

**NSLPP MEETING HELD ON 25/06/2025****Attachments:**

1. Site Plan
2. Architectural Plans
3. Acoustic Report & Access Report
4. Operational Waste Management Plan

ADDRESS/WARD: 246 Miller Street, North Sydney**APPLICATION NO:** DA 142/2024**PROPOSAL:** Use of premises as business premises (pet grooming parlour and ancillary pet shop), including internal alterations and signage**PLANS REF:**

Plan No.	Title	Drawn by	Date
GN-01	General Notes	Keeyuen	18/06/2024
PL-01	Existing Ground Floor Plan	Keeyuen	18/06/2024
PL-02	Demolition Ground Floor Plan	Keeyuen	18/06/2024
PL-03	Proposed Ground Floor Plan	Keeyuen	18/06/2024
PL-05	Ground Floor Ceiling Reflected Plan	Keeyuen	18/06/2024
PL-08	Ground Floor Finish Plan	Keeyuen	18/06/2024
PL-09	Existing Upper Floor Plan	Keeyuen	18/06/2024
PL-10	Demolition Upper Floor Plan	Keeyuen	18/06/2024
PL-11	Proposed Upper Floor Plan	Keeyuen	18/06/2024
PL-13	Upper Floor Reflected Ceiling Plan	Keeyuen	18/06/2024
PL-16	Upper Floor Finish Plan	Keeyuen	18/06/2024
EL-03	Existing Shopfront Elevation (signage details)	Keeyuen	18/06/2024

OWNER: North Sydney Council**APPLICANT:** Misterdd Pty Ltd**AUTHOR:** Leena Sebastian, Monteath & Powys**DATE OF REPORT:** 13 June 2025**DATE LODGED:** 12 July 2024**DATE AMENDED:** 23 Aug 2024, 22 May 2025, 5 June 2025**RECOMMENDATION:** Approval

EXECUTIVE SUMMARY

This development application seeks consent for use premises as a business premises (retail pet supplies and grooming parlour) including internal alteration and signage at 246 Miller Street, North Sydney.

The application is reported to the North Sydney Local Planning Panel (the Panel) for determination in accordance with the ministerial directions as the application relates to a property owned by North Sydney Council. The application was assessed by an external consultant and the recommendations are being presented to the Panel for determination to ensure appropriate independence and transparency.

Development for the purpose of a business premises (pet grooming parlour) is permitted within MU1 Mixed use zone.

The subject property forms part of an existing two-storey terrace style development at the intersection of Miller Street and Ridge Street. These Victorian terraces known as 'Trewyn Terraces' were built in 1800s and are identified as items of local heritage significance in North Sydney Local Environmental Plan 2013 (NSLEP 2013). The property has direct frontage and access to Miller Street, with secondary pedestrian access available via a rear laneway that connects Ridge Street.

Originally constructed as shop top houses fronting Miller Street, most of these terraces have fully transformed to small business premises over the years.

The proposed development involves change of use and internal alterations to accommodate a pet grooming business, associated retail spaces and ancillary care spaces within the building. A pet supply sales area will occupy the shopfront at the ground level, with grooming and bathing areas at the rear. The upper level will be provided with dog care and cat care areas along with pet bathing areas. The balcony on the upper level will remain unchanged. The proposal does not involve any external works. The dog care and cat care areas are ancillary to the grooming business and are not intended to serve as an additional or independent use.

The application is accompanied by a Statement of Heritage Impact and Acoustic Assessment to demonstrate no impact on the heritage significance of the structure or the acoustic amenity of the surrounding uses.

Notification of the proposal has not attracted any submissions raising particular concerns.

Following this assessment the development application is considered to be reasonable in the circumstances and is recommended for **approval** subject to conditions.

DESCRIPTION OF PROPOSAL

The application seeks approval for the following:

- Internal alterations to facilitate change of use to a business premises comprising pet grooming business, pet shop and ancillary pet care spaces.
- The ground floor will contain a pet supply at the shopfront, with dog care and grooming/washing/drying areas at the rear. The existing sink and bench in the rear room will be removed and new internal partition walls in glass, or a combination of glass and gyprock, will be built to create internal spaces at the ground level.
- Upper level will accommodate a small staff room, cat care, and dog care areas in addition the grooming, bathing and drying areas. Minor demolition works to remove existing fittings and construction of new internal glazed partition walls will be required on the first floor.
- An illuminated business identification sign under awning sign measuring 1.8m x 0.4m, and another illuminated sign measuring 2m x 0.6m inside the ground level window panel are included in the proposal.
- Proposed hours of operation are between 8am and 6pm, Monday to Saturday, and the premises is expected to employ a maximum of 4 staff.
- To ensure manageable number of pets, and their general welfare and amenity, the proposal places restriction on the number of large dogs (weighing between 25kg and 40kg) permitted on the premises at any given time. Dogs larger than 40kg will not be allowed in the store. A Plan of Management including these details will be imposed as a condition of consent.

The operations will not involve long day care or overnight keeping of pets at the premises. The dog/cat care area is intended to be ancillary to the grooming business, i.e. it is intended to house the pets for the specific duration of the booked service appointment. No external works or modification to the exterior fabric of the building is proposed.

In correspondence provided on 22 May 2025 the applicant has clarified that the use will operate subject to the following restrictions:

1. **No Boarding Services:** The proposed pet store will not offer any overnight boarding services for dogs or any other animals. No animals will be housed on the premises overnight under any circumstances.
2. **No Extended Care Only Services:** We confirm that no dogs will remain on the premises for extended care only services. Animals will only be present for the specific duration of a pre-booked service appointment or while accompanying their owners within the retail area.
3. **Dog Size Restrictions:** We will implement a strict policy regarding the size of dogs permitted within the store. Only dogs weighing less than 40 kilograms will be allowed access to the premises.
4. **Capacity Limit for Larger Dogs:** To further ensure manageable numbers and maintain amenity, we commit that no more than two (2) dogs weighing between 25kg and 40kg will be permitted on the premises concurrently at any given time.

STATUTORY CONTROLS

NSLEP 2013

- Zoning – MU1 Mixed use
- Item of Heritage – Yes, Item Number 10910 - Trewyn Terraces
- In Vicinity of Item of Heritage - Yes, in the vicinity of 240, 242, 244 and 248 Miller Street-Trewyn Terraces
- Conservation Area - No
- Foreshore Building Line – No

Environmental Planning & Assessment Act 1979 (as amended)

Environmental Planning and Assessment Regulation 2021

SEPP (Biodiversity and Conservation) 2021

SEPP (Resilience and Hazards) 2021

SEPP (Industry and Employment) 2021

POLICY CONTROLS

North Sydney Development Control Plan 2013 (NSDCP 2013)

North Sydney Local Infrastructure Contributions Plan 2020

DESCRIPTION OF LOCALITY

The subject site is formally described as Lot 2 DP263032 and commonly known as 246 Miller Street North Sydney. The subject property forms part of an existing two-storey terrace style development at the intersection of Miller Street and Ridge Street, as shown in Figure 1. These Victorian terraces known as 'Trewyn Terraces' were built in 1800s and are identified as items of local heritage significance.

The property has direct frontage and access to Miller Street, with secondary pedestrian access available via a rear laneway that connects Ridge Street to Stanton Library.

The site has an approximate area of 92m², and the existing unit is one of the four two-storey terraces which were originally constructed with shopfront on the ground floor. Over the years, majority of the units have been operating as business/commercial premises; however, the external form and the architectural features remain intact. Refer to Figures 1-4. Minor alterations have occurred to the interior of the unit although there are no known records of a formal change of use. The premises was briefly used for the purposes of a "pop-up" art gallery for the display of local artists' work (c2019). The premises has been vacant since at least March 2020.

A news agency operates in the adjoining unit to the north, and the unit to the south is being used as a cafe.

Surrounding uses are generally low density commercial and mixed-use developments. Stanton Library is the main development to the south-west of the site. Residential uses are located to the east of Miller Street and in the mixed-use developments to the west of the subject site.

The site does not have parking provisions; however, it is well connected public transport and is within easy access of the parking spaces in its vicinity, including the public car park on Ridge Street. A bus stop is located at the site's frontage on Miller Street.



Figure 1: View of the subject site (outlined in yellow) from Miller Street



Figure 2: View of the existing shopfront of subject site



Figure 3: Internal view of the shop looking towards Miller Street



Figure 4: View of Bedroom 1 showing the original fireplace and panelled doors to the balcony



Figure 4: View of the backyard, looking east towards the rear elevation

RELEVANT HISTORY

Previous applications

There are no records of other development approvals for this specific site under consideration. The premises has variously been used at ground floor level for retail purposes and briefly for the purposes of a pop-up art gallery for the display of local artists' work (c2019).

The premises has been vacant since at least March 2020.

Current Application

Date	Action
12 July 2024	Lodged with Council
11 July 2024	<p>Additional information request seeking the following information :</p> <p>1. Acoustic Report A statement from an appropriately qualified acoustic consultant eligible for membership of the Association of Australian Acoustic Consultants is required which outlines acoustic mitigation measures to be implemented during to ensure operation of the premises would not result in unreasonable noise impacts to adjoining and nearby sensitive receivers.</p> <p>2. Operational Waste Management Plan An operational waste management plan is required which addresses the requirements of Part B S.19 Waste Minimisation & Management of NSDCP 2023.</p>

22 July 2024	Request for information to address Council's Senior Building Surveyor seeking information confirming how access issues are proposed to be addressed.
2 August 2024	The application was notified as per Council's Community Engagement Protocol. The notification period ended on 23 August 2024. No submissions were received during this period.
23 August 2024	Acoustic report provided.
22 January 2025	<p>Further additional information requested to address:</p> <p>1. Clarification on the proposed development – The architectural plans indicate 'dog day care' rooms on the ground and upper levels. Further clarification is needed on whether a day care is proposed alongside the dog grooming business, or if these rooms are just the ancillary waiting areas for dogs at the grooming parlour. If the day care is in addition to the grooming business, appropriate land use characterisation will be required, noting animal boarding or training establishment is a prohibited use on the site. Please confirm if overnight stays are proposed.</p> <p>2. Further details of the proposed use – The proposal does not outline the number of dogs and cats that will be accommodated at the business at any given time. In reviewing the space requirements in NSW Animal Welfare Code of Practice No.5 - dogs and cats in boarding establishments (NSW Animal Welfare Code of Practice), it is not clear if the dog day care room on the ground floor has enough space to allow the animals to lie with limbs stretched out. Further details of the activities at the premises should be provided.</p> <p>3. Waste management- It is not clear if floor wastes will be provided in the day care rooms to allow for the clean-up of dog urine. Also, please advise if grooming wash areas will be provided with floor wastes. An operational waste management plan addressing the requirements of Part B S.19 Waste Minimisation & Management of NSDCP 2023 should be submitted. The statement must provide details of arrangements for management of any trade wastewater requirements along with disposal details for any biological material from the premises.</p> <p>4. BCA requirements – Information to address the request from 22 July 2024 including an Access Report prepared by a suitably qualified access consultant be provided. It is also recommended that the Access Report be reviewed by Council's Conservation Planner prior to any Development Consent being issued.</p>
9 May 2025	Additional information received
22 May 2025	Updated Acoustic Report provided

INTERNAL REFERRALS

BUILDING

The application was assessed by Council's Building Officer and the following comments were provided:

"An assessment of the building has been undertaken, and it is recommended the existing building be brought into partial conformity with the BCA in accordance with s 64(2) of the EP&A Regulation. The upgrades relate to ensuring there are provisions for safe egress, portable fire extinguishers, emergency lighting and exit signs"

Suitable conditions have been recommended to ensure the building is upgraded to comply with the fire safety requirements in the BCA which are part of the draft conditions included in this report.

HEALTH

The application was referred to Council's Environmental Health Team, and concerns were raised on matters such as waste management, welfare of animals and noise impacts. Additional information submitted in response to these concerns were reviewed and the following comments were provided:

"As the SEE advises that the business intends to operate as a doggy daycare in addition to a pet grooming salon; and the subsequent additional information provided advises that dog daycare services will not be provided, it should be stipulated in the consent that the approval is for pet grooming only and not long day care for pets"

A bespoke condition has been included to address the above requirement. Additional conditions were recommended by the Environmental Officer for waste management, control of noise and delivery hours which have also been included in the draft conditions attached to this report.

HERITAGE

The application has been referred to Council's Heritage Team who provided the following comments:

"246 Miller Street is identified as a scheduled heritage item and is part of a heritage group of properties known as Trewyn Terraces at 240-248 Miller Street. The statement of significance for 246 Miller Street as per the NSW Heritage Inventory database states the following:

One of a fine set of terraced shopfronts with upper floor residences from the late nineteenth century in an important location on Miller Street opposite the former tram terminus. The 'Trewyn terraces', Nos. 240-248, which are the surviving five of the original seven terraces, demonstrate the scale and character of the former streetscape of Miller Street in the 1880s, and have continuously provided community retailing services since the 1880s. The terrace is also associated with James Taylor, Mayor of the Borough of East St Leonards 1877-1878, who was the original owner and builder.

The site and the Trewyn Terraces group generally are in the vicinity of several heritage items.

An assessment of the proposed fit out works relating to a pet shop/ pet daycare/ pet grooming premises and associated signage at 246 Miller Street, has been undertaken in terms of the relevant provisions of NSDCP 2013 Part B: s13. Heritage conservation noted below and with regard to NSLEP 2013 Clause 5.10(5) (c) Heritage assessment.

*s13.5 Protecting heritage significance O1/O2/ O3/ O7/ O8/
s13.5.2 Form, massing, scale O1/ P1
s13.5.5 Interior layouts O1/
s9.6 Signs on heritage items and in conservation areas O1/*

A site inspection was carried out on 15 October 2020 relating to a previous fit out application.

The proposed fit out works are of a minor nature that will not alter the plan form or layout of the existing premises.

The key new elements relate to the installation of full glass or half gyprock/ half glass partitions within existing rooms and will be reversible. All existing chimneys and the existing staircase are to be retained.

The proposed signage includes an internally illuminated hanging sign behind the shopfront window and an under awning/ blade style sign to match others in the group.

There are no proposed changes to the existing shopfront. There are no details for a new colour scheme and drawing number EL-02. Existing shopfront elevation seems to suggest that the colour scheme is to remain as is.

The proposed works are of a minor nature and where there are new installations, they are reversible and will not adversely impact on the heritage significance of the item. There are no adverse streetscape impacts and no change to the streetscape setting and character of the heritage group of which the subject building is a group."

The assessment concluded that the proposal satisfies the relevant objectives for heritage conservation in the LEP and the DCP and therefore considered acceptable. Conditions have been recommended to protect the existing chimney structure and the general building fabric and finishes which have been included in the recommended conditions list in this report.

EXTERNAL REFERRALS

No external referrals were required for the proposed development.

SUBMISSIONS

The application was notified The application was notified in accordance with Council's Community Participation Plan 2019 between 2 August 2024 and 28 August 2024. No submissions were received in response to the notification.

CONSIDERATION

Environmental Planning and Assessment Act 1979 (as amended)

The relevant matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979* (as amended), are assessed under the following headings:

SEPP (Resilience and Hazards) 2021

The provisions of SEPP (Resilience and Hazards) require Council to consider the likelihood that the site has previously been contaminated and to address the methods necessary to remediate the site. The subject site has previously been used for residential purposes and as such is unlikely to contain any contamination; therefore, the requirements of the above SEPP have been satisfactorily addressed.

