



**NSLPP MEETING HELD ON 04/06/2025**  
**SECTION 4.55 APPLICATION REPORT**

**Attachments**

1. Site Plan
2. Architectural Plans

**ADDRESS:** 115 Blues Point Rd, McMahon's Point

**APPLICATION NO:** DA 205/23/2

**PROPOSAL:** Modification of DA205/2023 for alterations and additions to a dwelling including new lift, formal vehicular access from lane, and new landscaping; proposing changes to lift arrangements and external design refinements to the approved development

**PLANS REF:**

Plan No.	Rev	Description	Prepared by	Dated
A101	E	Existing Ground Floor and Demolition Plan	Barbara Architecture & Interiors	24/10/23
A102	E	Existing First Floor Plan and Demolition Plan	Barbara Architecture & Interiors	24/10/23
A103	E	Existing Second Floor Plan and Demolition Plan	Barbara Architecture & Interiors	24/10/23
A104	E	Existing Roof and Demolition Plan	Barbara Architecture & Interiors	24/10/23
A111	E	Proposed Ground Floor Plan	Barbara Architecture & Interiors	24/10/23
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A114	E	Proposed Roof Floor Plan	Barbara Architecture & Interiors	24/10/23
A211	E	Proposed Elevations 01	Barbara Architecture & Interiors	24/10/23
A212	E	Proposed Elevations 02	Barbara Architecture & Interiors	24/10/23
A311	E	Proposed Sections	Barbara Architecture & Interiors	24/10/23
A312	E	Proposed Sections 2	Barbara Architecture & Interiors	24/10/23
MDA200	A	Proposed Ground Floor	Henry May Projects	14/02/2025
MDA201	A	Proposed First Floor	Henry May Projects	14/02/2025
MDA202	A	Proposed Second Floor	Henry May Projects	14/02/2025
MDA203	A	Proposed Roof Plan	Henry May Projects	14/02/2025
MDA300	A	Proposed West/South Elevation	Henry May Projects	14/02/2025
MDA301	A	Proposed East/North Elevation	Henry May Projects	14/02/2025
MDA400	A	Section A & B	Henry May Projects	14/02/2025
MDA401	A	Section C & D	Henry May Projects	14/02/2025
A705	E	Schedule of Materials and Finishes	Barbara Architecture & Interiors	24/10/23
L/01	A	Proposed Landscape Plan	A Total Concept Landscape Architects & Swimming Pool Designers	16/01/24

**OWNER:** B & L Smith

**APPLICANT:** James Hundt

**AUTHOR:** Ben Rourke, Consultant planner

**DATE OF REPORT:** 7 May 2025

**DATE LODGED:** 27 March 2025

**RECOMMENDATION:** Approval

## EXECUTIVE SUMMARY

Modification of consent is sought to DA 205/2023 for alterations and additions to a 3 storey dwelling including rear ground floor garage additions, new lift, formal vehicular access from rear lane, and new landscaping.

DA 205/2023 was approved on 12 February 2024 by the North Sydney Planning Panel subject to conditions of consent. Additional conditions of consent imposed by the Panel include design amendments being required with regards to wall setbacks, wall cladding, lift setback, landscaping the roof area, roof materials and extent of demolition.

Works have commenced under a Construction Certificate issued 29/01/2025, whilst noting during a site inspection that works associated with the lift have been placed on hold pending the approval of the current S.4.55 application as assessed in this report.

The modification application is submitted pursuant to *S.4.55(1A) - Modifications involving minimal environmental impact* of the EP&A Act and seeks specifically to realign the approved position of the lift to protrude 450mm from the northern side wall.

Modification is also sought to delete condition C18(iv) regarding lift setback. This condition requires the approved lift to be relocated to within the building thereby maintaining the existing northern side setback, rather than the lift protruding beyond the north side wall and extending to the north side boundary. One minor internal design modification is also sought with realignment of the bedroom 1 door entry. Modification is also sought to condition A1 to refer to the amended plans under the current S.4.55 application.

**The modification application is required for referral to the NSPP for determination as it includes modifications to condition C18 as imposed by the Panel.**

Notification of the proposed modification for 14 days between 18/04/25 – 2/05/25 resulted in nil submissions being received.

The proposed design modifications are considered to be satisfactory, resulting in *substantially the same development* compared with the development as originally approved. No adverse impacts are considered to result from the modifications with regards to amenity, streetscape and the McMahon's Point North Heritage Conservation Area. Accordingly, the application of modification of consent is recommended to the NSPP for approval.

[illegible]

Property/Applicant      ●      Submitters - Properties Notified



## DESCRIPTION OF PROPOSAL

Modification of consent pursuant to Section 4.55(2) of the *Environmental Planning and Assessment Act 1979* is sought to DA 137/23 relating to the design of the approved development, and certain conditions of consent. The proposed modifications are summarised as follows:

### 1. Design modification – lift alignment

Realign lift to extend 450mm from the northern side elevation – refer to Figures 1 & 2 below.

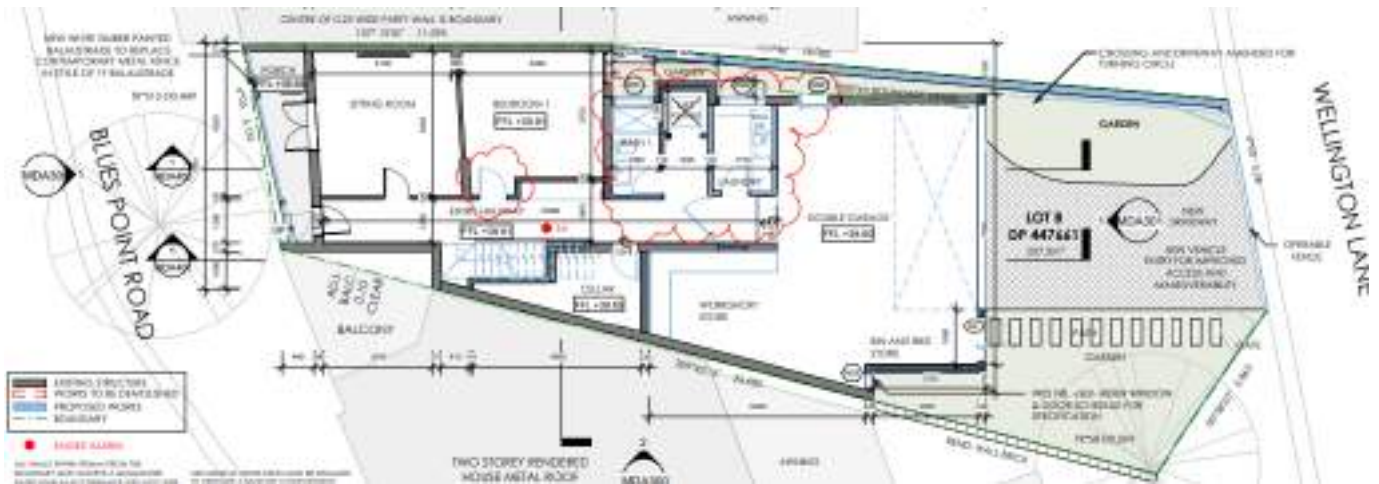


Figure 1: Ground floor plan showing lift realigned 450mm outwards from northern wall

