP NEATLY ALONG VALLEY. KEEP FOLDED JOINTS CLEAR OF VALLEYS.  
WHERE TILES ABUT A WALL, TURN THE SARKING NEATLY UP BEHIND FLASHING A MINIMUM OF 50MM.

8.4 ROOF FLASHINGS  
FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH PART 3.5.1.3 OF THE BCA.  
LEAD FLASHINGS MUST NOT BE USED WITH ALUMINIUM OR ZINCALUME ROOFING OR RAINWATER PLUMBING, OR ANYWHERE WHERE WATER SUPPLY IS BY RAINWATER STORAGE.

8.5 GUTTERS AND DOWNPIPES PART 3.5.2 BCA  
GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART 3.5.2 OF THE BCA.  
WHERE HIGH FRONT GUTTERS ARE INSTALLED, ATTENTION IS REQUIRED TO PREVENT OVERFLOW BACK INTO THE ROOF OR BUILDING.

9. INTERNAL LININGS

9.1 WALLS  
WALLS SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURER’S RECOMMENDATIONS. PROVIDE RECESSED EDGE GYPSUM PLASTERBOARDS OF 10MM THICKNESS TO ALL INTERNAL WALLS, EXCEPT AS REQUIRED FOR WET AREAS, OR OTHER TYPE OF PANELING AS INDICATED IN THE SCHEDULE AND PLANS.

9.2 WET AREA LININGS  
WET AREA LININGS SHALL BE OF WATER RESISTANT MATERIAL FOR FULL WALL HEIGHT IN ACCORDANCE WITH BCA PART 3.8.1.

9.3 CEILING LININGS  
CEILING LININGS SHALL BE 13MM GYPSUM PLASTERBOARD OR 10MM HIGH-DENSITY PLASTERBOARD.  
THE JUNCTION OF WALLS AND CEILINGS SHALL BE SET AS REQUIRED. FIX SUITABLE CORNICE AS IDENTIFIED IN THE SCHEDULE, NEATLY MITRED AND SET AT ALL ANGLES. PROVIDE BACK-BLOCKING WHERE THREE (3) OR MORE CONSECUTIVE RECESS JOINTS ARE PRESENT IN CEILINGS.

10. WATERPROOFING

10.1 GENERAL  
FROM THE DRAWINGS, IDENTIFY THE AREAS TO BE WATERPROOFED. WATERPROOFING TO INTERNAL WET AREAS AND BALCONIES OVER HABITABLE AREAS SHALL BE IN ACCORDANCE WITH BCA PART 3.8.1.

10.2 WATERPROOFING SYSTEM SELECTION  
THE WATERPROOFING SYSTEM SHOULD BE SELECTED ACCORDING TO THE PROJECT REQUIREMENTS AND THE MANUFACTURERS’ SPECIFICATION, TAKING ACCOUNT OF PRODUCT SUITABILITY, AND COMPATIBILITY WITH SURFACE MATERIALS.

11. JOINERY

11.1 GENERALLY  
ALL FIXING OUT TIMBER TO BE SEASONED AND FREE FROM DEFECTS WHICH MIGHT AFFECT APPEARANCE OR DURABILITY. ALL TIMBERS ARE TO BE D.A.R. ACCURATELY CUT AND SECURELY FIXED. MOULDINGS AND TRIMMINGS ARE TO BE PROPERLY MITRED OR SCRIBED. ALL SURFACES MUST BE FREE OF MACHINE MARKS AND READY FOR PAINTING. EXTERNAL JOINERY TO BE INHERENTLY DURABLE AND PRIMED PRIOR TO FIXING.

11.2 DOOR FRAMES  
DOOR FRAMES SHALL BE SOLID REBATED FRAMES, PACKED PLUMB AND TRUE AND FIXED SECURELY TO DOOR OPENING STUDS OR MASONRY. METAL DOOR FRAMES SHALL BE INSTALLED TO MANUFACTURE’S RECOMMENDATIONS.

11.3 DOORS  
EXTERNAL DOORS ARE TO BE SOLID CORE OR FRAMED AND GLAZED AND NOT LESS THAN 2040 X 820 X 40MM THICK. FRONT AND REAR EXTERNAL DOORS SHALL BE HUNG WITH THREE 88MM (MIN) BUTT HINGES OF SUITABLE FINISH AND DURABILITY. WHERE EXTERNAL DOORS ARE SHEETED WITH PLYWOOD, ONLY WATERPROOF PLYWOOD WHICH IS TO BE USED. TOP AND BOTTOM DOOR EDGES ARE TO BE PAINTED OR SIMILARLY SEALED PRIOR TO HANGING. INTERNAL DOORS SHALL BE NOT LESS THAN 35MM THICK FITTED WITH SUITABLE FURNITURE AND BE INSTALLED WITH A CLEARANCE OFF THE FLOOR OF 30MM UNLESS OTHERWISE SPECIFIED. DOUBLE DOORS AND SLIDING DOORS TO BE INSTALLED WHERE SHOWN ON THE DRAWINGS. DOORS SHALL SWING IN THE DIRECTION SHOWN ON THE DRAWINGS.