SEPP (Industry & Employment) 2021

Chapter 3 of SEPP (Industry and Employment) aims to regulate signage and ensure its compatibility with the desired amenity of the area, while providing effective communication in suitable locations. The proposal includes two business identification signs in the form of an illuminated under awning sign measuring 1.8m x 0.4m (indicated as blade signage), and an illuminated sign measuring 2m x 0.6m installed on the window panel, as shown in Figure 5.

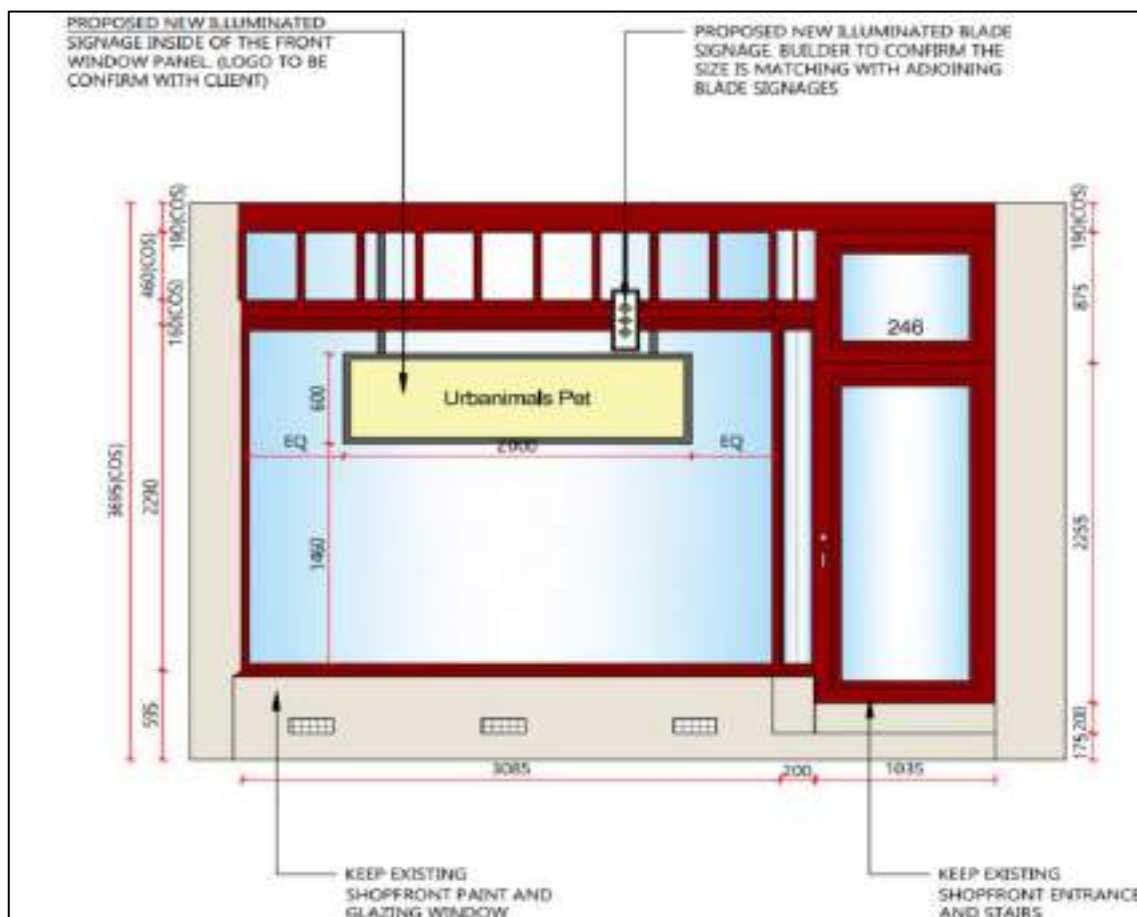


Figure 5: Proposed signage

In assessing the proposed signs against the objectives set out in section 3.1(1)a, and the assessment criteria in Schedule 5 of this policy, it is noted that the proposed signs:

- are consistent those existing on the adjoining properties
- do not detract from the amenity of the area or the heritage value of the building
- are sympathetic to the heritage significance of the property
- do not obscure or compromise important views
- are of a scale and proportion consistent with the streetscapes setting and landscape
- are not hazardous to the road users or pedestrians

As such the proposal is considered consistent with the objectives of this policy. A condition of consent will be imposed to ensure the illumination levels comply with relevant standards to minimise glare and amenity impacts.

NORTH SYDNEY LOCAL ENVIRONMENT PLAN (NSLEP 2013)

1. Permissibility

The site is zoned MU1 Mixed Use under NSLEP 2013. The proposed development can be defined as business premises, which falls under the broad definition of commercial premises – a use that is permissible with consent in the zone.

2. Objectives of the zone

The objectives of MU1 zone are stated below:

- *To encourage a diversity of business, retail, office and light industrial land uses that generate employment opportunities.*
- *To ensure that new development provides diverse and active street frontages to attract pedestrian traffic and to contribute to vibrant, diverse and functional streets and public spaces.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To encourage business, retail, community and other non-residential land uses on the ground floor of buildings.*
- *To create interesting and vibrant mixed use centres with safe, high quality urban environments with residential amenity.*
- *To maintain existing commercial space and allow for residential development in mixed use buildings, with non-residential uses concentrated on the lower levels and residential uses predominantly on the higher levels.*

The proposal aligns with the relevant objectives of the zone by facilitating the reuse of the building for business purposes, without adversely impacting its heritage value or the existing streetscape character. The proposed use complements the adjoining uses and will not result in any significant adverse impacts. It supports the existing urban environment and adds to the vibrancy of the mixed-use precinct by introducing an additional use that benefits the local community.

3. Principal Development Standards

The Principal Development Standards in Part 4 of the NSLEP 2013 specifies a maximum building height of 10m for the site. As the proposed works are confined to the interior of the building, the existing height of the structure will remain unaffected by the proposal. No other development standards specified in Part 4 apply to the site.

4. Heritage Conservation

The subject site belongs to a group of shop top houses called Trewyn Terraces which are identified as items of local heritage significance in Schedule 5 of NSLEP 2013. As such the following objectives for heritage consideration provided under Clause 5.10(1) of NSLEP 2013 are relevant to the proposal:

- (a) *to conserve the environmental heritage of North Sydney,*
- (b) *to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- (c) *to conserve archaeological sites,*
- (d) *to conserve Aboriginal objects and Aboriginal places of heritage significance.*

Further, Clause 5.10(2) requires a development application for alterations/disturbance to a listed heritage item, an assessment of heritage impacts as stipulated under Clause 5.10(5)

The application is supported by a Statement of Heritage Impact prepared by Heritage 21 which concludes that the development is consistent with the heritage objectives and would contribute positively to the both the heritage significance of the site and other items in the vicinity.

A detailed assessment of the proposal has been undertaken by Council's Heritage officer, and it has been determined that the proposed alterations are of minor scale and largely reversible in nature. The overall built form and layout of the existing premises will remain unaffected by the proposed works and such no adverse impact will occur on the heritage values of the structures or the streetscape setting. The proposal meets the heritage objectives in NSLEP 2013 and NSDCP 2013 and is therefore considered acceptable on heritage grounds.

NORTH SYDNEY DEVELOPMENT CONTROL PLAN 2013

An assessment of the proposal against the relevant sections in NSDCP 2013 is provided in the following table. Where a control is not specifically mentioned, it has been reviewed and deemed not relevant to the proposed works.

Part B Section 2- Commercial & Mixed-Use Development		
	<i>complies</i>	<i>Comments</i>
2.2 Function		
2.2.1 Diversity		
To ensure a wide range of activities and services, with appropriate street activation to encourage pedestrian use.	Yes	The proposed business will enhance the services/activities in the mixed-use precinct while activating the unused shopfront on Miller Street.

Part B Section 2- Commercial & Mixed-Use Development

	<i>complies</i>	<i>Comments</i>
2.2.2 Maximise use of public transport To ensure that developments maximise access to public transport, walking and cycling.	Yes	Parking provisions are not included in the application. This will continue to encourage the use of public transport, walking and cycling.

2.3 Environmental Criteria

2.3.1 Clean Air To ensure the development does not adversely affect air quality	Yes	The use of the premises as a dog grooming parlour does not involve the use of plant or machinery that generate odorous or toxic emissions. The proposal includes appropriate waste management measures to maintain a clean environment. No parking facilities are provided on the site, which eliminates additional traffic and hence an increase in vehicle emissions.
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2.3.2 Noise

Objectives

O1 To ensure reasonable levels of acoustic amenity to nearby residents.

Provisions

P1 Noise emission associated with the operation of non-residential premises or non residential components of a building must not exceed the maximum 1 hour noise levels (LAeq 1 Hour) specified in Table B-2.3.

TABLE B-2.3 – Noise Emission Limits			
Time Period			Max 1 hour noise level (LAeq 1 Hour)
Day	Week	Time	
Weekday	Day	7am – 6pm	60 dBA
	Evening	6pm – 10pm	50 dBA
	Night	10pm – 7am	45 dBA
Weekend	Day	8am – 7pm	60 dBA
	Evening	7pm – 10pm	50 dBA
	Night	10pm – 8am	45 dBA

Notes: LAeq (1hour) readings are to be measured during the noisiest 1 hour period between Day – 7/8am to 6/7pm, Evening – 6/7pm – 10pm and Night – 10pm to 7/8am.

The application is accompanied by an Acoustic report prepared by Norrebro Design. Noise logging was performed from 5 August to 13 August 2024 in two locations, to establish the existing noise levels.

Indoor operational noise level (with barking dogs and the appliances in operation) was conservatively estimated to be 80dB(A). The noise modelling results indicate the development is capable of complying with the noise criteria of 60dB(A) for commercial and mixed-use development stipulated in Table B-2.3, as well as the background plus 5dB criterion at the rear property boundary.

With regard to noise transmission to adjoining tenancies, the brick wall separating the units is considered adequate to provide the required noise attenuation. Notwithstanding, the following recommendations are included in the report to ensure best practices in noise management:

Part B Section 2- Commercial & Mixed-Use Development		
	<i>complies</i>	<i>Comments</i>
<ul style="list-style-type: none"> Windows are to be closed during the operation of the washing machine, blow dryer and the clothes dryer The washing machine is to be installed on a 5mm rubber layer <p>Additionally, conditions recommended by Council's Environmental Management officer to ensure compliance with relevant noise criteria will be included in the consent.</p> <p>Subject to ongoing compliance with the recommended conditions of approval the proposed use will be able to comply with the DCP requirements.</p>		
2.3.5 Artificial Illumination To minimise the impact of artificial illumination on the amenity of the residents and pedestrians. To provide a safe environment without adverse effects on the surrounding development or the public domain.	Yes	The proposal does not include any external lighting, and the operations are limited to daytime hours. Existing street lighting is considered adequate for pedestrian safety. A condition requiring compliance with Australian Standard AS 4282:2019 <i>Control of the Obtrusive Effects of Outdoor Lighting</i> , will be imposed to minimise adverse impacts from the illuminated signs.
2.3.6 Awnings To provide adequate weather protection for people using streets and other public places	Yes	The existing building is provided with an awning for weather protection. No additional works are proposed under this application.
2.3.8 Views To protect and enhance opportunities for views from public domain and to provide additional views where opportunities arise.	Yes	Existing views and vistas will not be impacted as the proposal does not involve any external changes to the built form.
2.3.9 Acoustic Privacy To ensure all residents within mixed use developments are provided with a reasonable level of acoustic privacy	Yes	As discussed previously under Section 2.3.2, the acoustic assessment submitted with the application demonstrates the capability of the development to comply with relevant criteria for acoustic amenity.
2.3.11 Visual Privacy To ensure that existing and future residents are provided with a reasonable level of visual privacy.	Yes	The application relates to the use of an existing building which does not present any privacy issues. The proposed use does not involve any changes that would adversely impact the privacy of adjoining residential properties.
2.5 Quality Urban Environment		
2.5.1 Accessibility To ensure buildings are made accessible to all persons regardless of their mobility	Yes	The Access Capability Assessment for the development prepared by Vallabh Bailey Consulting identified the existing building does comply with the relevant provisions for accessibility due to the following reasons: <ul style="list-style-type: none"> The front entry of the building is not accessible to people with mobility aids The staff occupied areas are not accessible to persons with disability. However, the assessment confirms that the non-compliance issues can be addressed to meet the

Part B Section 2- Commercial & Mixed-Use Development		
	<i>complies</i>	<i>Comments</i>
		accessibility requirements in the Building Code of Australia (BCA). Further discussion has been undertaken with the access consultants in view of the heritage constraints associated with the building, and it has been confirmed that compliance can be achieved without any structural works to the building.
2.5.2 Safety and security To ensure a high level of safety and security is provided within the development.	Yes	The existing shopfront provides passive surveillance over the road and entry to the building. Public access to the development will be limited to the main entry from Miller Street. Existing streetlights and internal lights are considered for the safety of the users of the premises. The proposed change of use does not warrant any additional requirements with respect to safety and security of the premises.
2.5.7 Vehicular access To enhance pedestrian safety and to minimise disruption to the streetscape from vehicle crossovers.	Yes	The proposal does not involve additional driveways or access points. Existing access arrangements will not be impacted.
2.5.8 Car parking Car parking is to be provided in accordance with Part B – Section 10 - Car Parking and Transport	Yes	<p>Table B-10.2 of Part B Section 10 of the DCP provides for 1 space (max) for every 400sqm of non-residential space be provided for the proposed use, which is situated in a high accessibility area.</p> <p>The site does not have separate parking provisions; however, it is well connected to public transport and is within easy access of the parking spaces in its vicinity, including the public car park on Ridge Street. A bus stop is located at the site's frontage on Miller Street and ample on street and parking station parking is available in Ridge Street and metered parking is available in Miller Street.</p> <p>Given the site location in a highly accessible area, the lack of dedicated off street parking is considered acceptable on merits and is consistent with the adjoining uses which no on-site parking provisions.</p>

Part B Section 2- Commercial & Mixed-Use Development				
		<i>complies</i>	<i>Comments</i>	
2.5.9 Garbage Storage		Satisfactory	<p>The Operational Waste Management Plan submitted with the application estimates weekly waste volumes for the actual business activity which includes:</p> <ul style="list-style-type: none">• 240L of recyclable waste (cardboard) to be collected weekly by licensed commercial waste contractor• 240L of general waste to be collected weekly by licensed commercial waste contractor• 100L of pet hair for recycling or disposal, to be collected by Sustainable Salon Program• 240L of co-mingled recyclable waste for fortnightly collection by licensed commercial waste contractor <p>The estimated waste quantities vary from the rate in Table B-2.10, as it is specific to the type of business. The application also proposes to adjust the frequency of collection based on the actual waste generation to ensure adequate waste storage provisions on the site.</p> <p>The designated grooming wash areas are equipped with existing waste floor drains which will be used for the discharge of wastewater spillage, subject to appropriate trade waste agreement.</p> <p>All bins will be stored at the premises and moved to the kerbside collection point at the rear of the property.</p> <p>The proposed waste management plan is considered satisfactory, and a condition will be imposed to ensure its implementation.</p> <p>A trade waste agreement with Sydney Water will be required to dispose of wastewater generated from the pet grooming activities which will be imposed as a condition of consent.</p> <p>A condition is recommended to require a commercial waste contractor to be engaged to manage waste collection in accordance with a plan of management.</p>	
TABLE B-2.10: Waste bin requirements				
Type of Premises	Typical Volume of Waste generated to be stored			
	Waste			Recycling
Retail Trading Shops < 100m2	50L / 100m2 GFA / day	25L / 100m2 GFA / day		
2.6 Energy efficiency				
2.6.2 Passive solar design		Yes	Existing solar access to the building and adjoining properties will not be impacted as no alterations will occur to the existing built form.	
2.6.4 Natural ventilation		Yes	The proposed scope of works will not affect the natural lighting and ventilation to the unit or the adjoining properties.	
2.6.5 Water conservation		Yes	The application proposes to use water-efficient fittings in the grooming tubs to reduce water consumption.	