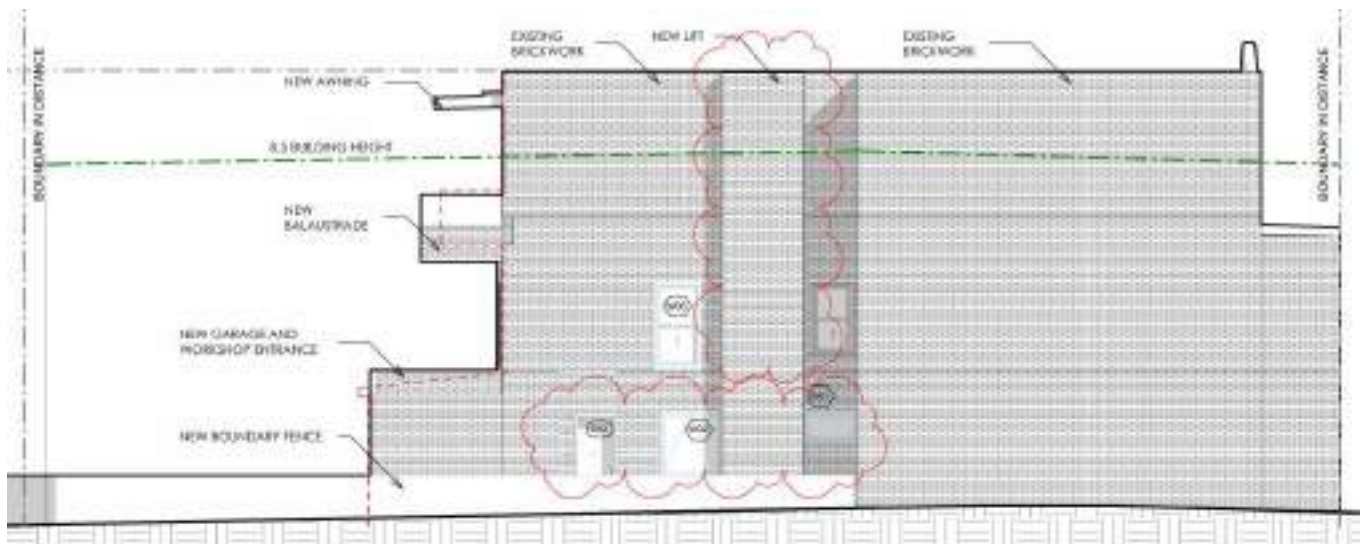


Figure 2: Northern elevation showing position of lift, re-aligned 450mm outwards from north wall

### 2. Design modification – internal door to bedroom 1

Shift bedroom door to align with existing entry hallway, refer to Figure 1 above



### 3. Modification to condition C18 – delete subclause (iv)

#### Design Amendments

C18. The plans referred to in condition A1 are to be amended to provide for the following changes:

- i. The wall return on the southern elevation at Level 1 is to be reduced to have a minimum 1 metre set back from the rear elevation and is to be finished in traditional masonry to match existing;
- ii. The cladding to the second-floor balcony is to be of solid masonry form to match the masonry cladding;
- iii. The wall return on the eastern elevation of the proposed Bin and Bike Store is to increase in rear setback by a minimum of 0.5m from that proposed.
- iv. ~~The proposed lift on the northern boundary is to be constructed within the building in the approximate location between the proposed Ground Floor Bath 1 and Laundry.~~
- v. The non-trafficable pebble roof proposed above the ground floor rear portion of the dwelling is to be converted into a green roof.
- vi. The section of the northern wall to the existing Ground Floor Storage proposed for demolition is to be retained commencing at the landing of the existing stairs.
- vii. The proposed roofing for the first-floor stair addition to the southern elevation is to be changed to corrugated metal roof.

The Certifying Authority must ensure the amendments required by this condition are included in the Construction Certificate Drawings.

(Reason: To reduce the impact of the contemporary built form to the laneway and to ensure development minimises impact on heritage significance of the contributory building and consistency with DCP objectives and controls)

### 4. Condition modification – modify condition A1 – approved plans – delete plans struck out

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A1.

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## STATUTORY CONTROLS

### Environmental Planning & Assessment Act 1979

#### NORTH SYDNEY LEP 2013

Zoning	R3 (Medium Density Residential)
Item of Heritage	No
In Vicinity of Item of Heritage	No
Conservation Area	Yes, neutral item within McMahon's Point North Conservation Area (CA13).
FSBL	No

#### STATE ENVIRONMENTAL PLANNING POLICIES

- SEPP (Biodiversity and Conservation) 2021
  - Chapter 2 – Vegetation in non-rural areas
  - Chapter 6 – Water Catchments
- SEPP (Sustainable Buildings) 2022
  - Chapter 2 BASIX
- SEPP (Resilience and Hazards) 2021
  - Chapter 4 – Remediation of Land

## POLICY CONTROLS

NSDCP 2013

North Sydney Local Infrastructure Contributions Plan 2020

## DESCRIPTION OF LOCALITY

The subject site is legally identified as Lot B DP447661 with address of 115 Blues Point Road, McMahon's Point. The site has an irregular elongated form widening from its front boundary to Blues Point Rd to its rear boundary to Wellington Lane, and has an area of 257.3m<sup>2</sup>. Refer to Figure 3.

Existing development comprises a 3 storey detached terrace dwelling having a Federation design character, with the front half of the northern elevation being built to the side boundary and abutting the northern neighbouring terrace.

Development in the surrounds comprises a two storey terrace style dwelling to the north occupied by two commercial tenants, a two storey terrace housing complex to the south, two storey terrace style housing to the eastern rear with rear access from Wellington Lane and two storey terrace housing opposite to the west. Refer to Figures 4 & 5 showing the dwelling prior to commencing works, and Figure 6 showing works underway.



Figure 4 – Street view – no.115 Blues Point Road located right of centre with brown brick façade, looking east



*Figure 5 – Street view – looking to rear of 115 Blues Point Rd from Wellington Lane, looking southwest*



*Figure 6 – view of approved works to rear currently underway*

## **SUBMISSIONS**

Notification of the proposed modification for 14 days between 18/04/25 – 2/05/25 resulted in nil submissions being received.

## **REFERRALS**

Nil.



## CONSIDERATION

Section 4.55(1A) of the Environmental Planning and Assessment Act, 1979 enables a consent authority to modify a development consent upon application being sought by the applicant or any person entitled to act on the consent, provided that the consent authority:

***(a) it is satisfied that the proposed modification is of minimal environmental impact, and***

**Comment** – The proposed design modifications are accepted as being minor, involving realignment of the lift out from the north side wall by 450mm and shifting the internal door to bedroom 2. The potential impacts that may arise from the design modifications are addressed as follows.

*Primary streetscape* - Realigning the lift will result in a minor protrusion from the north side wall which is not visible to the primary streetscape of Blues Point Road, noting it will be positioned behind the front half of the northern elevation which is built to the side boundary and abut the neighbouring terrace as seen in Figure 4.

*Rear laneway* - As viewed from Wellington Lane, the lift walls will extend out 450mm from the north side wall. Whilst this will be noticeable from the lane, it will articulate the northern wall without causing any adverse impact to the laneway streetscape. As such the laneway has a utility like rear lane character with varying setbacks and mixed parking arrangements including open parking stands and garages. The lift will be visible as a minor 'step' along the northern wall with matching brick finish, while maintaining visibility of the first and second floor windows as viewed in Figure 5.

Whilst the lift will become visible (rather than be internal to the existing north side wall), its external brick wall construction will integrate with the form of the existing north side brick wall and not cause any significant increase in building bulk. Furthermore the approved rear additions and landscaping will serve to complement the appearance of the development to the laneway.

*Neighbours amenity* - As viewed from the northern neighbour, the lift will be visible from its rear first storey east facing windows whilst maintaining a local outlook to Wellington Lane and the terrace housing adjacent to the rear. Whilst the lift will be visible, realigning it 450mm outwards from the northern wall is not considered to have an intrusive effect on this outlook.

*Internal amenity* – Shifting the bedroom 1 door to align with the existing entry hallway maintains the approved internal layout for the alterations and additions, with no impact on amenity.

***(b) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which the consent was originally granted and before that consent as originally granted was modified (if at all), and***

**Comment** – The proposed modifications maintain the overall approved design for alterations and additions to the existing 3 storey terrace, noting the lift remains in the same location as approved apart from shifting outwards 450mm.

The proposed modification to realign the lift results in a minor change to the form of the north facing wall, stepping out 450mm with a length of 1.84m. Relative to the overall length of the north side wall, the lift represents approximately 10% and will not result in any significant increase in building bulk along with no increase in height.

Based on this assessment the modifications are assessed as resulting in *substantially the same development* as originally approved.

- (c) it has notified the application in accordance with—**
- (i) the regulations, if the regulations so require, or**
  - (ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and**
- (d) it has considered any submissions made concerning the proposed modification within any period prescribed by the regulations or provided by the development control plan, as the case may be.**

**Comment** – With regards to (c) and (d) the proposed modification of consent was notified for 14 days in accordance with Council's *Community Engagement Protocol* with no submissions received in response to the notification.