11.4 WINDOWS  
ALUMINIUM AND TIMBER WINDOWS SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH AS 2047. WINDOWS ARE TO BE SUPPLIED WITH PERFORMANCE LABEL ATTACHED CONFIRMING COMPLIANCE WITH AS 2047. WINDOWS SHALL BE PROTECTED FROM MORTAR DROPPINGS. WINDOW FLASHINGS – REFER TO 6.7 “DAMP PROOF COURSES (DPC) AND FLASHINGS”.

11.5 GLAZING  
ALL GLAZING SHALL COMPLY WITH PART 3.6 BCA AND AS 1288. GLAZING SHALL MEET THE BASIX COMMITMENTS WHERE IDENTIFIED ON THE DRAWINGS OR IN THE DRAWING BLOCK.

11.6 SKIRTINGS  
PROVIDE SKIRTINGS WHERE REQUIRED OF A TYPE, FINISH AND SIZE AS IDENTIFIED IN THE SCHEDULE.  
NOTE: WHERE SKIRTINGS ARE TO BE FIXED OVER TILED FLOORS, THE SKIRTING SHALL NOT BE FIXED DOWN HARD ON THE TILE SO AS TO RESTRICT THE MOVEMENT JOINT.

12. PLUMBING  
NATIONAL CONSTRUCTION CODE VOLUME 3 – PLUMBING CODE OF AUSTRALIA (PCA)

12.1 GENERAL  
ALL PLUMBING WORK IS TO BE IN ACCORDANCE WITH THE PCA AND COMPLY WITH THE REQUIREMENTS OF THE PLUMBING AND DRAINAGE REGULATOR OR LOCAL AUTHORITY.  
ALL PLUMBING AND DRAINAGE WORKS MUST BE CARRIED OUT BY A LICENSED PLUMBER AND DRAINER.  
ENSURE ALL INSPECTIONS ARE CARRIED OUT AND CERTIFICATES ISSUED, INCLUDING A CERTIFICATE OF COMPLIANCE UPON FINAL INSPECTION.

12.2 WATER SERVICE  
UNLESS OTHERWISE SPECIFIED, COPPER TUBING SHALL BE USED FOR ALL INTERNAL PLUMBING WORK.  
WHERE POLYETHYLENE OR SIMILAR APPROVED PIPING PRODUCTS ARE SPECIFIED, PIPES AND FITTINGS ARE TO BE USED AND INSTALLED TO THE MANUFACTURERS’ RECOMMENDATIONS.  
TAP AND TAP SETS ARE TO BE SELECTED BY THE OWNER AND A P.C. AMOUNT IS ALLOWED FOR IN THE P.C. SCHEDULE. WATER SAVING DEVICES SHALL ACHIEVE THE BASIX COMMITMENTS OUTLINED IN THE BASIX CERTIFICATE.

12.3 HOT WATER SERVICE  
AN APPROVED WATER HEATER IS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS’ INSTRUCTIONS AND LOCATED TO ENSURE EASE OF MAINTENANCE.  
THE SELECTION OF HOT WATER SERVICE SHALL COMPLY WITH THE BASIX COMMITMENTS PROVIDED FOR WATER HEATING IN THE BASIX CERTIFICATE.

12.4 STORMWATER DRAINAGE  
GUTTERING SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART 3.5 BCA AND AS 3500.  
LOCATE DOWNPIPES AS SHOWN ON THE DRAWINGS. THE NUMBER, SIZE AND LOCATION OF DOWNPIPES SHALL BE IN ACCORDANCE WITH AS 3500. STORMWATER PIPES ARE TO A MINIMUM OF 90MM IN DIAMETER OF UPVC MATERIAL, AND WHERE NOT FEEDING RAINWATER TANKS, SHALL DRAIN TO THE STREET GUTTER OR ALTERNATIVE RETENTION DEVICE CONSTRUCTED TO APPROVAL OF THE REGULATOR OR LOCAL AUTHORITY.

12.5 SANITARY PLUMBING AND DRAINAGE  
SANITARY PLUMBING AND DRAINAGE SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE PCA AND THE REQUIREMENTS OF THE REGULATOR OR LOCAL AUTHORITY.  
SANITARY PLUMBING AND DRAINAGE WORK SHALL BE UNDERTAKEN BY AN APPROPRIATELY LICENSED PERSON.