Part B Section 2- Commercial & Mixed-Use Development		
	<i>complies</i>	<i>Comments</i>
2.6.6 Waste management and minimisation	Yes	The proposed operational waste management plan includes a number of strategies to minimise waste from product procurement, pet grooming and the general administrative functions at the premises.

DEVELOPMENT CONTROL PLAN 2013 – Part B Section 9 – Advertising and Signage		
9.4 General controls - design scale and size	Yes	The proposal includes an illuminated sign measuring 2m x 0.6m installed on the window panel facing Miller Street; and an illuminated under awning sign measuring approximately 1.8m x 0.4m. Both these signs are of an appropriate scale and consistent with the existing context.
9.5 Location	Yes	The signs will be positioned such that they do not obstruct sightlines, views or accessible paths of travel.
9.6 Restrictions	Acceptable on merits	This section aims to limit the number of signs to one business identification sign per building. Although two signs are proposed in this application, one of them will be installed flush with the window facing Miller Street and the other will be installed under the awning. The different orientation of these signs will minimise their dominance over the façade and eliminates visual clutter.
9.7 Content	Yes	The content of the sign, being the business name, is considered appropriate.
9.8 Pedestrian and road safety	Yes	The proposed signs do not present any hazard to pedestrians or road users. Compliance with AS 4282:2019 will be required to minimise the impacts from the illuminated signs.
9.9 Signs on heritage items and in conservation areas	Acceptable on merits	This section restricts the number of signs to a maximum of one per property and generally prohibits illuminated signs on heritage items. As mentioned above, the proposed signs are orientated differently to diminish their scale and visual dominance. As such the heritage significance of the item will not unreasonably impacted and therefore considered acceptable on merits.
9.10 Illumination	Yes	A condition will be imposed to prohibit illumination of the signs between 1.00am and 7.00am. Additionally, the signage will be required to comply with AS 4282:2019
9.11 Controls for specific sign types	Yes	This section requires under awning signs to be located 2.6m above natural ground level, with a maximum length of 6m and height of 500mm. The architectural plans indicate a clearance of 2.63 from the ground level for the under-awning sign, with a length of 1.8m and height of 0.4m. These dimensions comply with the requirement in this section.

North Sydney Planning Area – Part C, Section 2 of NSDCP 2013

The site is located within North Sydney Planning Area which provides specific development guidelines and character statement for the area. The requirements this area plan have been reviewed and there are no further considerations relevant to the proposed development.

Environmental Planning and Assessment Regulation 2021

The following considerations in Section 62 of *Environmental Planning and Assessment Regulations 2021* apply to development applications for change of use which does not involve rebuilding or alteration of the building.

- (2) The consent authority must—
- (a) consider whether the fire protection and structural capacity of the building will be appropriate to the building's proposed use, and
 - (b) not grant consent to the change of building use unless the consent authority is satisfied that the building complies, or will, when the development is completed, comply, with the Category 1 fire safety provisions that are applicable to the building's proposed use.

Suitable conditions will be imposed to ensure the building is upgraded to comply with the fire safety requirements in the BCA which are part of the draft conditions included in this report.

LOCAL INFRASTRUCTURE CONTRIBUTIONS PLAN

The subject application has been assessed against the North Sydney Local Infrastructure Contribution Plan 2020 and is not subject to payment of contributions towards the provision of local infrastructure.

ALL LIKELY IMPACTS OF THE DEVELOPMENT

All likely impacts of the proposed development have been considered within the context of this report.

ENVIRONMENTAL APPRAISAL	CONSIDERED
1. Statutory Controls	Yes
2. Policy Controls	Yes
3. Design in relation to existing building and natural environment	Yes
4. Landscaping/Open Space Provision	Yes
5. Traffic generation and Carparking provision	Yes
6. Loading and Servicing facilities	Yes

7.	Physical relationship to and impact upon adjoining development (Views, privacy, overshadowing, etc.)	Yes
8.	Site Management Issues	Yes
9.	All relevant S4.15 considerations of Environmental Planning and Assessment (Amendment) Act 1979	Yes

SUBMITTERS CONCERNS

The application was notified The application was notified in accordance with Council's Community Participation Plan 2019 between 2 August 2024 and 28 August 2024. No submissions were received in response to the notification.

PUBLIC INTEREST

The proposal is considered to be in the public interest for the reasons stated throughout this report.

SUITABILITY OF THE SITE

The development will be located in a MU1 Mixed Use zone where business premises are a permissible form of development. Consequently, the proposal is considered to be suitable for the site having regard to the merits of the proposal as described in the above report.

CONCLUSION

The matters for consideration as outlined in section 4.15(1) of the Act have been satisfied. The proposed development is permissible, meets the development standards and relevant provisions of NSLEP 2013.

All site constraints have been appropriately addressed and the proposed business premises, associated, signage and internal works are not considered to have adverse impacts on the heritage significance of the building, the existing uses or the general locality. Assessment of the development has concluded that the development is capable of operating with minimal impacts.

Having regard to the merits of the proposal, the application is recommended for approval subject to appropriate standard and site-specific conditions provided below.

RECOMMENDATION

PURSUANT TO SECTION 4.16 OF ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 (AS AMENDED)

THAT the North Sydney Local Planning Panel exercising the functions of Council as the consent authority grant consent to Development Application No DA142/2024/1 for use of premises as business premises (pet grooming parlour and ancillary pet shop), including internal alterations and signage on land at 246 Miller Street, North Sydney subject to the following site specific and standard conditions:-

No structural works permitted

- A3. This consent does not authorise any structural works to the building. All the existing fireplaces and associated chimney architecture are to remain in situ.

If any structural works are required to comply with the Building Code of Australia or to satisfy any conditions of this consent, a separate development application approval or a modification to this consent, as appropriate, must be obtained before such works are carried out.

(Reason: To protect the character and significance of the heritage building on the site and those in its immediate vicinity)

Approved use

- A4. This consent does not permit the use of the premises as a Business premises (dog care business) only. Any dog care area provided within the development shall be associated with the grooming services offered at the premises.

Appropriate information should be displayed within the building to ensure the staff and customers are aware of the restrictions on large dogs, as per the Plan of Management.

(Reason: To ensure the development operates in accordance with the specified use without adverse impacts)

Certification from Access Consultant

- C4. Prior to a Construction Certificate being issued, a suitably qualified access consultant shall certify that the proposed works meets accessibility requirements (including any wayfinding and signage requirements) in the Building Code of Australia and any other relevant legislation with regard to provision of equity in access for disabled persons.

(Reason: Ensure non-discriminatory access for disabled people)

Plan of Management

- G3. A Plan of Management including, but not limited to, the recommendations in the approved acoustic report, the operational waste management plan, and the document titled "Supplementary Information – Response to RFI" shall be submitted to the certifier prior to the issue of an Occupation Certificate.

(Reason: To ensure the operations are managed appropriately to minimise impacts)

Signage

- I7. The illuminated signs shall operate in accordance with Australian Standard *AS 4282:2019 Control of the Obtrusive Effects of Outdoor Lighting*.

The signs shall not be illuminated between 1.00am and 7.00am.

(Reason: To minimise impacts on the amenity of the area)

Operation of the premises

18. The development shall operate in accordance with the Plan of Management.

(Reason: To ensure the development operates without adverse impacts)

Leena Sebastian, Senior Planner
MONTEATH & POWYS

STEPHEN BEATTIE
MANAGER, DEVELOPMENT SERVICES

NORTH SYDNEY COUNCIL
CONDITIONS OF DEVELOPMENT APPROVAL
246 MILLER STREET, NORTH SYDNEY
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A. Conditions that Identify Approved Plans

Development in Accordance with Plans/Documentation

- A1. The development must be carried out in accordance with the following drawings endorsed with Council's approval stamp and other documentation listed in the tables to this condition, or cited by other conditions, and as amended by other conditions of this consent.

Plans

Plan No.	Issue	Title	Drawn by	Date
GN-01	-	General Notes	Keeyuen	18/06/2024
PL-01	-	Existing Ground Floor Plan	Keeyuen	18/06/2024
PL-02	-	Demolition Ground Floor Plan	Keeyuen	18/06/2024
PL-03	-	Proposed Ground Floor Plan	Keeyuen	18/06/2024
PL-05	-	Ground Floor Ceiling Reflected Plan	Keeyuen	18/06/2024
PL-08	-	Ground Floor Finish Plan	Keeyuen	18/06/2024
PL-09	-	Existing Upper Floor Plan	Keeyuen	18/06/2024
PL-10	-	Demolition Upper Floor Plan	Keeyuen	18/06/2024
PL-11	-	Proposed Upper Floor Plan	Keeyuen	18/06/2024
PL-13	-	Upper Floor Reflected Ceiling Plan	Keeyuen	18/06/2024
PL-16	-	Upper Floor Finish Plan	Keeyuen	18/06/2024
EL-03	-	Existing Shopfront Elevation (signage details)	Keeyuen	18/06/2024

Documents

Title/Rev	Author	Date
Access Capability Assessment / Report	Vallabh Bailey Consulting	7 May 2025
Statement of Heritage Impact/ Version 1	Heritage 21	June 2024
DA Acoustics Report/ Rev 3	Norrebro Design	29 May 2025
Operational Waste Management Plan	-	-
Supplementary Information - Response to RFI -1	MisterDD Pty Ltd/ Urbanimals Pet	-

(Reason: To ensure that the form of the development undertaken is in accordance with the determination of Council, Public Information)

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No Demolition of Extra Fabric

- A2. Alterations to, and demolition of the existing building shall be limited to that documented on the approved plans.

(Reason: To ensure compliance with the approved development)

No structural works permitted

- A3. This consent does not authorise any structural works to the building. All the existing fireplaces and associated chimney architecture are to remain in situ.

If any structural works are required to comply with the Building Code of Australia or to satisfy any conditions of this consent, a separate development application approval or a modification to this consent, as appropriate, must be obtained before such works are carried out.

(Reason: To protect the character and significance of the heritage building on the site and those in its immediate vicinity)

Approved use

- A4. This consent does not permit the use of the premises as a Business premises (dog care business) only. Any dog care area provided within the development shall be associated with the grooming services offered at the premises.

Appropriate information should be displayed within the building to ensure the staff and customers are aware of the restrictions on large dogs, as per the Plan of Management.

(Reason: To ensure the development operates in accordance with the specified use without adverse impacts)

C. *Prior to the Issue of a Construction Certificate (and ongoing, where indicated)***Colours, Finishes and Materials (Heritage Item)**

- C1. A traditional palette of finishes, materials and colour schemes must be selected for the new building works, appropriate to the architectural style of the original building, and submitted to the Principal Certifier for approval prior to the issue of the relevant Construction Certificate.

(Reason: To ensure that exterior colours, finishes and materials are sympathetic to the significance of the heritage item)

Upgrade of Existing Building - Fire Spread and Safe Egress

- C2. Pursuant to section 64 of the Environmental Planning and Assessment Regulation 2021, aspects of the existing building must be brought into conformity with the National Construction Code (NCC).

Work must be carried out as part of the development so as to upgrade the building to bring it into compliance with the following provisions of the NCC:

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- a. The existing space (cupboard) enclosed beneath the non-fire-isolated stairway must be upgraded to comply with C1P2 and D1P4 of the BCA,
- b. The existing steps that are located at a point that is closer to the doorway, then the width of the door leaf must be upgraded to comply with D1P2 of the BCA,
- c. The unobstructed width of the path of travel to an exit must be upgraded to comply with D1P6 of the BCA,
- d. The existing electrical meters or distribution boards must be enclosed and upgraded to comply with D3D8 of the BCA,
- e. The existing swinging door that swings against the direction of egress must be fitted with a hold open device for holding it in the open position to comply with D3D25 of the BCA,
- f. The existing building must be provided with portable fire extinguishers to comply with E1D14 of the BCA,
- g. The existing non-fire-isolated stairway must be provided with emergency lighting to comply with E4D2 and E4D4 of the BCA,
- h. The existing building must be provided with exit signs in accordance with E4D5, NSW E4D6 and E4D8 of the BCA.

Plans and specifications showing the upgrading works which must be carried out under this condition must be submitted to the Principal Certifier for approval prior to the issue of the relevant Construction Certificate.

Note:

- 1) The Certifier issuing the relevant Construction Certificate has no power to remove the requirements to upgrade the existing building as required by this condition.

(Reason: Application of Regulations relating to Fire and Life Safety)

Section 14 – Fire protection and structural capacity

- C3. Prior to a Construction Certificate being issued, building work plans and specifications must be submitted to the Certifying Authority to demonstrate how:
 - a. the fire protection and structural capacity of the building will be appropriate to its new use, and
 - b. the building will comply with the Category 1 fire safety provisions that apply to the new use.

(Reason: Ensure compliance with s 14 of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*)

Certification from Access Consultant

- C4. Prior to a Construction Certificate being issued, a suitably qualified access consultant shall certify that the proposed works meets accessibility requirements (including any wayfinding and signage requirements) in the Building Code of Australia and any other relevant legislation with regard to provision of equity in access for disabled persons.

(Reason: Ensure non-discriminatory access for disabled people)

D. Prior to the Commencement of any Works (and continuing where indicated)**Public Liability Insurance - Works on Public Land**

- D1. Any person or contractor undertaking works on public land must take out Public Risk Insurance with a minimum cover of \$20 million in relation to the occupation of public land and the undertaking of approved works within Council's road reserve or public land, as approved by this consent. The Policy is to note and provide protection/full indemnification for North Sydney Council, as an interested party. A copy of the Policy must be submitted to Council prior to commencement of any works. The Policy must be valid for the entire period that the works are being undertaken.

Note: Applications for hoarding permits, vehicular crossings, etc., will require evidence of insurance upon lodgement of the application.

(Reason: To ensure the community is protected from the cost of any claim for damages arising from works on public land)

E. During Demolition and Building Work**Parking Restrictions**

- E1. Existing public parking provisions in the vicinity of the site must be maintained at all times during works. The placement of any barriers, traffic cones, obstructions, or other device in the road shoulder or kerbside lane is prohibited without the prior written consent of Council. Changes to existing public parking facilities/restrictions must be approved by the North Sydney Local Traffic Committee. The Applicant will be held responsible for any breaches of this condition and will incur any fines associated with enforcement by Council regulatory officers.

(Reason: To ensure that existing kerbside parking provisions are not compromised during works)

Road Reserve Safety

- E2. All public footways and roadways fronting and adjacent to the site must be maintained in a safe condition at all times during the course of the development works, with no obstructions caused to the said footways and roadways. Construction materials and plant must not be stored in the road reserve without approval of Council. A safe pedestrian circulation route and a pavement/route free of trip hazards must be maintained at all times on or adjacent to any public accessways fronting the construction site.

Where public infrastructure is damaged, repair works must be carried out when and as directed by Council officers (at full Applicant cost). Where pedestrian circulation is diverted on to the roadway or verge areas, clear directional signage and protective barricades must be installed in accordance with AS1742-3 (1996) "Traffic Control Devices for Work on Roads." **If pedestrian circulation is not satisfactorily maintained across the site frontage, and action is not taken promptly to rectify the defects, Council may undertake proceedings to stop work.**

(Reason: Public Safety)

Removal of Extra Fabric

- E3. Should any portion of the existing building, trees, or curtilage of the site, which is indicated on the approved plans to be retained, be damaged for whatever reason, all the works in the area of the damaged portion are to cease and written notification of the damage is to be given to Council forthwith. No work is to resume until the written approval of Council to do so is obtained. Failure to comply with the provisions of this condition may result in the Council taking further action including legal proceedings if necessary.