#### **S.4.55(3) & S.4.15(1) CONSIDERATION**

***In determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 4.15 (1) as are of relevance to the development the subject of the application.***

***The consent authority must also take into consideration the reasons given by the consent authority for the grant of the consent that is sought to be modified.***

#### **State Environmental Planning Policies**

##### ***SEPP (Sustainable Buildings) 2022***

The approved plans under DA 205/2023 were supported by a BASIX Certificate which is endorsed in condition C17 of the existing development consent. The proposed design modifications are minor and do not affect the commitments listed in the BASIX Certificate, consequently an amended BASIX Certificate is not required.

##### ***SEPP (Biodiversity and Conservation) 2021***

- *Chapter 2 – Vegetation in non-rural areas*
- *Chapter 6 – Water Catchments*

**Comment** – The proposed modifications result in no clearing. The site is located within the Sydney Harbour Catchment, with the amended plans resulting in no change in site coverage, noting the realigned lift is over an existing hard stand area. Conditions of consent regarding stormwater drainage shall continue to apply in modifying the consent.

##### ***SEPP (Resilience and Hazards) 2021***

- *Chapter 4 – Remediation of Land*

**Comment** – The site is located in an established residential area and was found to be suitable for residential redevelopment under the original assessment. The modified design does not alter this assessment.



## **NORTH SYDNEY LOCAL ENVIRONMENT PLAN 2013**

### **Permissibility**

The modifications maintain the approved development as alterations and additions to an existing dwelling house which is permissible with consent in the zone.

### **Zone objectives**

The objectives of the R3 Medium Density Residential are stated below:

- *To provide for the housing needs of the community within a medium density residential environment.*
- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To encourage the development of sites for medium density housing if such development does not compromise the amenity of the surrounding area or the natural or cultural heritage of the area.*
- *To provide for a suitable visual transition between high density residential areas and lower density residential areas.*
- *To ensure that a high level of residential amenity is achieved and maintained.*

**Comment** - The modified proposal is assessed as substantially the same as the approved alterations and additions to an existing dwelling and remains consistent with zone objectives, with the modifications maintaining a high level of amenity to the streetscape, local conservation area values and to neighbouring properties.

### **Cl.4.3 Height of buildings**

The site is within an area mapped with a maximum building height of 8.5m. DA 205/2023 was approved with a maximum height of 10.4m, with the variation to the height standard approved under Clause 4.6 – Exception to development standards. The variation to the height standard was approved on the basis that the additions maintain the existing maximum height of 10.4m, as measured to the parapet, with works above the 8.5m height standard being limited to the addition of the lift to the height of the existing roof.

The proposed modifications do not result in any increase in height compared with the approved development, accordingly the applicant's justification for the height variation as approved under Clause 4.6 remains, with no further assessment of this required.

### **Cl.5.10 Heritage conservation**

The objectives of this clause focus on conserving heritage elements, noting the site is located within the McMahon's Point North Heritage Conservation Area. As advised in the original DA assessment the existing dwelling is a contributory item within the McMahon's Point North Conservation Area, being one of several terrace style dwellings fronting Blues Point Road. Noting its positive contribution to the streetscape, the original design as approved favourably retains the existing façade of the dwelling to Blues Point Road.

The proposed modifications have no effect on the façade of the existing dwelling in context of the primary streetscape to Blues Point Road, such that its character is preserved. The lift will be visible as a minor addition from the rear lane, however will not have any adverse effect on the architectural character of the rear and side of the dwelling as viewed from the lane and neighbouring properties. Accordingly the proposed modifications are considered acceptable with regards to the significance of the McMahon's Point North Conservation Area.

### NORTH SYDNEY DCP 2013

The proposal was assessed as compliant with the relevant provisions of the DCP. Amendments as proposed to the plans are assessed against the relevant DCP provisions as follows.

Part B Section 1 – Residential Development		
Control	Compliance	Comments
<b>1.3 Environmental Criteria</b>		
<b>Views</b>	Yes	No change from approval, with no views of significance affected. The existing north side wall abuts the northern neighbouring terrace fronting Blues Point Road thereby preventing any views from the street past the northern elevation.  From the northern neighbouring terrace, the outlook east to the rear of Wellington Lane and housing on the opposite side of the lane will be retained.
<b>Solar Access</b>	Yes	Realigning the lift 450mm to the north will not affect solar access to the northern neighbouring terrace.
<b>Acoustic Privacy</b>	Yes	No change to approval noting the lift will be enclosed by solid walls to its exterior.
<b>Visual Privacy</b>	Yes	No change to approved development noting size, level and location of balconies remains generally unchanged, with no larger side facing windows.
<b>1.4 Quality built form</b>		
<b>Context and streetscape</b>	Yes	Existing façade to the streetscape is preserved. The rear laneway streetscape is varied in character and setbacks, with the modified lift alignment considered to result in no adverse visual impacts to the laneway.
<b>Siting</b>	Yes	No change to approved development including the rear ground floor garage additions. Realigning the lift 450mm outwards from the north side wall results in minimal change to the approved siting of the alterations and additions.
<b>Setback – Front</b>	Yes	No change, noting the existing façade is preserved.
<b>Setback – Side</b>	Yes on merit	The R3 zone requires side setbacks as: 1 <sup>st</sup> storey (up to 4m) = min. 900mm, 2 <sup>nd</sup> storey (up to 7m) = min. 1.5m, - above 7m and 3 storeys = min. 2.5m  The realigned lift extends up to @ 10m height with a minimum side setback of 0.8m thereby seeking a variation to the side setback control. The setback of the lift results in no adverse streetscape or amenity impacts as discussed in the above DCP assessment comments, therefore it is considered acceptable on merit.
<b>Setback – Rear</b>	Yes	No change to approved development
<b>1.5 Quality Urban Environment</b>		
<b>Site coverage</b>  Site area: 257.3m <sup>2</sup> Site coverage 50% (max) / 129m <sup>2</sup>	Yes on merit	The approved development has a site coverage of 64.6%, with the variation granted based on a significant increase in landscaped area compared with the existing dwelling.  The modifications result in a minor increase in site coverage of 0.83m <sup>2</sup> caused by realigning the lift. This equates to an increase in site coverage of 0.3% which is deemed negligible, noting it will be over an existing paved area whilst not affecting the approved landscaping.
<b>Landscape and Unbuilt Upon area</b>  Landscaped area: 30% (min)  Un-built upon area: 20% (max)	Yes – on merit          Yes	<u>Landscaped area</u> - The original DA was approved with a landscaped area of 54.2m <sup>2</sup> /21%, with the variation granted based on the approved landscaping providing a significant increase in landscaped area compared with the existing dwelling. The proposed modifications will not result in any loss of existing landscaping and are considered acceptable from a landscape perspective  <u>Un-built upon area</u> - Approved un-built upon area = 14% (36.1m <sup>2</sup> ) of site area. Modified un-built upon area = 14% (36m <sup>2</sup> ) – complies.

## **CHARACTER STATEMENTS – PART C**

### ***Section 9 – Lavender Bay Planning Area***

#### ***Section 9.7 – McMahon's Point North Conservation Area***

The site is within the McMahon's Point North Conservation Area with the existing dwelling identified as a contributory item. Given the merits of the modified design, it is considered to be well aligned with the established and desired future character and built form of the area.

#### **ENVIRONMENTAL APPRAISAL**

#### **CONSIDERED**

1.	Statutory Controls	Yes
2.	Policy Controls	Yes
3.	Design in relation to existing building and natural environment	Yes
4.	Landscaping/Open Space Provision	Yes
5.	Traffic generation and Carparking provision	Yes
6.	Loading and Servicing facilities	Yes
7.	Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8.	Site Management Issues	Yes
9.	All relevant S4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979	Yes

#### **CONCLUSION & REASONS**

The proposed modifications are considered to be generally consistent with the originally approved development application and s.4.55(1A) of the EP & A Act 1979. Furthermore, the modifications do not result in any material amenity impact to adjoining properties or the surrounding area. The proposed modifications are consistent with the reasons for the approval of the original DA and is considered to be acceptable.