13. ELECTRICAL

13.1 GENERAL  
ALL ELECTRICAL WORK SHALL BE UNDERTAKEN BY A LICENSED ELECTRICIAN AND IN ACCORDANCE WITH AS/NZS 3000.  
A CERTIFICATE OF COMPLIANCE ELECTRICAL WORK SHALL BE PROVIDED AT THE COMPLETION OF THE ELECTRICAL WORK.  
CONFIRM THE POSITION OF THE METER BOX. SINGLE-PHASE POWER IS TO BE PROVIDED UNLESS OTHERWISE NOTED IN THE SCHEDULE.  
INSTALL ALL LIGHTS, POWER OUTLETS AND ELECTRICAL FIXTURES NOMINATED IN THE SCHEDULE.

13.2 SMOKE ALARMS  
SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH PART 3.7.2 BCA AND COMPLY WITH AS 3786.  
PHOTO-ELECTRIC SMOKE ALARMS SHOULD BE THE PREFERRED TYPE FOR INSTALLATION IN THE PATH OF TRAVEL BETWEEN SLEEPING AREAS AND EXITS.

14. WALL AND FLOOR TILING

14.1 GENERAL  
PROVIDE WALL AND FLOOR TILES AS SHOWN ON THE DRAWINGS AND/OR INCLUDED IN THE SCHEDULE.

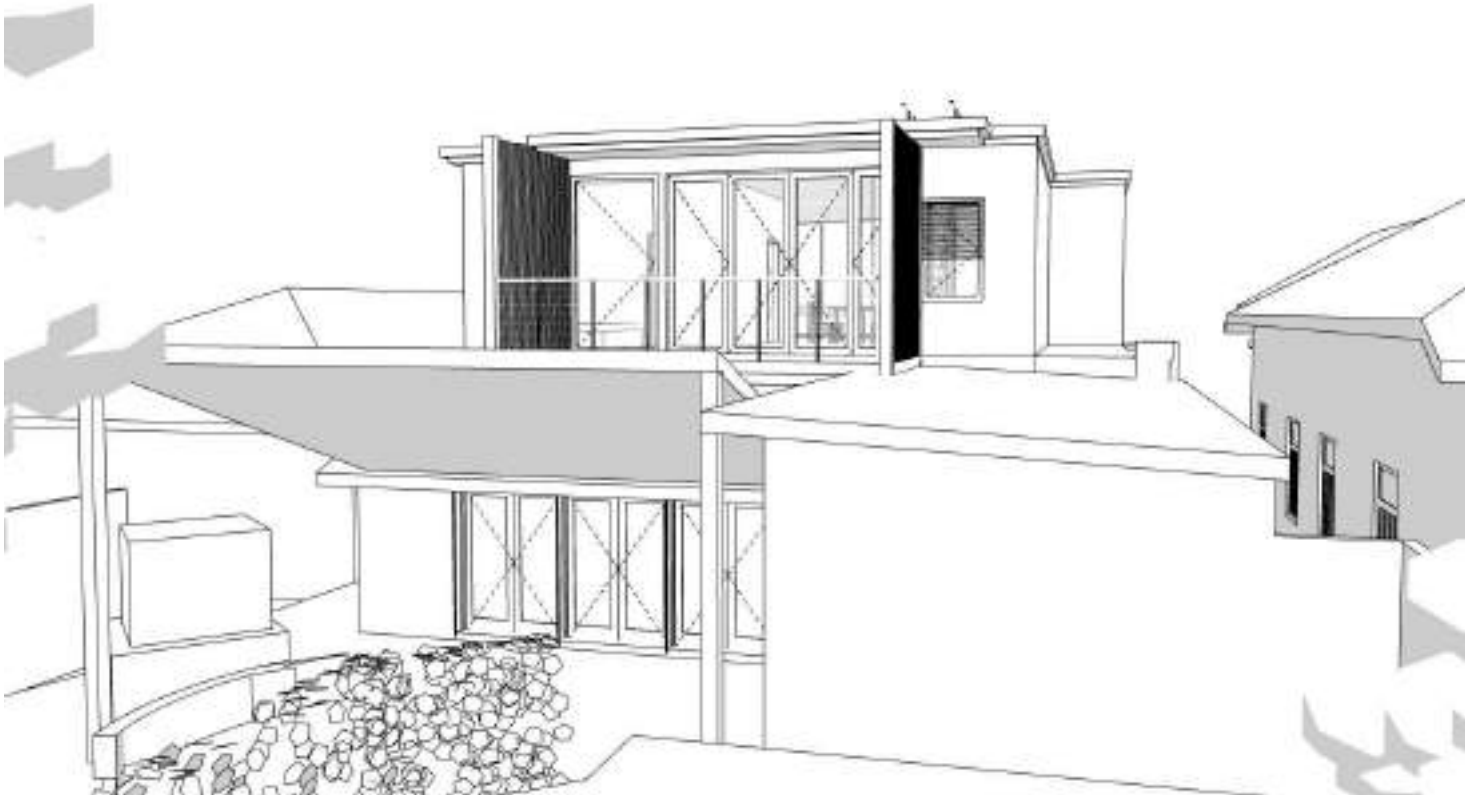
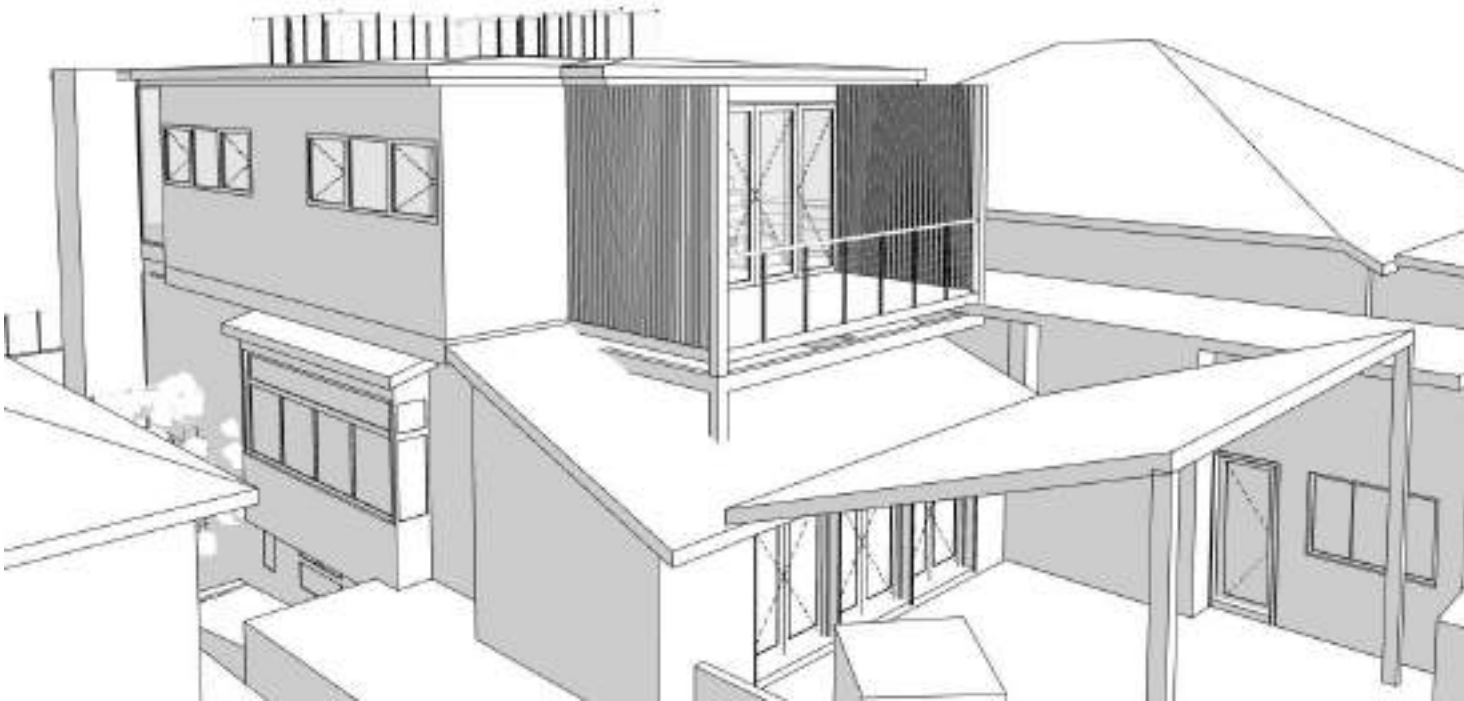
14.2 SURFACE PREPARATION  