(Reason: To ensure compliance with the terms of this development consent)

Noise and Vibration

- E4. The works must be undertaken in accordance with the "Interim Construction Noise Guideline" published by the NSW Environment Protection Authority, to ensure excessive levels of noise and vibration do not occur so as to minimise adverse effects experienced on any adjoining land.

(Reason: To ensure residential amenity is maintained in the immediate vicinity)

Special Permits

- E5. Unless otherwise specifically approved in writing by Council, all works, processes, storage of materials, loading and unloading associated with the development must occur entirely on the property.

The Applicant, owner or builder may apply for specific permits available from Council's Customer Service Centre for the undermentioned activities on Council's property. In the event that a permit is granted by Council for the carrying out of works, processes, storage of materials, loading and unloading associated with the development on Council's property, the development must be carried out in accordance with the requirements of the permit. A minimum of forty-eight (48) hours' notice is required for any permit:

1) **On-street mobile plant**

For example, cranes, concrete pumps, cherry-pickers, etc., - restrictions apply to the hours of operation, the area of operation, etc. Separate permits are required for each occasion and each piece of equipment. It is the Applicant's, owner's and builder's responsibilities to take whatever steps are necessary to ensure that the use of any equipment does not violate adjoining property owner's rights.

(Reason: Proper management of public land)

2) **Hoardings**

Permits are required to erect Class A and Class B hoardings. If an 'A' Class hoarding is to alienate a section of Council's property, that section will require a permit for the occupation of Council's property.

(Reason: Proper management of public land)

3) **Storage of building materials and building waste containers (skips) on Council's property**

Permits to utilise Council property for the storage of building materials and building waste containers (skips) are required for each location. Failure to obtain the relevant permits will result in the building materials or building waste containers (skips) being impounded by Council with no additional notice being given. Storage of building materials and waste containers on open space reserves and parks is prohibited.

(Reason: Proper management of public land)

4) **Kerbside restrictions, construction zones**

Attention is drawn to the existing kerbside restrictions adjacent to the development. Should alteration of existing kerbside restrictions be required, or the provision of a construction zone, the appropriate application must be made, and the fee paid to Council. Alternatives to such restrictions may require referral to Council's Traffic Committee and may take considerable time to be resolved. An earlier application is suggested to avoid delays in construction programs.

(Reason: Proper management of public land)

Construction Hours (Commercial Centre and Mixed-use Zones)

- E6. Construction activities and works approved under this consent must be restricted to within the hours stipulated in the following table:

Standard Construction Hours (Commercial Centre and Mixed-use Zones)	
Day	Hours
Monday - Friday	7.00am - 7.00pm
Saturday	8.00am - 1.00pm
Sunday Public holiday	No work permitted

Construction activities for development approved under this consent must be carried out in accordance with the standard construction hours above, the EPA Noise Policy for Industry 2017 and any Construction Noise Management Plan required under this consent.

In the event of breach to the approved hours of construction, Council take may take enforcement action under Part 9 of the Environmental Planning and Assessment Act 1979 and in accordance with Council's adopted Compliance and Enforcement Policy.

(Reason: To ensure that works do not interfere with reasonable amenity expectations of residents and the community)

Out-of-hours' Work Permits

- E7. Where it is necessary for works to occur outside those hours allowed by these conditions, an application may be made to Council's Customer Services Centre for a permit to carry out works outside of the approved hours. If a permit is issued, the works approved must be carried out in accordance with any requirements specified in the permit. Permits will only be approved if **public safety is not at risk**. Applications which seek a variation to construction hours solely to benefit the Applicant will require the lodgement and favourable determination of a modification application pursuant to the provisions of section 4.55 of the *Environmental Planning and Assessment Act 1979*.

Note:

- 1) Failure to obtain a permit for work outside of the approved hours will result in on-the-spot fines being issued, or Council pursuing any action required (including legal proceedings) to have the out-of-hours' work cease, without prior warning.
- 2) Applications for out-of-hours' works should be lodged with Council no later than seven (7) calendar days prior to the date of the intended works.
- 3) Examples of activities for which permits may be granted include:
- 4) the erection of awnings,
- 5) footpath, road, and other infrastructure works which cannot be carried out for public convenience reasons within normal hours,
- 6) the erection and removal of hoardings and site cranes, and
- 7) craneage of materials which cannot be done for public convenience reasons within normal working hours.
- 8) Examples of activities for which permits WILL NOT be granted include:
- 9) extended concrete pours
- 10) works which are solely to convenience the Applicant or client, and
- 11) catch up works required to maintain or catch up with a construction schedule.
- 12) Further information on permits can be obtained from the Council website at www.northsydney.nsw.gov.au.

(Reason: To ensure that works do not interfere with reasonable amenity expectations of residents and the community)

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Site Amenities and Facilities

- E8. Where work involved in the erection and/or demolition of a building is being carried out, amenities which satisfy applicable occupational health and safety and construction safety regulations, including any SafeWork NSW requirements, must be provided and maintained at all times. The type of workplace determines the type of amenities required.

Further information and details can be obtained from the Internet at www.workcover.nsw.gov.au

(Reason: To ensure the health and safety of the community and workers on the site)

Health and Safety

- E9. All work undertaken must satisfy applicable occupational health and safety and construction safety regulations, including any SafeWork NSW requirements to prepare a health and safety plan. Site fencing must be installed sufficient to exclude the public from the site. Safety signs must be erected that warn the public to keep out of the site and provide a contact telephone number for enquiries.

Further information and details regarding occupational health and safety requirements for construction sites can be obtained from the internet at www.safework.nsw.gov.au.

(Reason: To ensure the health and safety of the community and workers on the site)

Community Information

- E10. Reasonable measures must be undertaken at all times to keep nearby residents informed about the proposed work, such as by way of signs, leaflets, public meetings and telephone contact numbers, to ensure that adjoining residents are aware of the likely duration of the construction works on the site.

(Reason: To ensure that residents are kept informed of activities that may affect their amenity)

Prohibition on Use of Pavements

- E11. Building materials must not be placed on Council's footpaths, roadways, parks or grass verges, (unless a permit is obtained from Council beforehand). A suitable sign to this effect must be erected adjacent to the street alignment.

(Reason: To ensure public safety and amenity on public land)

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Plant and Equipment Kept Within Site

- E12. All plant and equipment used in the undertaking of the development/works, including concrete pumps, wagons, lifts, mobile cranes, hoardings etc., must be situated within the boundaries of the site (unless a permit is obtained from Council beforehand) and so placed that all concrete slurry, water, debris and the like must be discharged onto the building site, and is to be contained within the site boundaries.

Details of Council requirements for permits on public land for standing plant, hoardings, storage of materials and construction zones and the like are available on Council's website at www.northsydney.nsw.gov.au.

(Reason: To ensure public safety and amenity on public land)

Waste Disposal (Construction work)

- E13. All records demonstrating the lawful disposal of waste must be retained and kept readily accessible for inspection by regulatory authorities such as North Sydney Council and the Environment Protection Authority.

(Reason: To ensure the lawful disposal of construction and demolition waste)

Asbestos Removal

- E14. All demolition works involving the removal and disposal of asbestos must only be undertaken by contractors who hold a current SafeWork NSW Asbestos or "Demolition Licence," and a current SafeWork NSW "Class 2 (Restricted) Asbestos Licence" (or equivalent). Removal must be carried out in accordance with National Occupational Health and Safety Commission requirements.

(Reason: To ensure works are carried out in accordance with relevant SafeWork NSW requirements)

Service Adjustments

- E15. The adjustment or inclusion of any new utility service or facilities must be carried out by an appropriately qualified contractor in accordance with the requirements of the relevant utility authority.

These works shall be at no cost to Council. It is the Applicant's responsibility to contact the relevant utility authorities to ascertain the impacts of the proposal upon utility services prior to the commencement of any work, including demolition (including water, phone, gas and the like).

Council accepts no responsibility for any impact on, or influence upon, utility services provided by another authority.

(Reason: To ensure the service requirements are met)

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F. Prescribed Conditions imposed under EP&A Act and Regulations and other relevant Legislation

National Construction Code

- F1. All building work must be carried out in accordance with the provisions of the National Construction Code.

(Reason: Prescribed - Statutory)

Home Building Act

- F2. 1) Building work that involves residential building work (within the meaning and exemptions provided in *the Home Building Act 1989*) for which *the Home Building Act 1989* requires there to be a contract of insurance under Part 6 of that Act must not be carried out unless the Principal Certifier for the development to which the work relates, has given North Sydney Council written notice of the contract of insurance being issued, and of the following:
- a) in the case of work for which a principal contractor is required to be appointed:
 - i) the name and licence number of the principal contractor, and
 - ii) the name of the insurer by which the work is insured under Part 6 of that Act, or
 - b) in the case of work to be done by an owner-builder:
 - i) the name of the owner-builder, and
 - ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
- 2) If arrangements for doing residential building work are changed while the work is in progress such that the information submitted to Council in accordance with this condition is out of date, work must cease, and no further work may be carried out unless the Principal Certifier for the development to which the work relates (not being the Council), has given the Council written notice of the updated information.

Note: A certificate purporting to be issued by an approved insurer under Part 6 of *the Home Building Act 1989* that states that a person is the holder of an insurance policy issued for the purposes of that Part is, for the purposes of this condition, sufficient evidence that the person has complied with the requirements of that Part.

(Reason: Prescribed - Statutory)

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Appointment of a Principal Certifier

- F3. Building or excavation works in accordance with the development consent must not be commenced until the Applicant has appointed a Principal Certifier for the building work in accordance with the provisions of *the Environmental Planning and Assessment Act 1979* and its Regulation.

(Reason: Statutory, to ensure appropriate safeguarding measures are in place prior to the commencement of any building or excavation works)

Construction Certificate

- F4. Building or excavation works in accordance with the development consent must not be commenced until the Construction Certificate for the relevant part of the work has been issued.

Note: For clarity, this condition does not apply to demolition of whole buildings and works. A Construction Certificate is not required for these works. Demolition is controlled by AS 2601-2001 - Demolition of Structures. This Australian Standard requires safeguards to be in place before demolition commences, including traffic control and management, which may form part of the Construction Traffic Management Plan. Vegetation may also be removed or cleared unless the development consent requires that specified vegetation must not be removed.

(Reason: Statutory, to ensure appropriate safeguards are in place prior to the commencement of any works)

Occupation Certificates

- F5. A person must not commence occupation or use of the whole or any part of a new building (new building includes an altered portion of, or an extension to, an existing building) unless the relevant Occupation Certificate has been issued in relation to the building or part. Only the Principal Certifier appointed for the building work can issue an Occupation Certificate.

(Reason: Statutory compliance)

Critical Stage Inspections

- F6. Building work must be inspected by the Principal Certifier at the critical stages prescribed by *the Environmental Planning and Assessment Act 1979* and *the Environmental Planning and Assessment Regulation 2021*, and as directed by the appointed Principal Certifier.

(Reason: Statutory)

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Commencement of Works

- F7. Works in accordance with this development consent must not be commenced until the Applicant has given at least two days' notice to North Sydney Council of the intention to commence those works.

(Reason: Statutory, to ensure appropriate safeguarding measures are in place prior to the commencement of any building work, demolition or excavation)

Excavation/Demolition

- F8. Excavation and demolition shall be carried out as follows:

- a) All excavation and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
- b) All excavation associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
- c) Demolition work must be undertaken in accordance with the provisions of AS2601 - Demolition of Structures.

(Reason: To ensure that work is undertaken in a professional and responsible manner and protect adjoining property and persons from potential damage)

Protection of Public Places

- F9.
 - 1) A hoarding and site fencing must be erected between the work site and adjoining public place.
 - 2) If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.
 - 3) The work site must be kept lit between sunset and sunrise, if it is likely to be hazardous to persons in the public place.
 - 4) Any such hoarding, fence or awning, is to be removed when the work has been completed.
 - 5) No access across public reserves or parks is permitted.

Note: Prior to the erection of any temporary fence or hoarding over property, owned or managed by Council, written approval must be obtained. Any application needs to be accompanied by plans indicating the type of hoarding and its layout. Fees are assessed and will form part of any approval given. These fees must be paid prior to the approval being given. Approval for hoardings will generally only be given in association with approved building works, maintenance, or to ensure protection of the public. An application form for a Hoarding Permit can be downloaded from Council's website.

(Reason: To ensure public safety and the proper management of public land)

Site Sign

- F10. 1) A sign must be erected in a prominent position on the site:
- a) stating that unauthorised entry to the work site is prohibited;
 - b) showing the name of the principal contractor (or person in charge of the work site), and a telephone number at which that person may be contacted at any time for business purposes and outside working hours; and
 - c) showing the name, address and telephone number of the Principal Certifier for the work.
- 2) Any such sign must be maintained while to building work or demolition work is being carried out but must be removed when the work has been completed.

(Reason: Prescribed - Statutory)

Maximum Capacity Site Sign

- F11. A sign must be displayed in a prominent position in the building stating the maximum number of persons, as specified in this development consent, that are permitted in the building.

(Reason: Prescribed - Statutory)

G. Prior to the Issue of an Occupation Certificate

Section 64 – Upgrade of building – complete upgrades

- G1. Prior to an Occupation Certificate being issued, all upgrades and works required to be undertaken pursuant to s 64 of the Environmental Planning and Assessment Regulation 2021 must be completed.

(Reason: Ensure the upgrades required under s 64 of the Environmental Planning and Assessment Regulation 2021 are completed prior to use)

Section 14 – Fire protection and structural capacity – complete upgrades

- G2. Prior to an Occupation Certificate being issued, all upgrades and works required to be undertaken pursuant to s 14 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021 must be completed.

(Reason: Ensure the upgrades and works required under s 14 of the Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021 are completed prior to use)

**246 MILLER STREET, NORTH SYDNEY
DEVELOPMENT APPLICATION NO. 142/24**

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Plan of Management

- G3. A Plan of Management including, but not limited to, the recommendations in the approved acoustic report, the operational waste management plan, and the document titled "Supplementary Information – Response to RFI" shall be submitted to the certifier prior to the issue of an Occupation Certificate.

(Reason: To ensure the operations are managed appropriately to minimise impacts)

I. Ongoing/Operational Conditions**Hours of Operation**

- I1. The hours of operation are restricted to:

8:00am and 6:00pm Monday to Saturday

Upon expiry of the permitted hours:

- a) all service (and entertainment) must immediately cease;
- b) no person shall be permitted entry; and

all customers on the premises must be required to leave within the following half hour.

(Reason: To ensure that amenity of the surrounding locality is maintained, and hours of operation are consistent with those in surrounding locality)

Trade Waste

- I2. Trade wastewater must be disposed of in accordance with the permit requirements of Sydney Water Corporation Ltd, Wastewater Source Control Branch.

(Reason: To ensure compliance with Sydney Water's requirements and protect the environment)

Noise from plant and equipment

- I3. The use of plant and equipment installed on the premises must not:

- (a) Contribute an LAeq(15min) which will cause the total LAeq(15min) from all plant and equipment operating contemporaneously on the site or in the strata scheme or in the mixed strata schemes to exceed the RBL by more than 5dB when measured at the boundary of any affected receiver. The modifying factor adjustments in **Fact Sheet C** of the NSW Environment Protection Authority Noise Policy for Industry 2017 shall be applied.
- (b) Cause "offensive noise" as defined in the Protection of the Environment Operations Act 1997.

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“affected receiver” includes residential premises (including any lot in the strata scheme or another strata scheme), premises for short-term accommodation, schools, hospitals, places of worship and parks and such other affected receiver as may be notified by the Council in writing.