Having regard to the provisions of section 4.55(1A) & 4.15(2) of the Environmental Planning and Assessment Act 1979, the proposed development as modified is substantially the same development as originally approved, with no increase in impacts compared with the approved development. The application is therefore recommended for approval.

#### **RECOMMENDATION**

PURSUANT TO SECTION 4.55 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

**THAT** the North Sydney Local Planning Panel, as the Consent Authority, approve the modification of Development Consent No. 205/23 dated 12/02/2024 in respect of a proposal for alterations and additions to a dwelling including new lift, formal vehicular access from lane, and new landscaping; proposing changes to lift arrangements and external design refinements to the approved development at 115 Blues Point Rd, McMahon's Point under the provisions of Section 4.55(1A) of the Environmental Planning and Assessment Act only insofar as will provide for the following:

## 1. Amend condition A1 as follows:

### Approved plans

A1.

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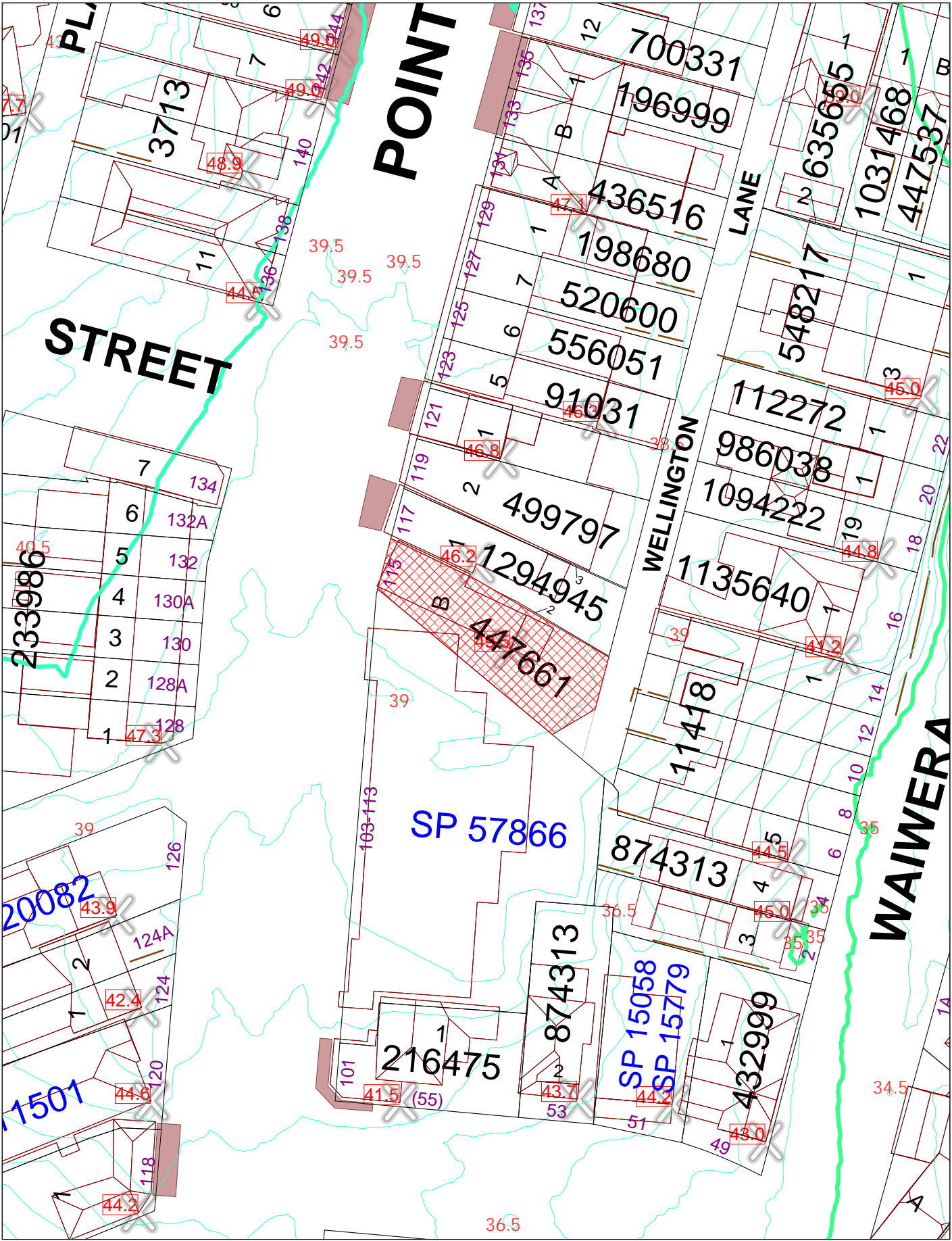
**BEN ROURKE**  
**CONTRACT TOWN PLANNER**

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**DAVID HOY**  
**TEAM LEADER ASSESSMENTS**

**STEPHEN BEATTIE**  
**MANAGER DEVELOPMENT SERVICES**

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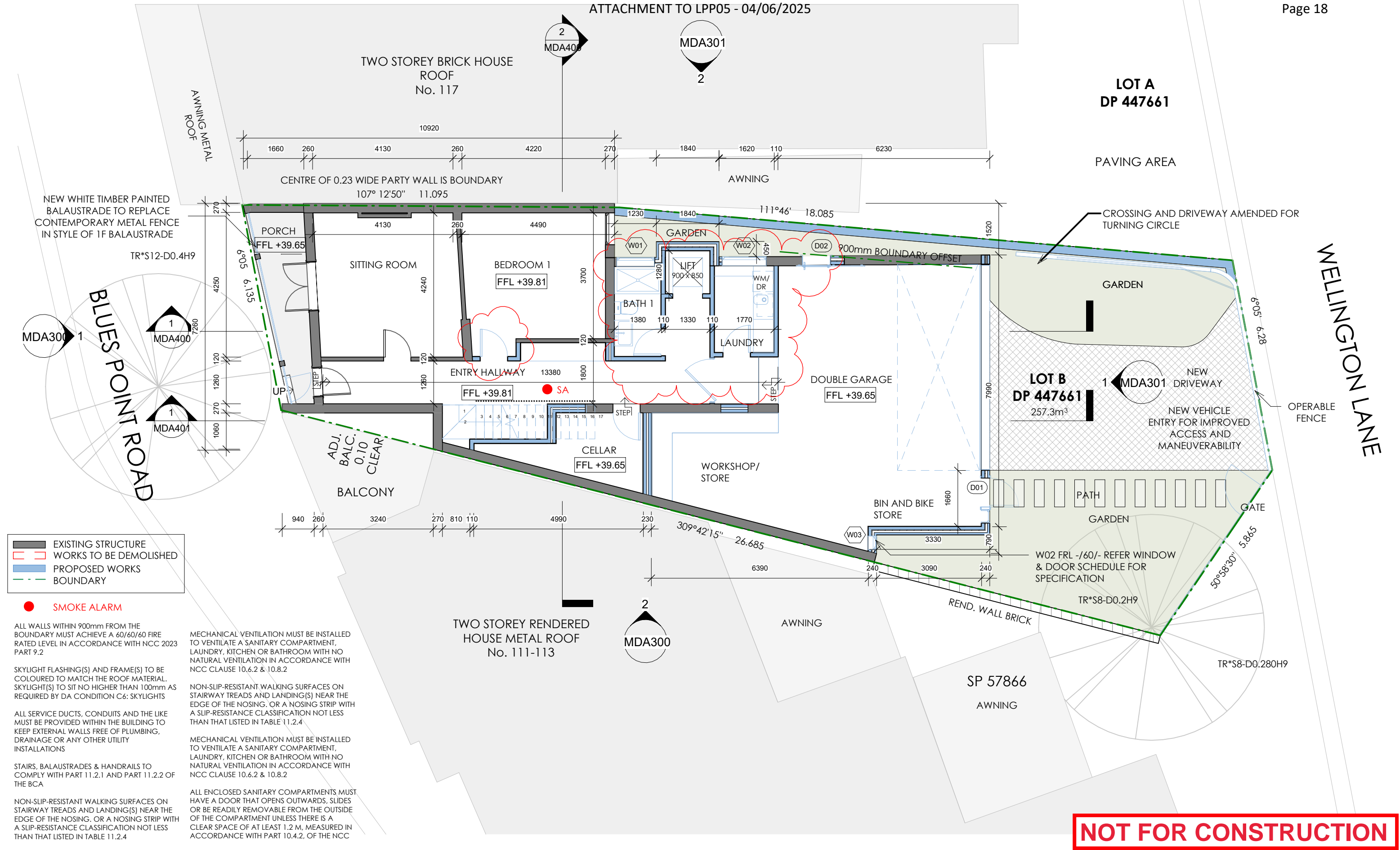
115 BLUES POINT ROAD