ALL TILING SUBSTRATES SHALL BE DRY AND FREE OF DUST, DEBRIS AND DEPOSITS.  
VERY SMOOTH TROWEL FINISHES ON SLABS; WITH SLABS INADEQUATELY CURED, RELEASING AGENT AND CURING COMPOUNDS CAN LEAD TO TILE ADHESION PROBLEMS. CARE SHOULD BE TAKEN WHERE THERE IS PAINT OVERSPRAY ON FLOOR ADJACENT TO WALLS.  
THE PREPARATION OF SMOOTH TROWEL FLOORS AND FLOORS WHICH ARE CONTAMINATED SHOULD BE UNDERTAKEN IN CONSULTATION WITH THE BUILDER, TILER AND ADHESIVE SUPPLIER AND/OR MANUFACTURER.  
ADHESIVE MANUFACTURERS’ RECOMMENDATIONS ON SURFACE PREPARATION SHOULD BE FOLLOWED.

14.3 COMPATIBILITY  
ENSURE TILE ADHESIVES ARE COMPATIBLE WITH THE WATERPROOFING MEMBRANES USED. WATERPROOFING MEMBRANES TO BE PROPERLY CURED PRIOR TO TILE LAYING.  
TILE ADHESIVES, PRIMERS AND RELATED PRODUCTS MUST BE COMPATIBLE. THE USE OF MIXED BRAND PRODUCTS IS NOT RECOMMENDED.  
SELECTIONS OF TILE ADHESIVES IN WET AREAS ARE TO BE MADE IN CONSULTATION WITH THE BUILDER, FLOOR TILER AND ADHESIVE SUPPLIER AND/OR MANUFACTURER.