“boundary” includes any window or elevated window of an affected receiver.

Terms in this condition have the same meaning as in the Noise Guide for Local Government and the Noise Policy for Industry published by the NSW Environment Protection Authority.

(Reason: To maintain an appropriate level of amenity for adjoining land uses)

Noise and Vibration Impact (Compliance)

14. The ongoing use of the premises approved under this consent must comply with all conditions pertaining to noise and vibration specified in this consent, and the recommendations in the approved acoustic report.

(Reason: To ensure compliance with specified levels of noise and vibration and to maintain the amenity of surrounding land uses)

Waste Collection

15. Waste and recyclable material, generated by this premises, must not be collected between the hours of 10.00pm and 6.00am on any day.

(Reason: To ensure the amenity of surrounding properties)

Delivery Hours

16. No deliveries, loading or unloading associated with the premises are to take place between the hours of 10.00pm and 6.00am on any day.

(Reason: To ensure the acoustic amenity of surrounding properties)

Signage

17. The illuminated signs shall operate in accordance with Australian Standard *AS 4282:2019 Control of the Obtrusive Effects of Outdoor Lighting*.

The signs shall not be illuminated between 1.00am and 7.00am.

(Reason: To minimise impacts on the amenity of the area)

Operation of the premises

18. The development shall operate in accordance with the Plan of Management.

(Reason: To ensure the development operates without adverse impacts)



North Sydney Council

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Further details can be obtained by calling (02) 9936 8100 or e-mail mapping@northsydney.nsw.gov.au.

Scale: 1:1200 approx.



KEEYUEN DESIGN PTY LTD

Suite 1302/87-89 Liverpool Street,
Sydney, NSW, 2000
ABN: 24 615 308 284

M: 0423 506 196
E: gretta@keeyuen.com.au
www.keeyuen.com.au



KEEYUEN
DESIGN & RENOVATION

PROJECT NAME
PET STORE

PROJECT ADDRESS
246 MILLER STREET,
North Sydney, NSW 2060

DESIGNER
GRETТА.L

ISSUE DATE
18/06/2024

GENERAL NOTES

CODES & AUTHORITIES
MATERIALS AND FORMS OF CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF ALL RELEVANT CODES AND AUTHORITIES HAVING JURISDICTION AND SPECIFICALLY WITH THE FOLLOWING:
Ø BUILDING CODE OF AUSTRALIA (BCA)
Ø AS 1661 PART I (FIRE AND SMOKE CONTROL) AND PART II (VENTILATION)
Ø AS 2107 (ACOUSTICS)
Ø AS 3000 (SAA WIRING RULES)
Ø SYDNEY WATER
Ø NSW HEALTH ACT
Ø HB40 -1992 CODE OF GOOD PRACTICE
Ø CFC'S/ NSW OZONE ACT AND LEGISLATION
Ø COUNCIL AND PRIVATE CERTIFIER CONDITIONS OF DEVELOPMENT AND CONSTRUCTION CERTIFICATE APPROVAL
Ø FIRE BRIGADE, BOARD OF FIRE COMMISSIONERS

ALL FLOOR PENETRATIONS TO BE EXECUTED IN ACCORDANCE WITH CLAUSE C3.15. FLOOR OPENINGS, SHAFTS, SERVICE INSTALLATIONS OF ANY OPENINGS AND CONSTRUCTION JOINTS TO BE PROTECTED AND EXECUTED IN ACCORDANCE WITH CLAUSE C3 OF THE BCA.
EGRESS PROVISIONS TO COMPLY WITH PART D1 OF THE BCA, SUBJECT TO APPROVAL OF THE AUTHORITY.
ALL EXIT DOORS TO BE IN ACCORDANCE WITH CLAUSE D1.6 OF THE BCA.
ALL AUTOMATIC DOORS (POWER OPERATED) WILL COMPLY WITH CLAUSE D2.19 OF THE BCA.
DOORS TO HAVE AT LEAST 850mm OF CLEARANCE.
BY A SINGLE HANDED DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1.2M ABOVE THE FLOOR, IN ACCORDANCE WITH CLAUSE D2.21 OF THE BCA.
DISABLED ACCESS, FACILITIES AND CIRCULATION SPACE WILL COMPLY WITH PART D3 OF THE BCA, AS 1428.1 AND AS 1428.4
ALL ELECTRICAL DISTRIBUTION BOARDS, OR TELECOMMUNICATION DISTRIBUTION BOARDS LOCATED WITHIN THE PATHS OF TRAVEL, TO BE ENCLOSED IN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING, WITH DOORS PROVIDED WITH SMOKE SEALS IN ACCORDANCE WITH CLAUSE D2.7 OF THE BCA.
ALL GLAZING REQUIREMENTS TO COMPLY WITH AS 1288 - 1994, AS 1288.1-2006, AS 2047 AND AS 1170.1.
MATERIALS, LININGS AND FINISHES OF ANY SURFACES USED IN THE BUILDING TO COMPLY WITH THE FIRE HAZARD PROPERTIES IN ACCORDANCE WITH SPECIFICATION C1.10 AND C1.10A OF THE BCA.
FIRE DETECTION AND ALARM SYSTEM TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH SPECIFICATION E2.2A OF THE BCA AND AS 1670.
EMERGENCY LIGHTING AND EXIT SIGNS WILL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH CLAUSES E4.2 AND E4.4 OF THE BCA AND AS 2293.1, MAINTAINED IN ACCORDANCE WITH AS 2293.2.
FIRE HOSE REEL (FHR) ENCLOSURE WILL COMPLY WITH BCA E1.4 AND AS 2441.2005.
FIRE HYDRANT (FH) ENCLOSURE WILL COMPLY WITH BCA E1.3 AND AS 2419.1-2005.
ALL BALUSTRADES AND HANDRAILS WILL COMPLY WITH CLAUSE D2.16- D2.18 OF THE BCA AND AS 1170.
LIGHT AND VENTILATION WILL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH PART F4 OF THE BCA.
EXIT SIGNS AND EMERGENCY LIGHTING TO COMPLY WITH THE BCA.
ALL ARTIFICIAL LIGHTING ILLUMINATION POWER DENSITY TO COMPLY WITH CLAUSE J6.2B AND TABLE J6.2A OF THE BCA; SWITCH AND CONTROL DEVICE TO BE OPERATED IN ACCORDANCE WITH J6.3E OF THE BCA.

SPECIFICATIONS, MATERIALS AND WORKMANSHIP
WHERE REFERENCE IS MADE TO STANDARDS ASSOCIATION OF AUSTRALIA (SAA) AND STANDARD SPECIFICATIONS (AS), SHALL APPLY TO THE RELEVANT MATERIALS OR OPERATIONS AND BE DEEMED TO BE INCORPORATED IN THIS SPECIFICATION.
NO SUBSTITUTION OF SPECIFIED MATERIALS IS TO BE MADE WITHOUT THE APPROVAL OF KEEYUEN.

DIMENSIONS
ANY DISCREPANCIES BETWEEN SETS OF DRAWINGS SHOULD NOTIFY, AND BROUGHT TO THE ATTENTION OF KEEYUEN DESIGN.
CONTRACTOR TO CONFIRM HEIGHT OF CEILING TO PREMISES PRIOR TO CONSTRUCTION OF WORKS AND ADVISE KEEYUEN OF ANY DISCREPANCIES PRIOR TO START.

COMPLETION
PRIOR TO COMPLETION OF FITOUT, BUILDER TO OBTAIN ALL REQUIRED CERTIFICATES OF COMPLIANCE FROM SUITABLE QUALIFIED PERSONS, INCLUDING BUT NOT LIMITED TO STRUCTURAL, GLAZING, MECHANICAL, FIRE SAFETY MEASURES, ETC FOR ISSUE AND ACKNOWLEDGEMENT OF CLIENT AND LANDLORD AT HANDOVER OF THE PREMISES.
BEFORE THE ISSUE OF THE CERTIFICATE OF PRACTICAL COMPLETION, THE CONTRACTOR SHALL ARRANGE TO:
Ø CLEAN ALL FLOORS AND WINDOWS
Ø EASE AND OIL LOCKS AS SIMILAR WORKING PARTS
Ø REMOVE ALL STAINS AND DROPPINGS OF PAINT AND MORTAR
Ø LABEL AND HAND OVERALL KEYS NUMBERED AND TAGGED
Ø TEST ALL SERVICES, FIXTURES AND EQUIPMENT
Ø LEAVE THE PROJECT CLEAN, TIDY AND FIT FOR USE OR OCCUPANCY BY THE CLIENT
Ø PROVIDE INFORMATION FOR WARRANTIES AND GUARANTEES OF SERVICES AND FITTINGS
Ø OBTAIN AND ISSUE ALL SERVICES MAINTENANCE MANUALS, CERTIFICATES OF COMPLIANCE

REFLECTED CEILING PLAN NOTES
LIGHTING LAYOUT TO TAKE REFERENCE OVER LOCATION OF OTHER SERVICES. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF KEEYUEN DESIGN BEFORE SERVICES INSTALLATION.
SECURITY MONITOR EQUIPMENT AND DEVICES TO BE DETERMINED BY CLIENT ON SITE.
SYSTEM TO BE APPROVED BY CLIENT AND TO BE INSTALLED BY NOMINATED CONTRACTOR.
ALL ACCESS PANELS TO BE FRAMELESS AND SET FLUSH WITH CEILING, AS REQUIRED.
LOCATION AND DETAIL TO BE APPROVED BY CLIENT AND/OR KEEYUEN DESIGN.
ALL LIGHT FITTINGS TO ANGLE TOWARD WALL FIXTURES BY CONTRACTOR AS INDICATED ON LIGHTING PLAN PRIOR TO STORE OPENING.
SMOKE DETECTORS TO BE INSTALLED TO SUIT LIGHTING LAYOUT AND/OR THE REQUIRE LOCATION.
AIR CONDITIONING UNIT TO HAVE SEPARATE CONTROL FOR FITTING ROOM AREAS.
REFER TO LANDLORDS ENGINEERS DRAWINGS FOR MECHANICAL REQUIREMENT AND/OR APPROVAL FROM LANDLORD.
REFER TO LANDLORDS FIRE SERVICES ENGINEER FOR SPRINKLER LAYOUT AND OR/APPROVAL FROM LANDLORD.
FIRE PROTECTION SYSTEM TO COMPLY WITH THE BCA.
CONTRACTORS TO INCLUDE ALL MECHANICAL AND FIRE SERVICES WORK IN THE SCOPE OF WORKS.
NEW SPEAKER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH CLIENT'S SPECIFICATION AND/OR LANDLORD REQUIREMENT.

ELECTRICAL NOTES
ALL NECESSARY APPROVALS FOR THE WORKS MUST BE OBTAINED PRIOR TO COMMENCEMENT. LIAISE OF THE CLIENT AND/OR THE MAIN CONTRACTOR TO SETTLE ALL FEES. ALLOW FOR OUT OF NORMAL HOURS WORK COORDINATION AND POWER INTERRUPTIONS.

SCOPE OF WORK
SCOPE OF WORK TO INCLUDE THE SUPPLY, DELIVERY, INSTALLATION, TESTING, COMMISSIONING, WARRANTY AND MAINTENANCE OF THE WORKS AS LISTED IN THE SPECIFICATION AND ALL ASSOCIATED DRAWINGS FOR THE PROJECT, AS WELL AS ANY OTHER ASSOCIATED MINOR INCIDENTAL WORKS.
EXIT AND EMERGENCY LIGHTING
REFER TO ELECTRICAL SUB-CONTRACTORS DRAWINGS.
SWITCHING
THE CONTRACTOR IS REQUIRED TO SUBMIT SCHEMATICS TO KEEYUEN FOR REVIEW AND APPROVAL BASED ON THE FOLLOWING DESIGN PARAMETERS:
SAMPLES
SUBMIT SAMPLES OF ALL LUMINAIRES, SWITCHES, DIMMING PLATES, POWER OUTLETS ETC. FOR APPROVAL BY THE ARCHITECT AND LANDLORD MANAGEMENT PRIOR TO ORDERING AND INSTALLATION.
BUILDING PENETRATIONS
SEAL ALL PENETRATIONS TO COMPLY WITH BCA C3.15 AND AS3000 REQUIREMENTS.
EQUIPMENT
ALL EQUIPMENT SHALL BE NEW, UNLESS SPECIFIED. ALL WORK TIMES AND ACCESS SHALL BE COORDINATED WITH THE MAIN CONTRACTOR AND/OR THE CLIENT.
OUTLETS
ALLOW FOR MOVEMENT OF THE OUTLETS UP TO 2 METRES PRIOR TO INSTALLATION, WITHOUT COST VARIATION.
REDUNDANT LUMINAIRES & EQUIPMENT
SHALL BE RETURNED TO CLIENT UNLESS NOTED OTHERWISE. REMOVE REDUNDANT WIRING CAUSED BY ALTERATIONS TO GENERAL BASE BUILDING AREAS.

FLOOR CHASING, DRILLING AND OTHER WORKS SHALL BE CARRIED OUT IN 'OUT OF NORMAL' HOURS WITH LANDLORDS APPROVAL, UNLESS SPECIFIED.
ALL FITTINGS TO BE SUPPLIED AS SPECIFIED.
SWITCHBOARDS ARE TO BE INSTALLED IN ACCORDANCE WITH BCA-02.7.

PARTITION NOTES
PARTITION PLAN SHALL BE READ IN CONJUNCTION WITH DETAIL DRAWINGS, WHICH INCLUDE ALL JOINERY, ELEVATIONS, SECTIONS, LARGE SCALE PLANS AND DETAILS.
GLAZING SYSTEMS TO HAVE RECESSED NATURAL ANODISED SAPPHIRE ALUMINIUM CHANNELS AND TRIMS, OR OTHERS SUBJECT TO APPROVAL.
PROVIDE INSULATION FOAM AND ACOUSTIC SEALANT TO ALL PARTITION JUNCTION OF THE EXISTING STRUCTURE AND CEILING, WHERE SOUND TRANSMISSION PREVENTION IS REQUIRED.
WHERE POSSIBLE, A SINGLE SHEET GLASS SHOULD BE FITTED INTO PROPRIETARY GLAZING CHANNELS INCLUDING ALL GASKETS TO ACHIEVE MAXIMUM WIDTH OF GLASSED WALL.
IF MORE THAN ONE SHEET OF GLASS IS REQUIRED TO ACHIEVE WALL WIDTH, EQUAL LENGTH GLASS PANELS SHALL BE INSTALLED TO SUIT THE FULL LENGTH OF THE WALL.
OTHERWISE SPECIFIED, ALL GLASS EDGES SHALL BE ARRISED AND POLISHED AND JOINTS ACHIEVED USING CLEAR SILICONE. SILICONE JOINTS SHALL BE AS SLIM AS POSSIBLE AND ENSURE A SMOOTH CONSISTENT FINISH, SET FLUSH WITH GLASS FACE.
INSTALLATION OF ALL STEEL FRAMING MUST BE IN ACCORDANCE WITH RELEVANT CODES AND STANDARDS AND ENSURE EARTHED.
ALLOW FOR FINISHES TO BE APPLIED TO ALL PARTITION WALLS, UNLESS OTHERWISE NOTED OR DETAILED.
PARTITIONS ARE TO BE BRACED TO BASE BUILDING STRUCTURE ABOVE AS NECESSARY, OR AS PER SPECIFICATION BY THE LANDLORD OR QUALIFIED PERSONS.
MAIN CONTRACTOR TO PATCH AND MAKE GOOD TO EXISTING WALL, ENSURE FLUSH FINISH PRIOR TO PAINTING.
INSULATION: DACRON ACOUSTIC INSULATION TO BE PROVIDED TO FULL HEIGHT OF WALLS. ALLOW TO FIT AROUND DUCTWORK AND SERVICES IN CEILING SPACE AND TO PROVIDE TRANSFER DUCTS FOR RETURN AIR AS DIRECTED BY MECHANICAL ENGINEER.
CORNICE TO BE SUPPLIED AND INSTALLED AS PER SPECIFICATION ON DRAWINGS.