DRAWING NAME	#	REV	DATE
COVER PAGE	MDA000	A	14/02/25
PROPOSED GROUND FLOOR	MDA200	A	14/02/25
PROPOSED FIRST FLOOR	MDA201	A	14/02/25
PROPOSED SECOND FLOOR	MDA202	A	14/02/25
PROPOSED ROOF PLAN	MDA203	A	14/02/25
PROPOSED WEST/SOUTH ELEVATION	MDA300	A	14/02/25
PROPOSED EAST/NORTH ELEVATION	MDA301	A	14/02/25
SECTION A & B	MDA400	A	14/02/25
SECTION C & D	MDA401	A	14/02/25



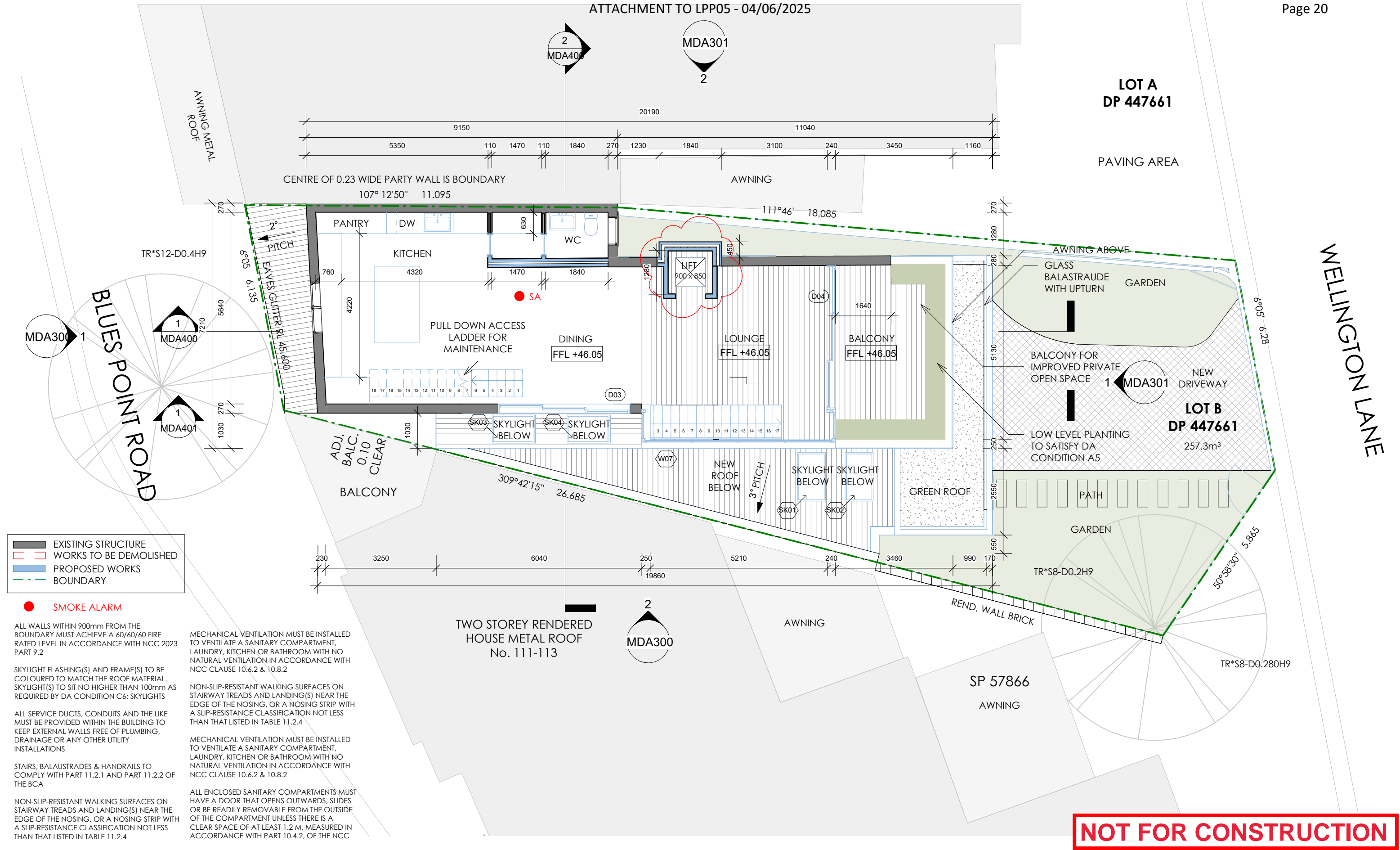
NOT FOR CONSTRUCTION













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- Do not scale this drawing. All dimensions to be verified on site. Any discrepancies are to be reported to Henry May Projects.
- All works to comply with the NCC and Australian standards

Project  
115 Blues Point Road, Mcmahons Point  
NSW, 2060 Lot B DP 447661

Rev#	Description	Date
A	LIFT MODIFICATION	14.02.25



Drawing Title

**PROPOSED ROOF PLAN**

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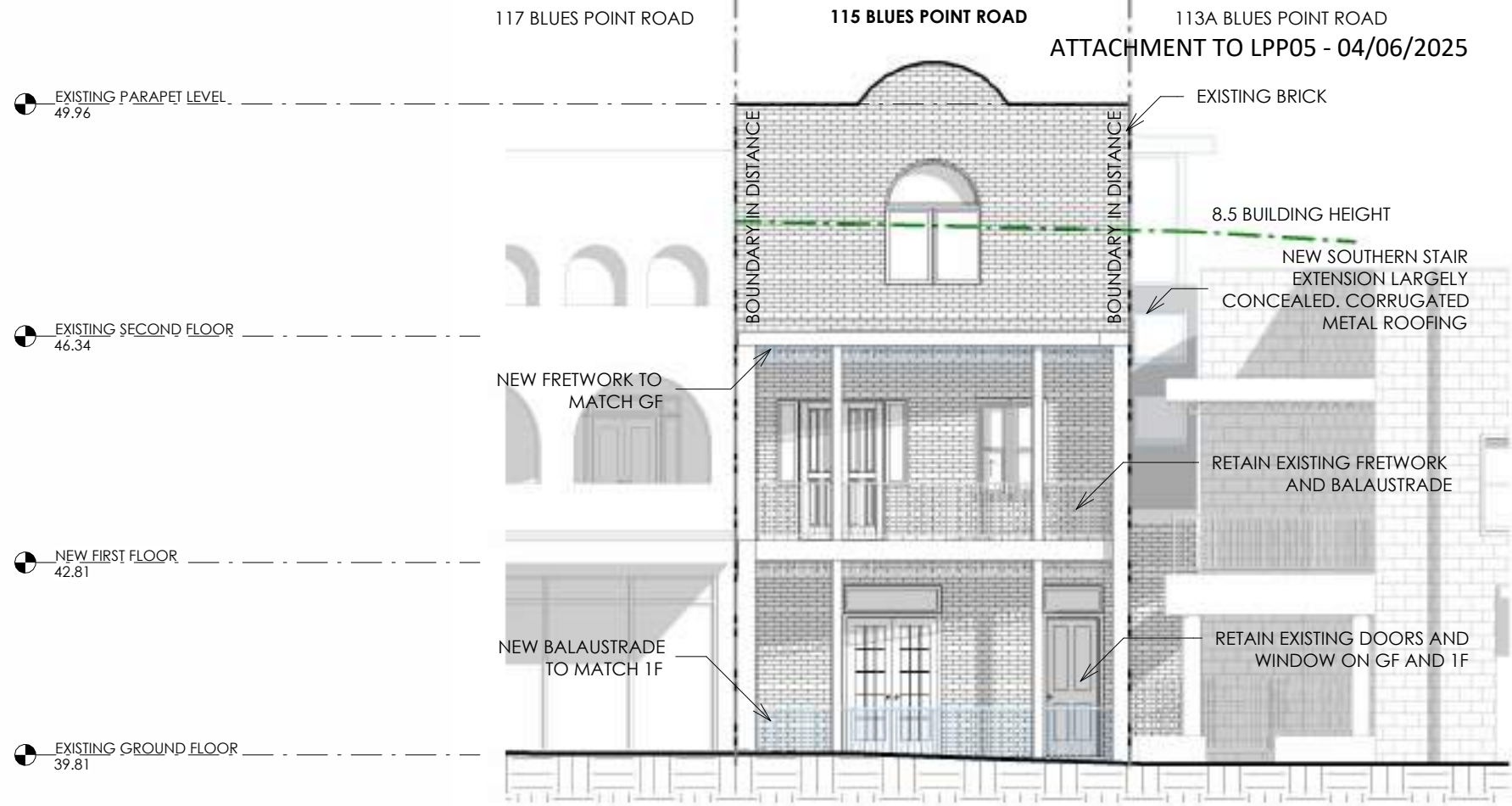
Issued for