14.4 MOVEMENT JOINTS  
MOVEMENT JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH AS3958.1 TO:  
- SEPARATE THE TILED ELEMENTS FROM FIXED ELEMENTS SUCH AS WALLS AND COLUMNS;  
- OVER MOVEMENT JOINTS IN THE SUBSTRATE; AND  
- IN LARGE TILED AREAS, IMMEDIATE MOVEMENT JOINTS AT EVENLY SPACED LOCATIONS AT APPROXIMATELY 4.5 METRES

GENERAL NOTES

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			PLANS MARKED 'PRELIMINARY' ARE FOR DESIGN PHASE AND NOT FOR USE BY EXTERNAL CONSULTANTS.				PURPOSE DEVELOPMENT APPLICATION				SCALE	
							L.G.A NORTH SYDNEY COUNCIL		CLIENT TONY BAUER		DRAWING No. DR-4322	
BY	DATE	REVISION									SHEET 38	



## 3D VIEWS

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TD	12/10/22	B	PLANS MARKED 'PRELIMINARY' ARE FOR DESIGN PHASE AND NOT FOR USE BY EXTERNAL CONSULTANTS.				PURPOSE DEVELOPMENT APPLICATION		CLIENT TONY BAUER		SCALE 1:200, 1:250	
BY	DATE	REVISION					L.G.A NORTH SYDNEY COUNCIL				DRAWING No. DR-4322	
											SHEET 39	





PROPOSED DEVELOPMENT

REAR NEIGHBOUR VIEW

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				<div>SURVEYORS</div> TOTAL SURVEYING SOLUTIONS	<div>PROJECT</div> ALTERATIONS AND ADDITIONS TO EXISTING DWELLING	<div>DATE</div> 31/01/2025
				<div>TITLE DESCRIPTION</div> LOT 3, DP1062058 - AREA: 586.2 m²	<div>ADDRESS</div> 18 LARKIN STREET, WAVERTON NSW 2060	<div>DRN/CHK</div> PA
				<div>PURPOSE</div> DEVELOPMENT APPLICATION		<div>SCALE</div> 1:100
BY	DATE	REVISION		<div>L.G.A</div> NORTH SYDNEY COUNCIL	<div>CLIENT</div> TONY BAUER	<div>DRAWING No.</div> DR-4322 SHEET 40

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'Martin Taylor nominated architect nsw 10509'  
p. 0452 517 125

## CLAUSE 4.6 VARIATION FOR HEIGHT OF BUILDING

PROPOSAL	
PROPOSAL	Addition & Alteration to existing dwelling
PROPERTY	18 Larkin Street, Waverton 2060
	Lot 3/-/ DP 1062058
	Site Area- 586.2m <sup>2</sup>
LOCAL GOVERNMENT AREA	North Sydney Council
CLIENT	Tony Bauer
DATE	February 2025
DRAWING SET	4322

## REQUEST PROVIDING GROUNDS FOR VARIATION TO HEIGHT OF BUILDING DEVELOPMENT STANDARD PURSUANT TO CLAUSE 4.6 OF NORTH SYDNEY LEP 2013

NORTH SYDNEY LOCAL ENVIRONMENTAL PLAN 2013	
<b>4.6</b>	4.6 Exceptions to Development Standards
	<p><i>The objectives of this clause are as follows—</i></p> <p>(1) <i>(a) to provide an appropriate degree of flexibility in applying certain development standards to particular development,</i></p> <p><i>(b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances.</i></p>
	<p>(2) <i>Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.</i></p>
	<p>(3) <i>Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating—</i></p> <p><i>(a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and</i></p> <p><i>(b) that there are sufficient environmental planning grounds to justify contravening the development standard.</i></p>
	<p>(4) <i>Development consent must not be granted for development that contravenes a development standard unless—</i></p> <p><i>(a) the consent authority is satisfied that—</i></p> <p><i>(i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and</i></p> <p><i>(ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and</i></p> <p><i>(b) the concurrence of the Planning Secretary has been obtained.</i></p>
	<p>(5) <i>In deciding whether to grant concurrence, the Planning Secretary must consider—</i></p> <p><i>(a) whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and</i></p> <p><i>(b) the public benefit of maintaining the development standard, and</i></p>



		(c) any other matters required to be taken into consideration by the Planning Secretary before granting concurrence.
	(6)	Development consent must not be granted under this clause for a subdivision of land in Zone RU1 Primary Production, Zone RU2 Rural Landscape, Zone RU3 Forestry, Zone RU4 Primary Production Small Lots, Zone RU6 Transition, Zone R5 Large Lot Residential, Zone E2 Environmental Conservation, Zone E3 Environmental Management or Zone E4 Environmental Living if— (a) the subdivision will result in 2 or more lots of less than the minimum area specified for such lots by a development standard, or (b) the subdivision will result in at least one lot that is less than 90% of the minimum area specified for such a lot by a development standard.
	(7)	After determining a development application made pursuant to this clause, the consent authority must keep a record of its assessment of the factors required to be addressed in the applicant's written request referred to in subclause (3).
	(8)	This clause does not allow development consent to be granted for development that would contravene any of the following— (a) a development standard for complying development, (b) a development standard that arises, under the regulations under the Act, in connection with a commitment set out in a BASIX certificate for a building to which State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 applies or for the land on which such a building is situated, (c) clause 5.4.