ATTACHMENT TO LPP03 - 25/06/2025

JOINERY NOTES
DIMENSIONS
ALL DIMENSIONS TO BE TAKEN FROM FFL (FINISHED FLOOR LEVEL). ALL FIXINGS TO OPEN SHELVES AND CUPBOARDS SHALL BE ALIGNED WITHIN JOINERY AND CONCEALED FROM SIGHT IN FINISHED WORKS. VENEERS & LAMINATE FINISHES TO HAVE APPROPRIATE COMPENSATORY MATERIAL TO OTHER SIDE OF BOARD. SITE SPECIFIC DIMENSIONS TAKE PRECEDENCE OVER DETAIL DRAWINGS.
INTERNAL CARCASE
UNLESS SPECIFIED, OTHERWISE ALL CARCASE INCLUDING ALL INTERNAL SURFACES AND DIVISIONS WITH 16MM WHITE MELAMINE FINISH TO ALL EXPOSED SURFACES & EDGES. UNLESS NOTED, OTHERWISE BACKS SHALL BE PRELAMINATED 6MM PARTICLE BOARD WHERE LOCATED AGAINST A PARTITION; EXPOSED BACKS OF 16MM PRELAMINATED PARTICLE BOARD. DOORS TO CUPBOARD & DRAWER FRONTS SHALL BE CONSTRUCTED OF 16MM THICK BOARD FOR UNDER BENCH AND OVERHEAD CUPBOARDS.
TIMBER
REFER TO FINISHES SCHEDULE FOR TIMBER FINISHING DETAILS.
SHELVES
UNLESS NOTED, OTHERWISE SHALL BE CONSTRUCTED OF 16MM THICK PRELAMINATED PARTICLE BOARD UP TO 800MM WIDE SPAN; AREAS OVER 800MM WIDE SPAN TO HAVE 25MM THICK PRE-LAMINATED PARTICLE BOARD.
BENCHTOPS
UNLESS NOTED, OTHERWISE SHALL BE CONSTRUCTED OF 32MM THICK LAMINATE PARTICLE BOARD (HMR PARTICLE BOARD IN WET AREAS) WITH EDGE AS DETAILED. LAMINATE JOINTS AS PER SPECIFICATION ON DRAWINGS. NO OTHER JOINTS WILL BE ACCEPTED WITHOUT APPROVAL.
DRAWER LOCK
UNLESS NOTED, OTHERWISE HAFELE SYMO 200 LOCKING SYSTEM, SINGLE SIDED CD CENTRAL LOCKING SYSTEM OR EQUIVALENT.
DRAWER RUNNERS
UNLESS NOTED, OTHERWISE CONCEALED, METAL & FULLY EXTENSION TYPE RUNNERS TO SUIT SIZE & WEIGHT OF DRAWERS - 'HAFELE WVA' OR 'HETTICH QUADRO' OR SIMILAR APPROVED.

EXISTING SERVICES
CONTRACTOR TO REFER TO CLIENT REGARDING ANY RE-USE OF EXISTING DEMOLISHED ITEMS PRIOR TO THEIR DEMOLITION OR REMOVAL FROM ORIGINAL POSITION.
THE CONTRACTOR IS RESPONSIBLE FOR THE ACKNOWLEDGEMENT OF ALL EXISTING SERVICES ON THE SITE AND IS TO SATISFY THEMSELVES THAT THEY ALL HAVE BEEN DECOMMISSIONED PRIOR TO COMMENCING ANY WORKS.
CONTRACTOR TO ALLOW TO MAKE GOOD AND RE-PAINT TO ALL CEILING AND WALL SURFACES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
INSPECT AND ENSURE ALL EXISTING WALLS ARE SUITABLE FOR NEW PAINT FINISH- REMOVE ANY TIMBER LINING/ BOARDS AND REPLACE/REPATCH PLASTERBOARD AS NECESSARY TO ENSURE A CLEAN FLUSH FINISH.
POST REMOVAL OF ANY SERVICES, PENETRATIONS ARE TO BE PATCHED AND PREPARED FOR NEW WORKS.
THE CONTRACTOR SHALL EXERCISE THE GREATEST CARE DURING THE PROGRESS OF THE WORK TO AVOID DAMAGE TO ANY UTILITY SERVICES INCLUDING GAS, WATER, SEWER, ELECTRIC POWER, TELEPHONE, ETC, WITHIN THE LIMIT OF THE WORK AND STILL BE HELD RESPONSIBLE FOR ANY SUCH DAMAGE CAUSED BY THE CONTRACTOR OR AGENTS OF THE CONTRACTOR DIRECTLY OR INDIRECTLY.
ADHERE TO ALL AUTHORITIES RECOMMENDATIONS.
REPLACE ANY MARKER TAPES OR PROTECTIVE COVERS DISTURBED DURING THE COURSE OF THE WORKS.

SITE SUPERVISION/ CONSTRUCTION MANAGEMENT
BUILDING CONTRACTOR TO ENSURE APPROPRIATE PROTECTION MEASURES ARE CONSIDERED FOR ALL EXISTING SERVICES DURING DEMOLITION AND/OR BUILDING WORKS.
CONTRACTOR TO ALLOW FOR ANY PROPPING OR TEMPORARY SUPPORTS REQUIRED DURING DEMOLITION OF ANY INTERNAL STRUCTURE.
UNLESS NOTED, OTHERWISE ALL EXISTING LIGHTING SHALL BE REMOVED EXISTING PATCH/REPAIR EXISTING CEILING AS REQUIRED TO SUIT NEW WORKS AS DOCUMENTED.
OTHER RESPONSIBILITIES INCLUDED BUT NOT LIMITED TO:
Ø SITE DELIVERIES ACCEPTANCE AND SUPERVISION
Ø SITE RUBBISH REMOVAL SUPERVISION
Ø SITE SUPERVISION OF ALL OF OUT OF HOURS WORKS INCLUDING BELOW FLOOR TENANCIES AS OUTLINED IN THE CONTRACT SPECIFICATIONS AND DRAWINGS
Ø SITE INDUCTIONS OF ALL TRADES
Ø SITE SUPERVISION OF ALL OCCUPATIONAL HEALTH AND SAFETY PROCEDURES
Ø SITE SUPERVISION OF CONTRACTOR RISK MANAGEMENT FOR ALL TRADES
Ø SITE SUPERVISION OF EMERGENCY PROCEDURES
Ø SITE FIRE WARDEN AND FIRST AID RESPONSIBILITIES AS PER THE NSW OHS AND LANDLORD RULES AND REGULATIONS
Ø HOLD CURRENT ST JOHNS AMBULANCE OR EQUALLY APPROVED SENIOR FIRST AID CERTIFICATE


LEASE PLAN / FITOUT GUIDELINES NOTES
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDLORD/ CENTRE MANAGEMENT LATEST ISSUED LEASE PLANS AND FITOUT GUIDELINES.




SIGNAGE /GRAPHIC NOTES
ALL SIGNAGE FONT, SIZE & CONTENT SHOWN IN THIS TENDER PACKAGE IS INDICATIVE ONLY. FONT TO BE CONFIRMED, REFER TO SEPARATE GRAPHIC DESIGN PACKAGE FOR DETAILS.
SIGNAGE CONSTRUCTOR TO SUBMIT FINAL SETOUT FOR KEEYUEN AND LANDLORD MANAGEMENT'S APPROVAL PRIOR TO PRODUCTION.
SHOPFRONT ILLUMINATED SIGN TO BE CONNECT WITH A TIMER SET TO HOURS AS REQUIREMENT BY LANDLORD/CENTRE MANAGEMENT.
LAMINATED GRAPHIC SHALL HAVE FLAT AND SMOOTH SUBSTRATE AS BACKING BOARD SUCH AS MDF FOR GRAPHIC APPLICATION. CONTRACTOR MUST ALLOW IN QUOTATION. THICKNESS OF ACRYLIC AS REQUIRED, TO ALLOW SUFFICIENT RIGIDITY, (MINIMUM 6MM THK WITH 1.6MM THK ANODISED ALUMINIUM FLAT BAR AT PANEL JOINT UNLESS OTHERWISE NOTED. CONCEAL FIXED PANEL TO WALL WITH CLEAR SILICON AS REQUIRED. CONTRACTOR TO ENSURE NO SILICON OR GLUE MARKS SHALL APPEAR ON GRAPHIC FACE, METHOD AT THEIR OWN DISCRETION.

FOOD TENANCY FITOUT NOTES
CONTRACTOR TO ENSURE ALL INSTALLATION AND CONSTRUCTION OF SHOP TO COMPLY WITH THE LATEST EDITION OF ALL REGULATION AS FOLLOWING:
Ø FOOD ACT 2003
Ø THE FOOD (GENERAL) REGULATION 2015
Ø COUNCIL'S FOOD PREMISES CODE AND REGULATION 2001
Ø AS 4674-2004 - DESIGN&CONSTRUCTION AND FIT-OUT OF FOOD PREMISES
Ø AND/OR ANY OTHER RELEVANT STATUTORY REGULATIONS.
Ø COUNCIL'S CODE FOR WASTE HANDLING IN BUILDINGS
Ø ALL RELEVANT DA CONSENT CONDITIONS

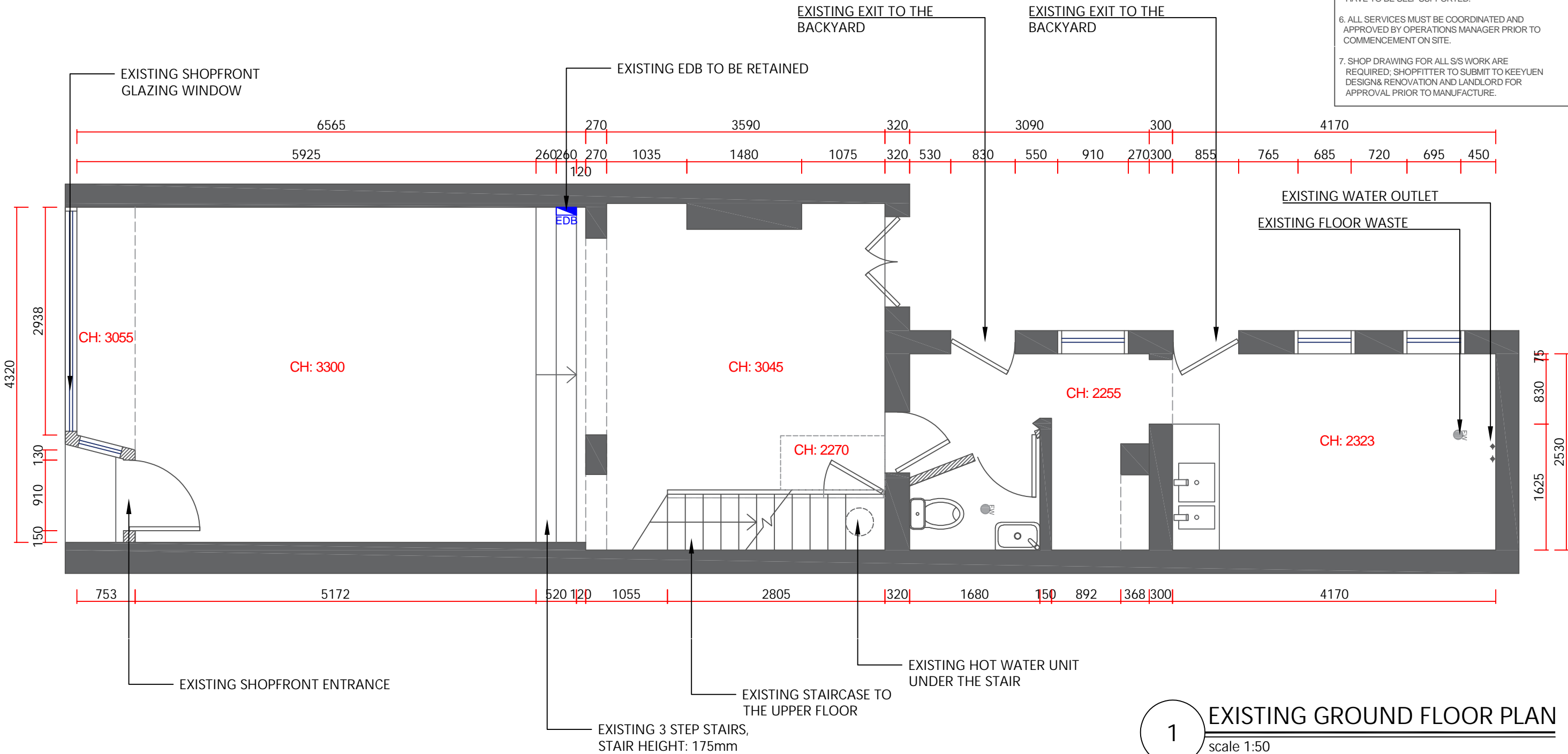
LAMINATE JOINTS AS PER SPECIFICATION ON DRAWINGS. NO OTHER JOINTS WILL BE ACCEPTED WITHOUT APPROVAL.
ALL FINISHES TO BE FREE OF CREVICES, ALL JOINTS TO BE SEALED & VERMIN PROOF TO COMPLY WITH "NATIONAL CODE FOR CONSTRUCTION & FITOUT OF FOOD PREMISES" (=NAT.FOOD CODE). ALL CONTRACTORS TO SUBMIT DETAILED DRAWINGS/SETTING OUT PRIOR CONSTRUCTION.
ENSURE THE PRODUCT EMPLOYED MUST MEETS REGULATORY REQUIREMENTS. PROVIDE COVING SKIRTING AS REQUIRED TO ALL WALL/FLOOR JUNCTION. FILL ALL CAVITIES AS REQUIRED TO COMPLY WITH ALL FOOD CODE OR ACT AS MENTIONED ABOVE.
FOR FOOD BUTCHER OR TENANCY WHICH INVOLVES DEALING OF FRESH MEAT PRODUCT, CONTRACTOR TO ENSURE ALL CONSTRUCTION MUST COMPLY WITH THE "SAFE FOOD PRODUCTION NSW FOR RETAIL MEAT AREA" AND THE "NSW STANDARD FOR CONSTRUCTION & HYGIENE OPERATION FOR RETAIL MEAT PREMISES", AND/OR ANY RELEVANT FOOD CODE AND ACT.
ANY FLOOR AND/OR ROOF SLABS PENETRATIONS MUST BE CONSTRUCTED WITH FIRE PREVENTION AND SHALL BE IN COMPLIANCE WITH RELEVANT CODES.
ALL FLOOR TILES MUST HAVE EPOXY GROUT AND BE LAID IN ACCORDANCE WITH REQUIREMENT OF AS 3958.1
CONTRACTOR TO PROVIDE ALL WATERPROOF MEMBRANE AND SEAL FOR ALL WALLS AND FLOORS, BETWEEN CONCRETE FLOOR SLABS AND NEW FLOOR FINISH AS REQUIRED, TO COMPLY WITH AUSTRALIAN STANDARD AND BCA (PROVIDE MINIMUM WATERPROOF MEMBRANE UPTURN OF 300MM ON TO WALL FROM FLOOR. SEAL AND WATERPROOF ALL PENETRATIONS TO THE FULL EXTENT OF TENANCY AS REQUIRED TO COMPLY WITH AUSTRALIAN STANDARD, BCA AND/OR OTHER REQUIREMENT FROM LANDLORD/CENTRE MANAGEMENT.
PROVIDE WET EDGE TO ALL SINK AREA AS REQUIRED TO COMPLY WITH NATIONAL FOOD CODE.
SUBSTRATE NOTES (FOR FOOD & GENERAL RETAIL TENANCY):
ALL SUBSTRATE SURROUNDING COOKING AREA AS REQUIRED TO WITHSTAND/PREVENT HEAT TRANSFERS FROM ALL OTHER COOKING EQUIPMENT.
ALL STAINLESS STEEL SUBSTRATE MUST HAVE FOLDED EDGE AS ONE PIECE AND ALL JOINTS TO BE SEALED OR WELDED.
ALL LAMINATE/VENEER AS SPECIFIED TO BE SUPPLIED WITH NEW SUBSTRATE TO SUIT THE APPLICATION, UNLESS OTHERWISE NOTED. (NO CHIPBOARD PERMITTED).