5455 MODIFICATION

drawing #  
**MDA203**

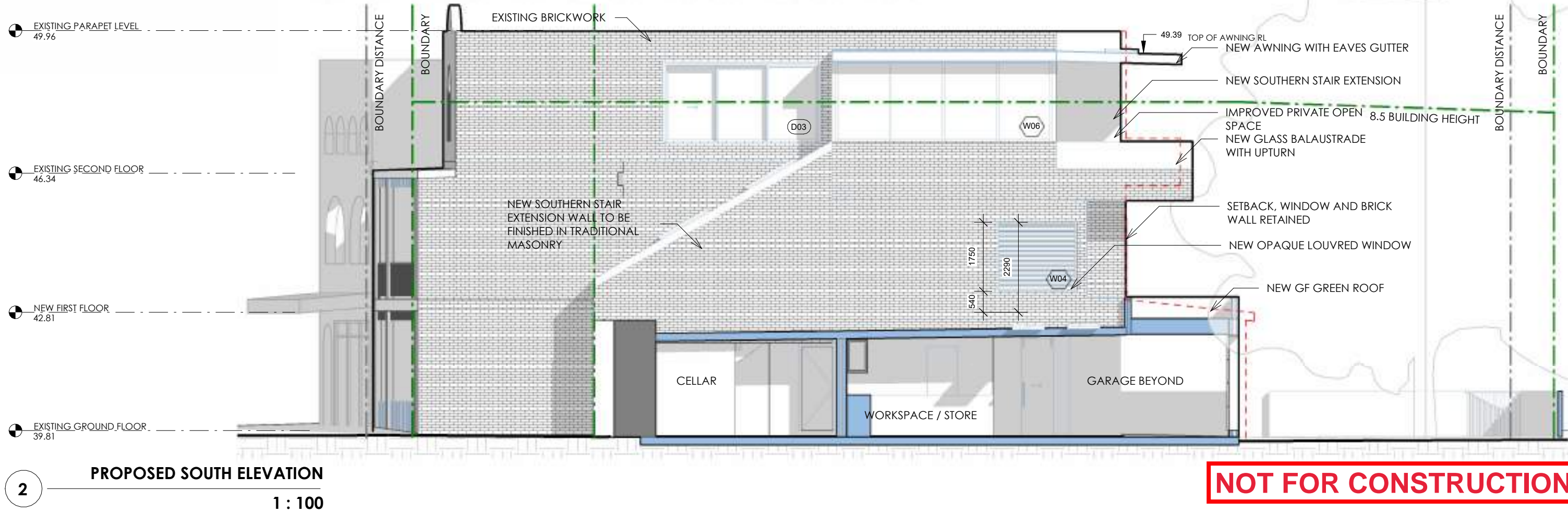
drawn	checked	scale @ A3
SM	JL	1 : 100





ALL SERVICE DUCTS, CONDUITS AND THE LIKE MUST BE PROVIDED WITHIN THE BUILDING TO KEEP EXTERNAL WALLS FREE OF PLUMBING, DRAINAGE OR ANY OTHER UTILITY INSTALLATIONS

SKYLIGHT FLASHING(S) AND FRAME(S) TO BE COLOURED TO MATCH THE ROOF MATERIAL SKYLIGHT(S) TO SIT NO HIGHER THAN 100mm AS REQUIRED BY DA CONDITION C6: SKYLIGHTS