#### **Response**

This document establishes the written request as referred in clause 4.6(3) with relation to the proposals breach in Height of buildings and Setbacks. The NSW Department of Planning and Infrastructure has provided guidance on how to prepare clause 4.6 variations, this document has been based on these guidelines.

#### **1. What is the name of the environmental planning instrument that applies to the land?**

*North Sydney Local Environmental Plan 2013 (NSLEP2013)*

#### **2. What is the zoning of the land?**

18 Larkin Street, Waverton 2060 is zoned C4 – Environmental Living

#### **3. What are the objectives of the zone?**

<b>1. OBJECTIVES OF ZONE</b>
<p>(1) The objectives of this clause are as follows—</p> <p>(a) to establish the maximum height of buildings,</p> <p>(b) to ensure building height is consistent with the desired future character of an area,</p> <p>(c) to ensure buildings and public areas continue to receive satisfactory exposure to the sky and sunlight,</p> <p>(d) to nominate heights that will provide an appropriate transition in built form and land use intensity.</p>
<p>(2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.</p>

**Comment:**

According to the HOB\_002 *Height of Buildings Map* within North Sydney LEP 2013 indicates a maximum building height of 8.5m. The site is zoned E4- Environmental Living and is considered suitable to accommodate the proposed modifications of alterations & additions for the proposal of a first floor and roof deck. The proposal does not seek to modify the current land use of the site.

Dwelling Houses are permissible with consent in this zone. Please refer to the Architectural Plans for further information.

**4. What is the development standard being varied?**

<b>HEIGHT OF BUILDINGS</b>		
<b>4.3</b>	(1)	<i>The objectives of this clause are as follows— (a) to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient, (b) to promote the retention and, if appropriate, sharing of existing views, (c) to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development, (d) to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings, (e) to ensure compatibility between development, particularly at zone boundaries, (f) to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area, (g) to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone E4 Environmental Living.</i>
	(2)	<i>The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.</i>

**5. Under what clause is the development standard listed in the environmental planning instrument?**

Clause 4.3– Height of buildings of the North Sydney Local Environmental Plan 2013.

**6. What are the objectives of the development standard?**

<b>4.3– HEIGHT OF BUILDINGS- OBJECTIVES</b>
<i>(The objectives of this clause are as follows— (a) to promote development that conforms to and reflects natural landforms, by stepping development on sloping land to follow the natural gradient, (b) to promote the retention and, if appropriate, sharing of existing views, (c) to maintain solar access to existing dwellings, public reserves and streets, and to promote solar access for future development, (d) to maintain privacy for residents of existing dwellings and to promote privacy for residents of new buildings, (e) to ensure compatibility between development, particularly at zone boundaries,</i>

(f) to encourage an appropriate scale and density of development that is in accordance with, and promotes the character of, an area,

(g) to maintain a built form of mainly 1 or 2 storeys in Zone R2 Low Density Residential, Zone R3 Medium Density Residential and Zone E4 Environmental Living.

(2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.

**7. What is the numeric value of the development standard in the environmental planning instrument?**

The height of a building on any land is not to exceed the maximum height shown for the land on the *Height of Buildings Map HOB\_002* at 8.5m.

**8. What is the proposed numeric value of the development standard in your development application?**

Maximum height of building- 8.5m

**9. What is the percentage variation (between the proposal and the environmental planning instrument?)**

**Required** 8.5m      **Existing** 9.27m

External Ground Level to Proposed maximum height - 9.5m Percentage Variation - 13%

Internal FFL to Proposed maximum height 10.8m - Percentage Variation - 27%

**10. How is strict compliance with the development standard unreasonable or unnecessary in this particular case?**

The proposal is for the alterations & additions on the lower & ground floor, new first floor & roof.