OVERSEAS PROJECT NOTES
SPECIFICATIONS HAVE BEEN PREPARED BY KEEYUEN DESIGN GENERICALLY WITHOUT REFERENCE TO THE LOCAL GOVERNMENT LAWS AND REQUIREMENTS. APPROPRIATELY QUALIFIED CONSULTANTS OFFSHORE SHOULD BE ENGAGED TO PERFORM THE NECESSARY WORKS. ALL PERSONS USING THESE DRAWINGS, PLANS & SPECIFICATIONS MUST REVIEW AND CHECK THE DETAILS TO ENSURE THE DETAIL COMPLY WITH ALL LAWS AND REQUIREMENTS OF THE LOCAL GOVERNMENT.
KEEYUEN DESIGN WILL NOT ACCEPT ANY RESPONSIBILITY NOR LIABILITY AS A CONSEQUENCE OF ANYTHING IN THESE DRAWINGS, PLANS & SPECIFICATIONS UNCOMPLIANT WITH THE LAWS AND REQUIREMENTS OF LOCAL GOVERNMENT.

<div><div>T: 02 8957 2015 E: info@keeyuen.com.au A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000</div></div>	<div>IMPORTANT NOTE</div> <div><ul style="list-style-type: none">Do not scale drawings, figured dimensions are to be followed.All works to be in accordance with the building code of Australia and local authority requirements.All dimensions are to be confirmed on site prior to construction. In the event of any discrepancies on these drawings, the contractor to contact the designer prior to manufacture.Measurements for the fabrication of secondary components are to be taken on site to suit.Contractor's responsibility to obtain approvals from authorities including local council and water board prior to construction.Contractor to liaise with third party suppliers to confirm exact requirements. Including electrical data comma. Hydraulics and any other related requirementsContractor to ensure structural integrity and feasibility of all units/components prior to fabrication. All structural components shall be read in accordance to details and specifications prepared by a structural engineer.All architectural documentations are to be read in conjunction with other consultant's drawings/specification and all other related documents.Copyright of these drawings and related documents are reserved by Keeyuen. Any reproduction or distribution of any parts of these drawings and documents are prohibited without permission from Keeyuen.</div>	REV	DATE	NOTES	CLIENT: PET STORE PROJECT ADDRESS: 246 MILLER STREET, North Sydney, NSW 2060	PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L	
						DRAWING TITLE:	GENERAL NOTES			
						DRAWING NUMBER:	GN-01			
							SCALE @ A3:			
							ISSUE DATE:			
							18/06/2024			

STRUCTURE LEGEND	
	EXISTING CONCRETE WALLS & COLUMNS
	EXISTING PARTITION WALLS
	EXISTING WALLS TO BE DEMOLISHED
ALL CEILING HEIGHT NEED TO CHECK ON SITE	

- NOTE:
- LEASE PLAN BY SHOPPING CENTRE SHOULD BE USED IN CONJUNCTION WITH DESIGN DRAWING DOCUMENTATION.
 - ALL DIMENSIONS MUST BE CHECK ON SITE BEFORE ANY FABRICATION.
 - ART WORK GRAPHIC DIMENSION SHOWN ON THE DRAWING ARE ONLY FOR REFERENCE,BUILDER NEED TO CONFIRM ON SITE SIZE PRIOR FINAL PRINTING.
 - ALL EQUIPMENT CABINET AND COUNTER DETAILS NEED TO BE CONFIRMED WITH CLIENT BEFORE FABRICATION.
 - BUILDER SHOULD CHECK THE BUILDING MANAGEMENT'S REQUIREMENTS REGARDING INTER-TENANCY WALL BEFORE INSTALLING SHELVES OR WALL MOUNTED EQUIPMENTS,OTHERWISE SHELVES AND EQUIPMENT HAVE TO BE SELF SUPPORTED.
 - ALL SERVICES MUST BE COORDINATED AND APPROVED BY OPERATIONS MANAGER PRIOR TO COMMENCEMENT ON SITE.
 - SHOP DRAWING FOR ALL S/S WORK ARE REQUIRED; SHOPFITTER TO SUBMIT TO KEEYUEN DESIGN& RENOVATION AND LANDLORD FOR APPROVAL PRIOR TO MANUFACTURE.



1 EXISTING GROUND FLOOR PLAN
scale 1:50



T: 02 8957 2015
E: info@keeyuen.com.au
A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000

IMPORTANT NOTE




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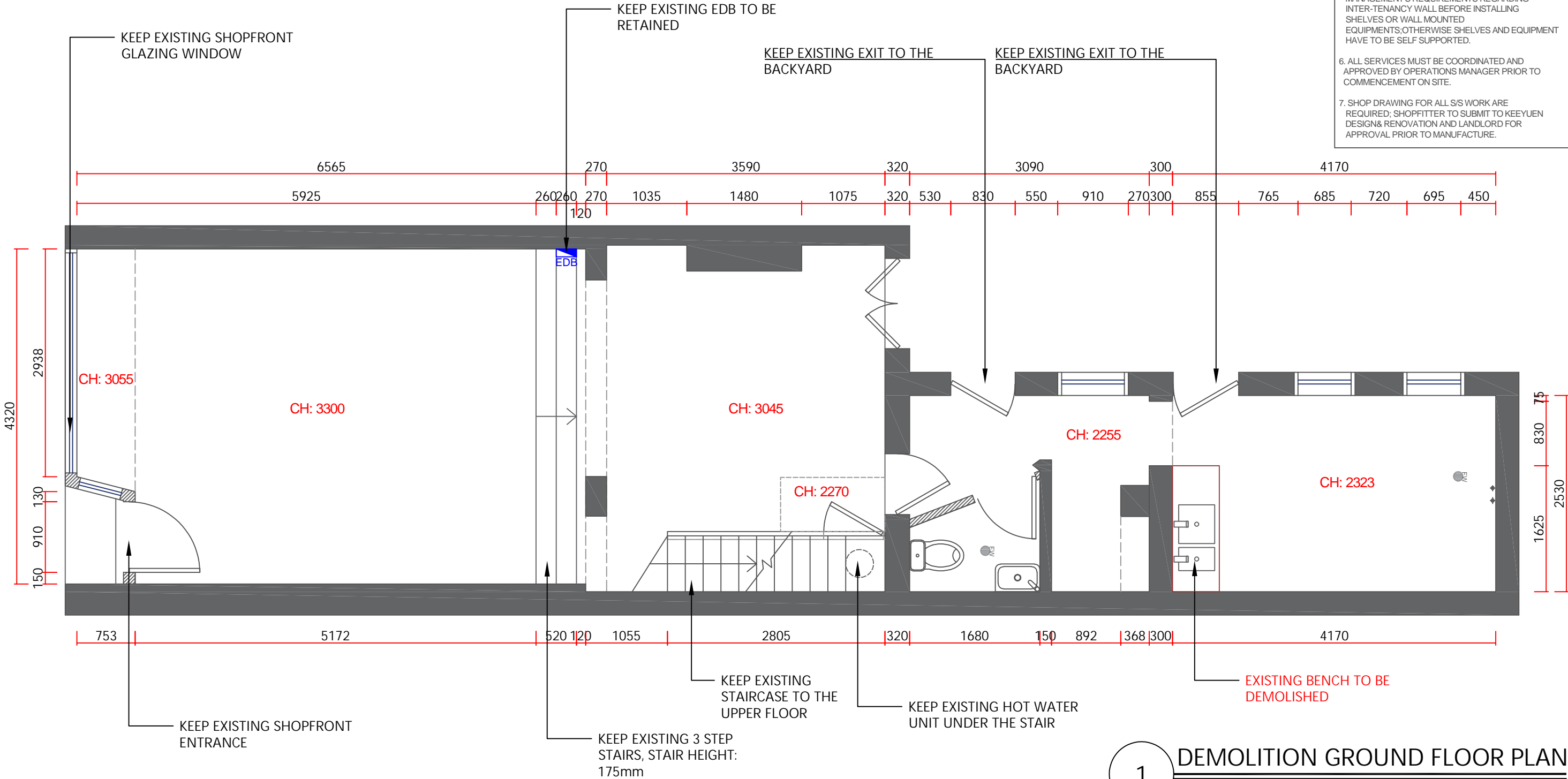
CLIENT:
PET STORE

PROJECT ADDRESS:
246 MILLER STREET,
North Sydney, NSW 2060

PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L
DRAWING TITLE: EXISTING GROUND FLOOR PLAN			SCALE @ A3: 1:50
DRAWING NUMBER: PL-01			ISSUE DATE: 18/06/2024

STRUCTURE LEGEND	
	EXISTING CONCRETE WALLS & COLUMNS
	EXISTING PARTITION WALLS
	EXISTING WALLS TO BE DEMOLISHED
ALL CEILING HEIGHT NEED TO CHECK ON SITE	

- NOTE:
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1 DEMOLITION GROUND FLOOR PLAN
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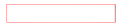
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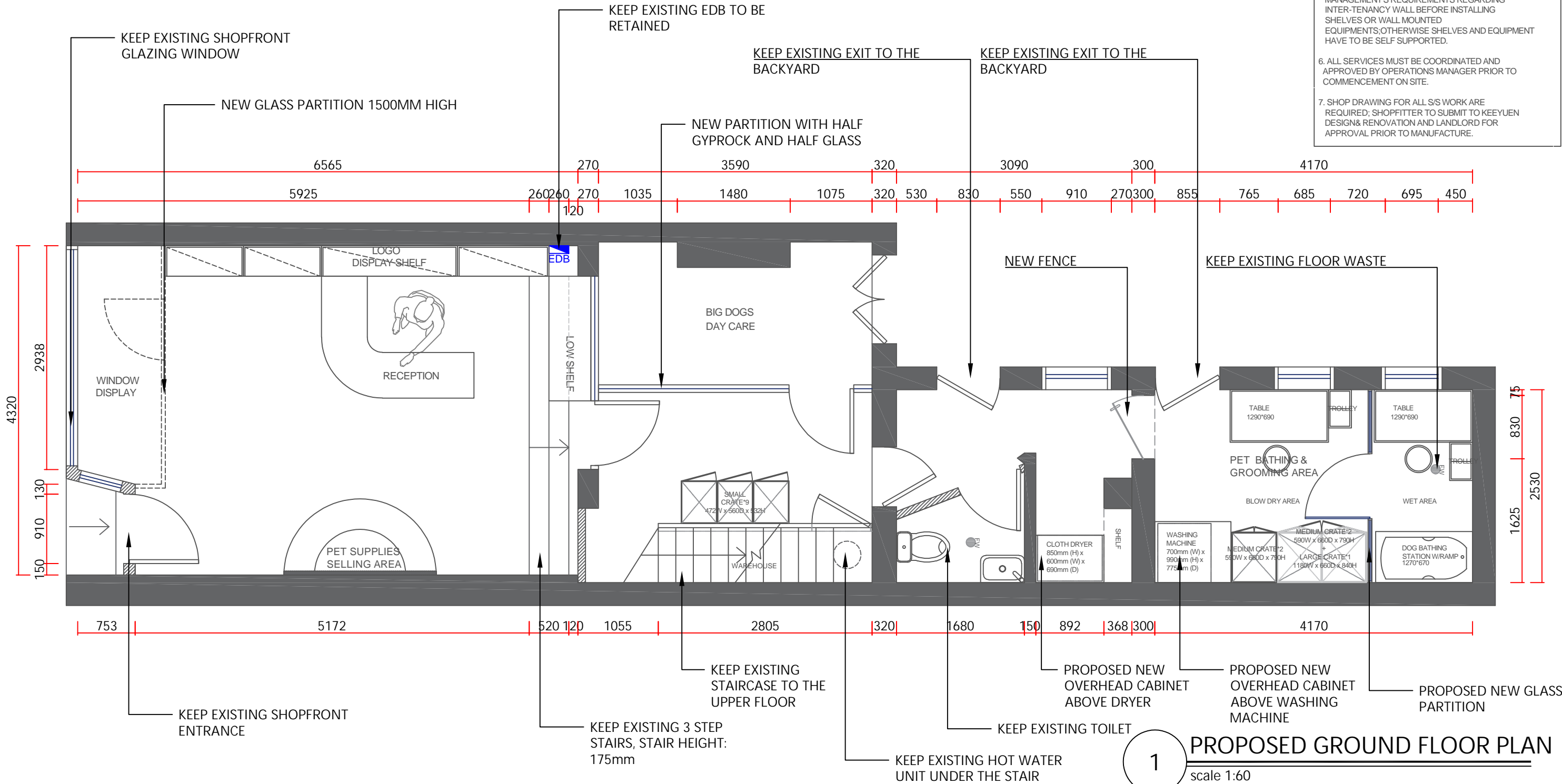
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PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY:	CHECK BY : Gretta.L
DRAWING TITLE: DEMOLITION GROUND FLOOR PLAN			SCALE @ A3: 1:50
DRAWING NUMBER: PL-02			ISSUE DATE: 18/06/2024

STRUCTURE LEGEND	
	EXISTING CONCRETE WALLS & COLUMNS
	EXISTING PARTITION WALLS
	EXISTING WALLS TO BE DEMOLISHED
ALL CEILING HEIGHT NEED TO CHECK ON SITE	

- NOTE:
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DRAWING TITLE: PROPOSED GROUND FLOOR PLAN			SCALE @ A3: 1:50
DRAWING NUMBER: PL-03			ISSUE DATE: 18/06/2024