Rev#	Description	Date
A	LIFT MODIFICATION	14.02.25



EXISTING PARAPET LEVEL  
49.96

EXISTING SECOND FLOOR  
46.34

NEW FIRST FLOOR  
42.81

EXISTING GROUND FLOOR  
39.81

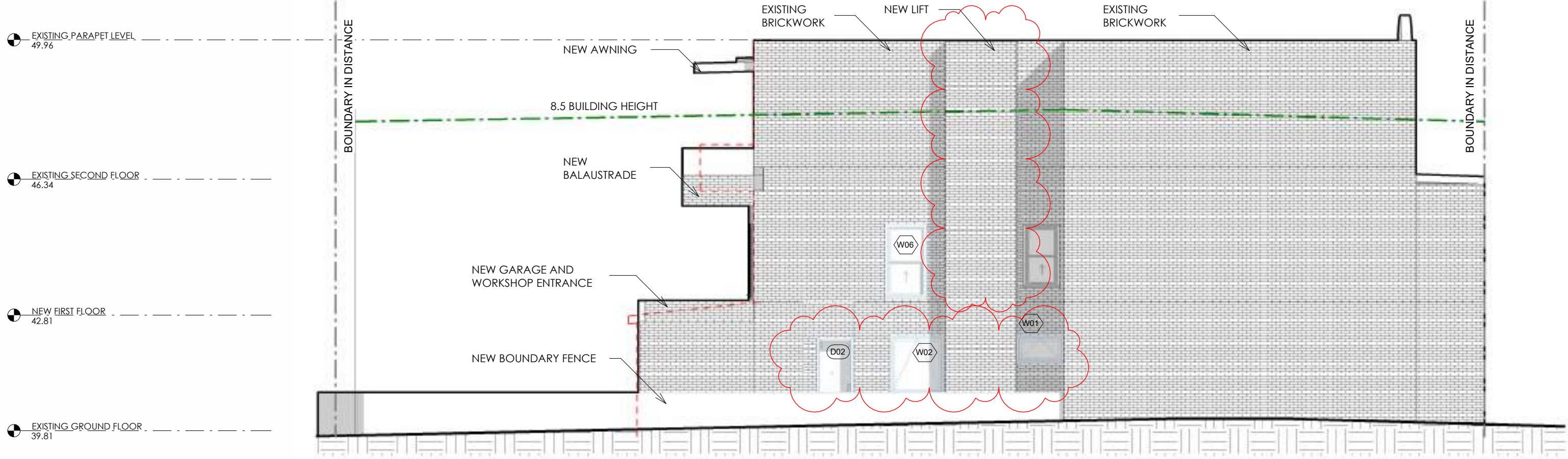
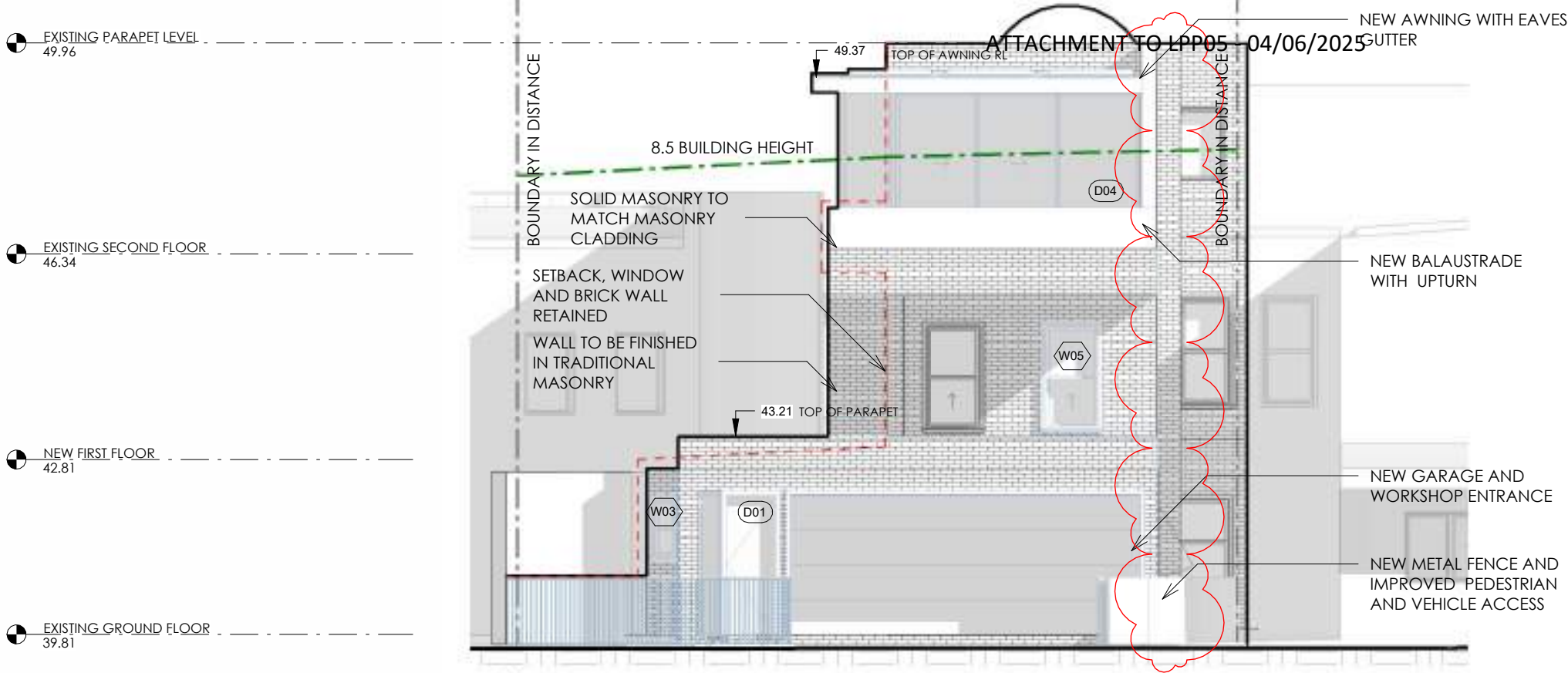
EXISTING PARAPET LEVEL  
49.96

EXISTING SECOND FLOOR  
46.34

NEW FIRST FLOOR  
42.81

EXISTING GROUND FLOOR  
39.81

2 PROPOSED NORTH ELEVATION  
1 : 100



NOT FOR CONSTRUCTION

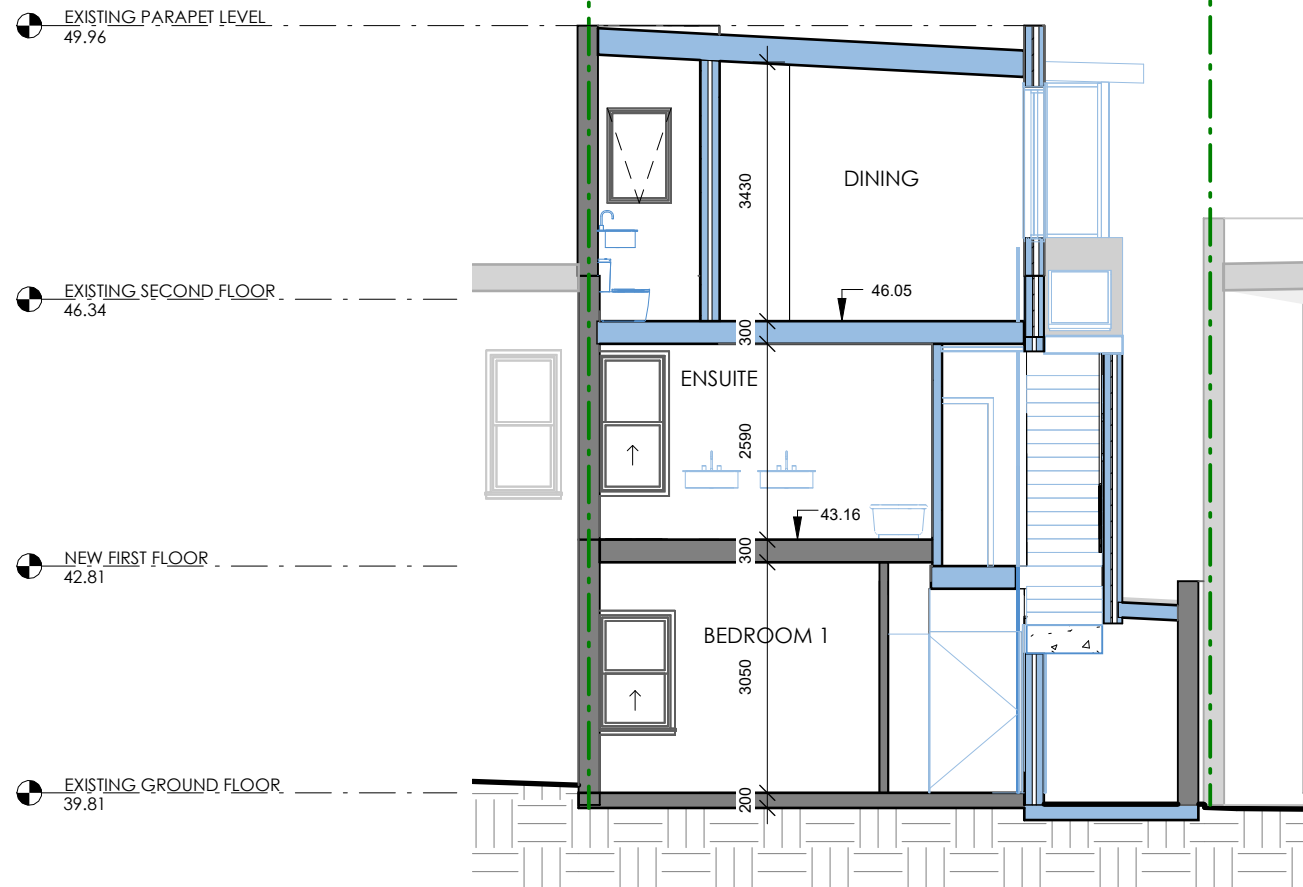
ALL SERVICE DUCTS, CONDUITS AND THE LIKE MUST BE PROVIDED WITHIN THE BUILDING TO KEEP EXTERNAL WALLS FREE OF PLUMBING, DRAINAGE OR ANY OTHER UTILITY INSTALLATIONS

SKYLIGHT FLASHING(S) AND FRAME(S) TO BE COLOURED TO MATCH THE ROOF MATERIAL SKYLIGHT(S) TO SIT NO HIGHER THAN 100mm AS REQUIRED BY DA CONDITION C6: SKYLIGHTS