**Demolition**

*Lower Ground Floor*

- Bedroom
- Existing tree & planter box
- External Stair to north side

*Ground Floor*

- Internal staircase

*Attic Floor*

- Bedroom
- Vanity
- Shower
- WC
- Tile Roof above

## Proposed

### *Lower Ground Floor*

- *New work shop*
- *Slab*
- *New wall on the north side*
- *Paved steps*
- *Lift*

### *Ground Floor*

- *New staircase and columns at alfresco*
- *New low wall and handrail on alfresco*
- *Lift shaft*
- *Columns to support awning above*
- *New door*
- *Window filled in*

### *First Floor*

- *Sitting*
- *Kitchen*
- *Dining*
- *Bedroom with ENS*
- *Office with ENS*
- *Stair to roof*
- *Covered vergola*
- *Balcony*
- *Utility room*
- *External staircase to ground floor*

### *Roof storey*

- *Deck*
- *Stair access*

### *New roof*

Strict compliance would be unreasonable or unnecessary in this situation due to a few factors;

- The area that is in breach of the HOB line is small and has minimal to no negative impact on surrounding neighbours and the area. A majority of the proposal is to stay below the HOB line.
- The proposal is adapting to the changing characteristic of the area, with continued development in the area the proposal recognises these changes and is in line with what has been recently built or proposed.
- Future habitation and comfort of owners, strict compliance would reduce their long term quality of life and comfort in their home.

## **11. How would strict compliance hinder the attainment of the objectives specified within section 5(a)(i) and (ii) of the act?**

Strict compliance would result in a negative impact on the subject site since the proposal does not reduce the site coverage but is unchanged and simply provides a more appropriate and usable living style for the subject site.

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**12. Is the development standard a performance-based control? Give details:**

The height of building control is a performance-based control, with objectives that demonstrate compliance.

**13. Would strict compliance with the standard, in your particular case be unreasonable or unnecessary? Why?**

Strict compliance with this control would not be the most appropriate use, as in order to meet this requirement the design would be restricted in nature and prohibit any form of development occurring for a comfortable and usable spaces since the existing landscape area is already below Council's landscape area requirement and site coverage is above Council's requirements. The proposed breach in HOB is a small area of the proposed first floor, and a small portion of the roof. these are minimal breaches and do not negatively effect the character of the area or any neighboring dwellings. (see architectural plans)

Strict compliance with this standard would be unreasonable and unnecessary for the following reasons:

- To cater client needs. The lift shaft that extends minimally into the setback line caters to the client and their ability to age in place and enjoy inhabiting their dwelling with quality of life for many years to come.
- Similar developments in the immediate and surrounding area, there are many new developments in the area that contain similar massing and height as the proposed development. The proposed character of the development is in line with that of the area as its character is updated.
- To maintain and keep up to date with the changing character of the area in which the dwelling is located. (see SEE for similar dwellings in the area)

**14. Are the sufficient environmental planning grounds to justify contravening the development standard, give details:**

The proposed development provides sufficient environmental planning grounds to vary this standard. There is no change to the height of the building and it remains as it is. There is an increase of overall height of 1.1m due to the proposal of the first floor and roof. The non-compliance of approximately 1.1m than the required 8.5m height.

This report concludes that the environmental impacts generated by the proposal, whether considered individually or cumulatively in the context of the site and broader area, are not significant and therefore the application warrants the support of Council and the issue of development consent. The proposal made in this application is considerate and relative to the site's immediate context of the residential area. The critical findings of this report are that:

- This development will add a level of justifiable bulk and scale.
- The proposed development does not provided negative impact on the streetscape character.
- The overall design is considered to be suitable as it will be consistent with other dwellings in the area.
- The proposal does not negatively impact neighboring dwellings.
- The development increases quality of life for its inhabitants.

In general, the development proposals of this particular site are considered to be acceptable, as it does not compete with the integrity or character of the surrounding area. The nature of the site, including its location, topography, zoning, and physical attributes make it an ideal candidate for the proposed redevelopment.

Furthermore, as the proposal does not detract from the streetscape or the inherent nature of the residential area it is our assertion that this development application should be supported.

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29 April 2025

Ref: P1045\_01

Attention: Rachel Wu  
North Sydney Council  
200 Miller Street  
North Sydney, NSW 2060

**Re: View Sharing Analysis: 18 Larkin Street, Waverton (DA/2025/61)**

Dear Rachel

Thank you for your email regarding the above development application in which the following issue was identified:

*Concern is raised regarding the potential for the loss of views/outlook from the adjoining property at No. 25 Balls Head Road. The photomontage provided in the application shows the pylon of the Harbour Bridge blocked off by the proposed development. A view impact assessment based upon the planning principle for view sharing established in Tenacity Consulting v Warringah Council [2004] NSWLEC 140, should be provided that assesses the level of view impact upon the adjoining property.*

An image of the view referred to above is illustrated below in Fig 1 and the point from which the view is enjoyed is illustrated in figures 2 and 3.



Figure 1: View from the upper floor eastern (rear) bedroom/study window of 25 Balls Head Road (The Plan Shop).



Figure 2: Upper level eastern (rear) window from which the view is obtained.



Figure 3: Upper level eastern (rear) window from which the view is obtained.