Rev#	Description	Date
A	LIFT MODIFICATION	14.02.25

Drawing Title
<b>PROPOSED EAST/NORTH ELEVATION</b>
Issued for
5455 MODIFICATION

drawing #		revision
MDA301		A
drawn	checked	scale @ A3
SM	JL	1 : 100



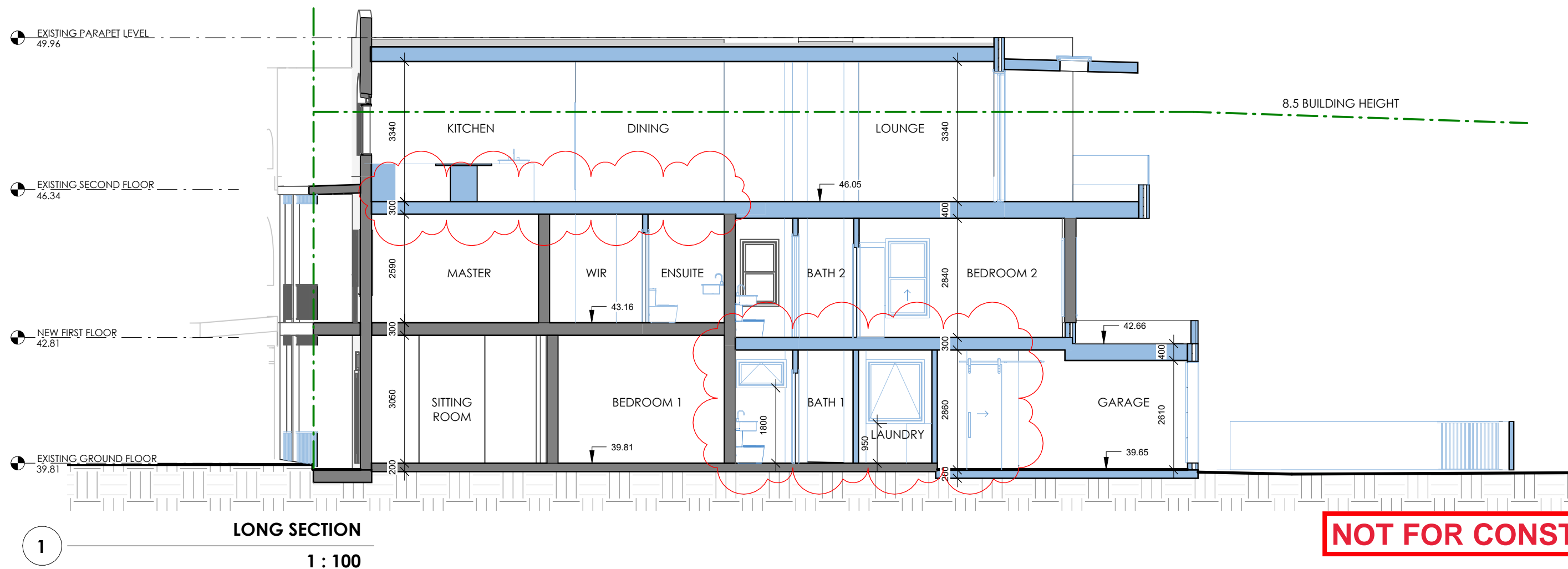
ATTACHMENT TO LPP05 - 04/06/2025

Page 24

ALL SERVICE DUCTS, CONDUITS AND THE LIKE MUST BE PROVIDED WITHIN THE BUILDING TO KEEP EXTERNAL WALLS FREE OF PLUMBING, DRAINAGE OR ANY OTHER UTILITY INSTALLATIONS

SKYLIGHT FLASHING(S) AND FRAME(S) TO BE COLOURED TO MATCH THE ROOF MATERIAL SKYLIGHT(S) TO SIT NO HIGHER THAN 100mm AS REQUIRED BY DA CONDITION C6: SKYLIGHTS

2 CROSS SECTION  
1 : 100



1 LONG SECTION  
1 : 100

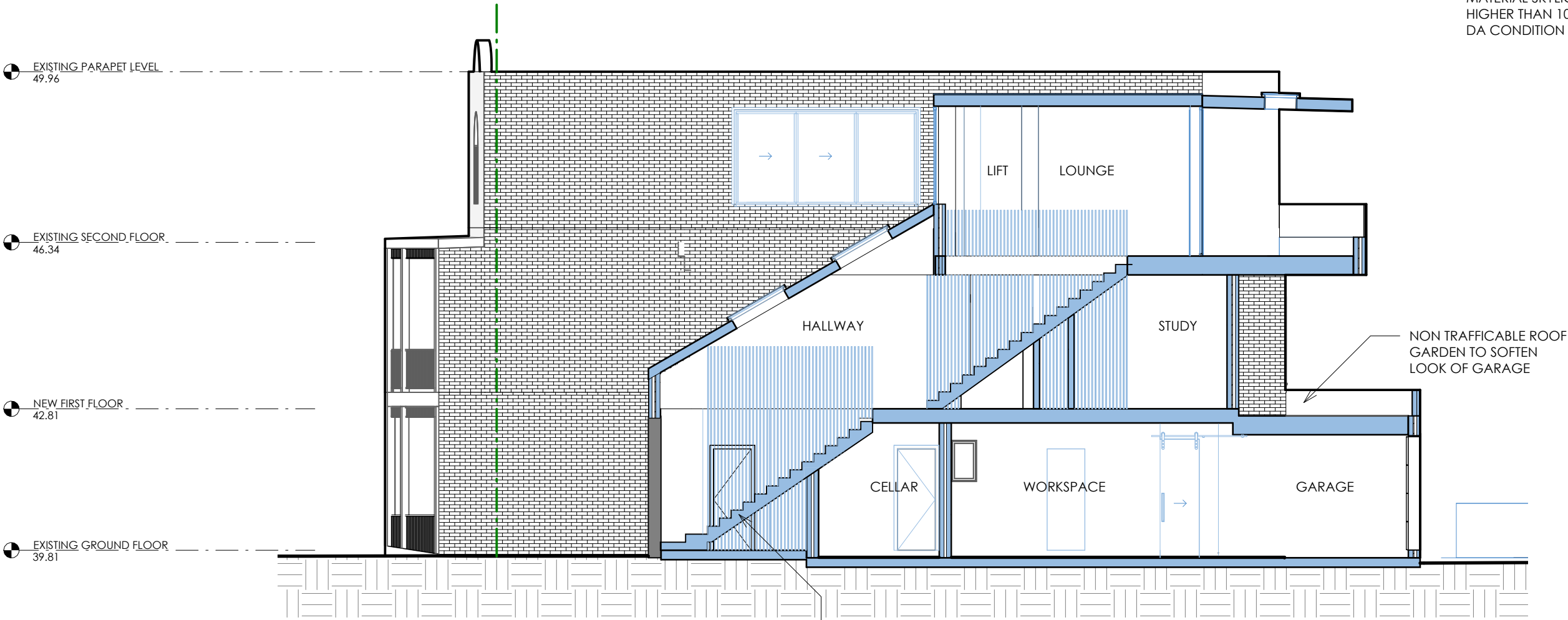
NOT FOR CONSTRUCTION

Rev#	Description	Date
A	LIFT MODIFICATION	14.02.25

Drawing Title		drawing #		revision
SECTION A & B		MDA400		A
Issued for		drawn	checked	scale @ A3
5455 MODIFICATION		SM	JL	1 : 100

ALL SERVICE DUCTS, CONDUITS AND THE LIKE MUST BE PROVIDED WITHIN THE BUILDING TO KEEP EXTERNAL WALLS FREE OF PLUMBING, DRAINAGE OR ANY OTHER UTILITY INSTALLATIONS

SKYLIGHT FLASHING(S) AND FRAME(S) TO BE COLOURED TO MATCH THE ROOF MATERIAL SKYLIGHT(S) TO SIT NO HIGHER THAN 100mm AS REQUIRED BY DA CONDITION C6: SKYLIGHTS



1 LONG SECTION 2  
1 : 100

STAIRS, BALAUSTRADES & HANDRAILS TO COMPLY WITH PART 11.2.1 AND PART 11.2.2 OF THE BCA

SLIP RESISTANCE WALKING SURFACES TREASED LANDINGS & NOSINGS AS LISTED IN TABLE 11.2.4 OF THE BCA

NOT FOR CONSTRUCTION

Rev#	Description	Date
A	LIFT MODIFICATION	14.02.25

Drawing Title		drawing #		revision
SECTION C & D		MDA401		A
Issued for		drawn	checked	scale @ A3
5455 MODIFICATION		SM	JL	1 : 100