An analysis of the proposal with reference to the planning principle is provided below:

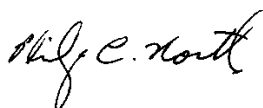
View loss assessment under <i>Tenacity Consulting v Warringah Council</i> [2004] NSWLEC 140.		
No.	Issue	Response
1.	<b>Step One – Assessment of the views to be affected</b>	
	<p><i>The first step is the assessment of views to be affected. Water views are valued more highly than land views. Iconic views (eg of the Opera House, the Harbour Bridge or North Head) are valued more highly than views without icons. Whole views are valued more highly than partial views, eg a water view in which the interface between land and water is visible is more valuable than one in which it is obscured.</i></p>	<p>The view affected is a broad district view which does not include any water views but includes not only the surrounding rooftops and tree canopy but also a portion of the Sydney Harbour Bridge; the latter component of the view is classed as an iconic view.</p> <p>This view, however, provides only a partial view of the bridge and only includes about two thirds of the upper arch and the top of the northern pylon does not include:</p> <ul style="list-style-type: none"> <li>• The road surface/bottom chord;</li> <li>• The bottom half of the north pylon; and</li> <li>• The entire southern pylon.</li> </ul> <p>Even those parts of the bridge which can be seen are generally only visible in winter when the intervening trees are without leaf; in summer the bridge would almost entirely be obscured.</p> <p>The impact of the proposal on this view (Fig. 1) would be as follows:</p> <ul style="list-style-type: none"> <li>• It would obscure a small number of rooftops and surrounding vegetation in the locality;</li> <li>• It would not impact any of the elements of the bridge currently visible.</li> <li>• At most, it may obscure brief glimpses of the bottom chord of the bridge which is generally obscured in any case by a combination of surrounding development and tree canopy.</li> </ul>
2.	<b>Step Two – Consideration from what part of the property the views are obtained</b>	



View loss assessment under Tenacity Consulting v Warringah Council [2004] NSWLEC 140.		
No.	Issue	Response
	<i>The second step is to consider from what part of the property the views are obtained. For example the protection of views across side boundaries is more difficult than the protection of views from front and rear boundaries. In addition, whether the view is enjoyed from a standing or sitting position may also be relevant. Sitting views are more difficult to protect than standing views. The expectation to retain side views and sitting views is often unrealistic.</i>	The affected views are obtained diagonally across a side boundary; it is not clear if they are obtained from sitting or standing positions but presumably they are from both. Nevertheless, given that they are obtained across a side boundary, there is a lesser expectation that they can be retained.
3.	<b>Step Three – Assessment of the extent of the impact</b>	
	<i>The third step is to assess the extent of the impact. This should be done for the whole of the property, not just for the view that is affected. The impact on views from living areas is more significant than from bedrooms or service areas (though views from kitchens are highly valued because people spend so much time in them). The impact may be assessed quantitatively, but in many cases this can be meaningless. For example, it is unhelpful to say that the view loss is 20% if it includes one of the sails of the Opera House. It is usually more useful to assess the view loss qualitatively as negligible, minor, moderate, severe or devastating.</i>	The view is experienced from a room which is variously described as a bedroom or study. It is likely that this is a room which is a secondary bedroom and can be adapted to use as either a child's bedroom, guest bedroom or study. It is not a room likely to be used as a living room and likely to be occupied intensively. Given that the view loss applies mostly to local views and to almost none of the bridge (and not to any of its iconic elements) and is from a room of lesser importance, it is considered that any view loss would have a negligible impact.
4.	<b>Step Four – Assessment of the reasonableness of the proposal that is causing the impact</b>	
	<i>The fourth step is to assess the reasonableness of the proposal that is causing the impact. A development that complies with all planning controls would be considered more reasonable than one that breaches them. Where an impact on views arises as a result of non-compliance with one or more planning controls, even a moderate impact may be considered unreasonable. With a complying proposal, the question should be asked whether a more skilful design could provide the applicant with the same development potential and amenity and reduce the impact on the views of neighbours. If the answer to that question is no, then the view impact of a complying development would probably be considered acceptable and the view sharing reasonable.</i>	Although part of the proposal exceeds the height limit, the view impacts in the vicinity of the bridge are the result of an element of the proposal which is fully compliant. The views which are obscured by the non-compliant height elements are local views only. Further, the proposal is generally considered a reasonable design response given that: <ul style="list-style-type: none"> <li>• The roof is almost flat and its impact could not be meaningfully reduced;</li> <li>• The proposed ceiling heights are reasonable; and</li> <li>• The footprint of the proposal is generally located above the existing level below.</li> </ul> As such, any view loss is neither the result of a non-compliance with the planning controls or a lack of skilful design.

Given the above analysis, it is considered that the view loss resulting from the proposal is both negligible and acceptable in the circumstances.

Yours faithfully,



**Philip North** MPiA CPP RAiA  
BAppSc(EnvDes), BArch, MURP, GradCertHeritCons  
Certified Practising Planner | Heritage Consultant | Architect (NSW Reg: 6490)  
**Director**