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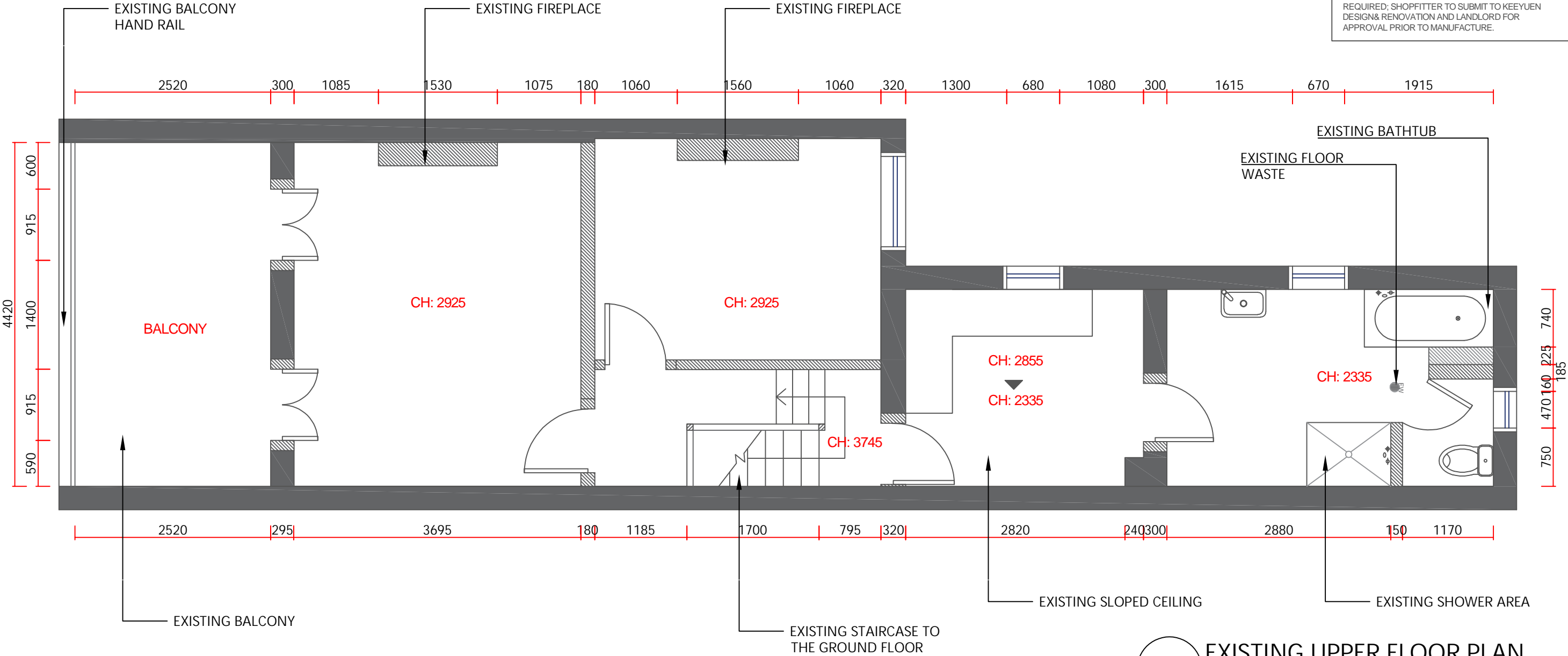
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DRAWING TITLE: FINISH PLAN			SCALE @ A3:
DRAWING NUMBER: PL-08			ISSUE DATE: 18/06/2024

STRUCTURE LEGEND	
<div></div>	EXISTING CONCRETE WALLS & COLUMNS
<div></div>	EXISTING PARTITION WALLS
<div></div>	EXISTING WALLS TO BE DEMOLISHED
ALL CEILING HEIGHT NEED TO CHECK ON SITE	

- NOTE:
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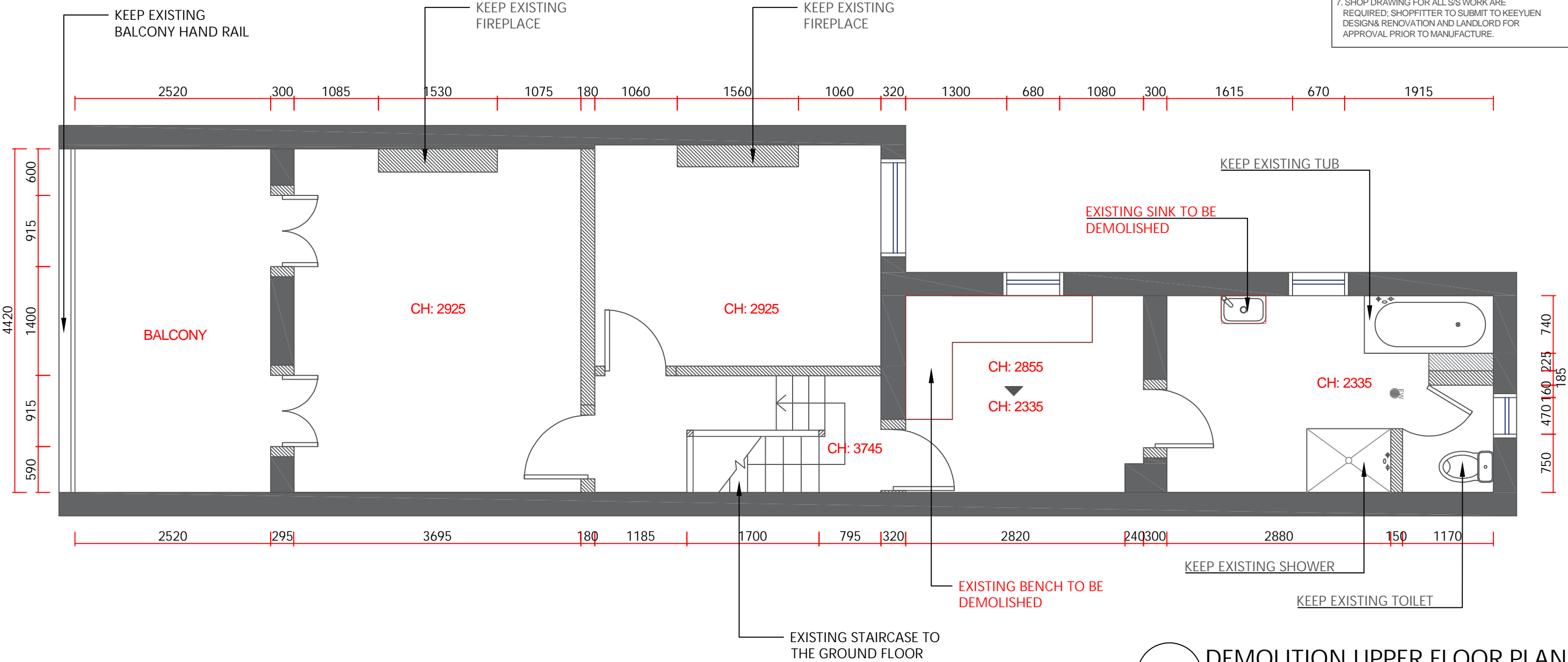
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DRAWING TITLE: EXISTING UPPER FLOOR PLAN			SCALE @ A3: 1:50
DRAWING NUMBER: PL-09			ISSUE DATE: 18/06/2024

STRUCTURE LEGEND	
	EXISTING CONCRETE WALLS & COLUMNS
	EXISTING PARTITION WALLS
	EXISTING WALLS TO BE DEMOLISHED
ALL CEILING HEIGHT NEED TO CHECK ON SITE	

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1 DEMOLITION UPPER FLOOR PLAN
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DRAWING TITLE: DEMOLITION UPPER FLOOR PLAN			SCALE @ A3: 1:50
DRAWING NUMBER: PL-10			ISSUE DATE: 18/06/2024

NOTE:

1. LEASE PLAN BY SHOPPING CENTRE SHOULD BE USED IN CONJUNCTION WITH DESIGN DRAWING DOCUMENTATION.
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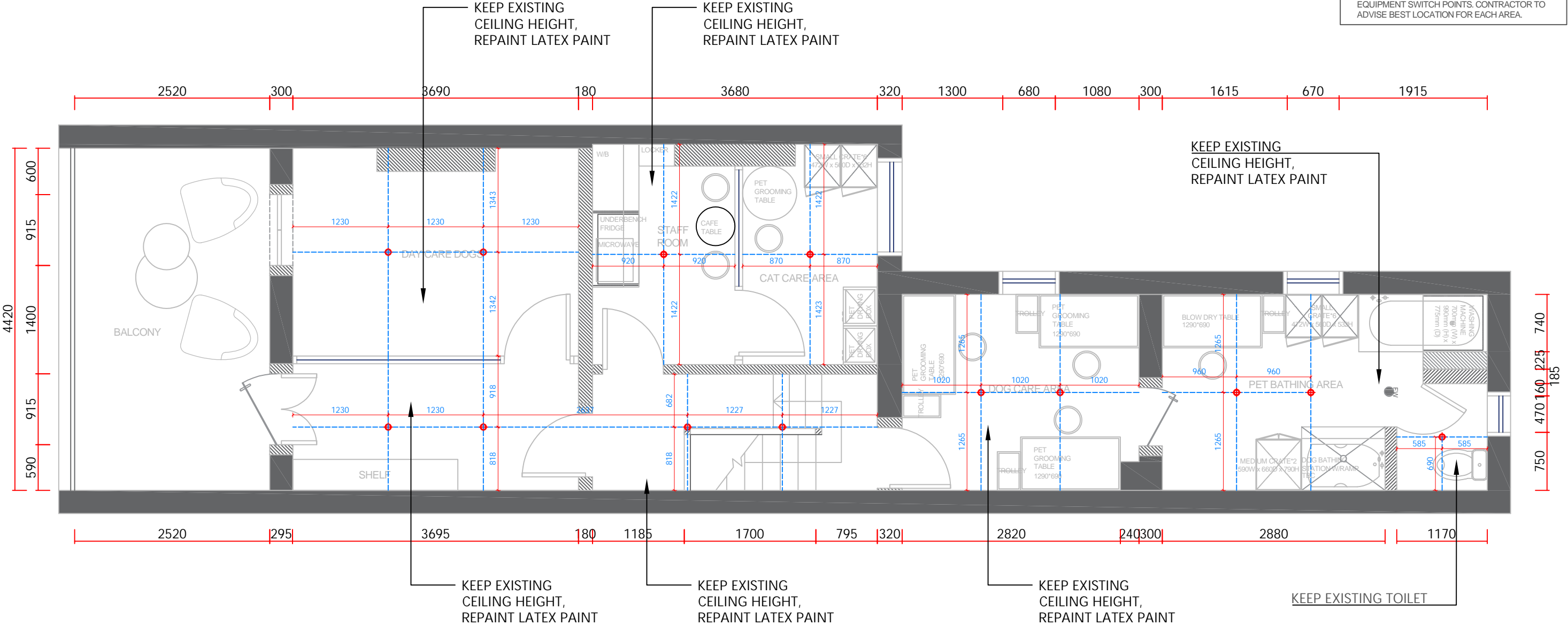
PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L
DRAWING TITLE: PROPOSED UPPER FLOOR PLAN			SCALE @ A3: 1:50
DRAWING NUMBER: PL-11			ISSUE DATE: 18/06/2024

- NOTE:
- ALL DIMENSIONS TO BE CONFIRMED ON SITE.
 - READ IN CONJUNCTION WITH SERVICES DRAWING.
 - CONFIRM WITH CLIENT FOR EQUIPMENT & SPECS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO CONNECT OR RELOCATE THE SERVICES FOLLOW MANUFACTURER'S INSTRUCTIONS TO SUIT NEW DESIGN.
 - ALL NEW WALLS IN DRINK BAR AREA TO BE OF SOLID MASONRY CONSTRUCTION.
 - CONTRACTOR TO ENSURE STRUCTURAL INTEGRITY OF JOINERY.
 - ALL STEEL WELDS TO BE GROUND SMOOTH AND FINISHED. NO SHARP EDGES.
 - NO VISIBLE WIRING AND FIXING.

LEGEND

SYM	CODE	DESCRIPTION	QTY.
⬢	LI	RECESSED DOWNLIGHT	13

- REFLECTED CEILING NOTE:
1. ALL EDGE LIT STYLE EXIT SIGN AND EMERGENCY LIGHT SHOULD BE INSTALL IN ACCORDANCE WITH BCA
 2. BUILDER SHOULD CONTACT THE BUILDINGS'S NOMINATED MECHANICAL ENGINEER OR SERVICE CONSULTANT TO REVIEW ALL THE ALTERATION JOB AND OBTAIN ALL THE RELEVANT CERTIFICATES BEFORE CONSTRUCTION. NEW MECHANICAL WORKS MUST COMPLY WITH SECTION J OF BCA.
 3. ALL LIGHTS SAMPLE MUST BE PROVIDED BY BUILDER FOR APPROVAL BEFORE INSTALLATION
 4. ALL NEW GYPROCK LINED CEILING, ENSURE COMPLIANCE WITH RELEVANT BCA & AUSTRALIAN STANDARD AS PER FIRE ENGINEER'S SPECIFICATIONS
 5. CONTRACTOR TO ENSURE SUFFICIENT LIGHTING WITHIN RETAIL SPACE AND COMPLY WITH ELECTRICAL CONSUMPTION
 6. ALL AREAS TO HAVE INDIVIDUAL LIGHTING/ EQUIPMENT SWITCH POINTS. CONTRACTOR TO ADVISE BEST LOCATION FOR EACH AREA.



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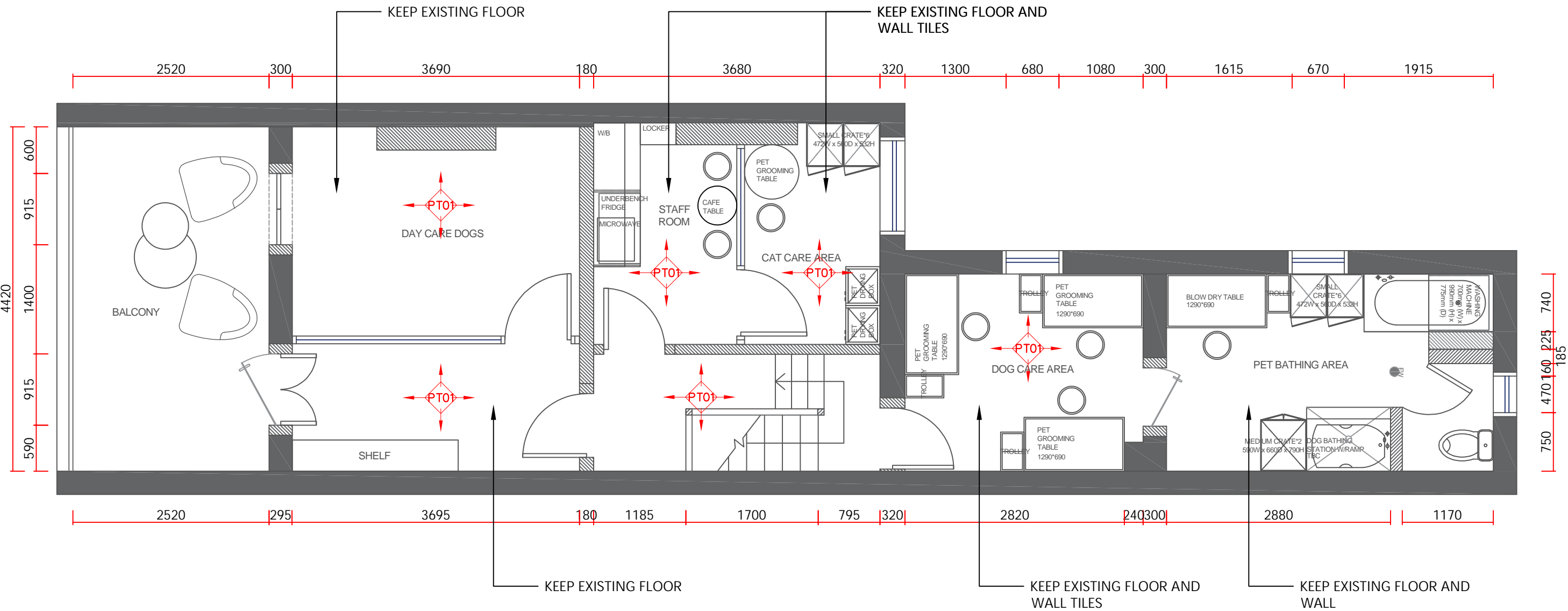
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DRAWING TITLE: UPPER FLOOR REFLECTED CEILING PLAN	SCALE @ A3: 1:50	DRAWING NUMBER: PL-13	ISSUE DATE: 18/06/2024



1 UPPER FLOOR FINISH PLAN
scale 1:50



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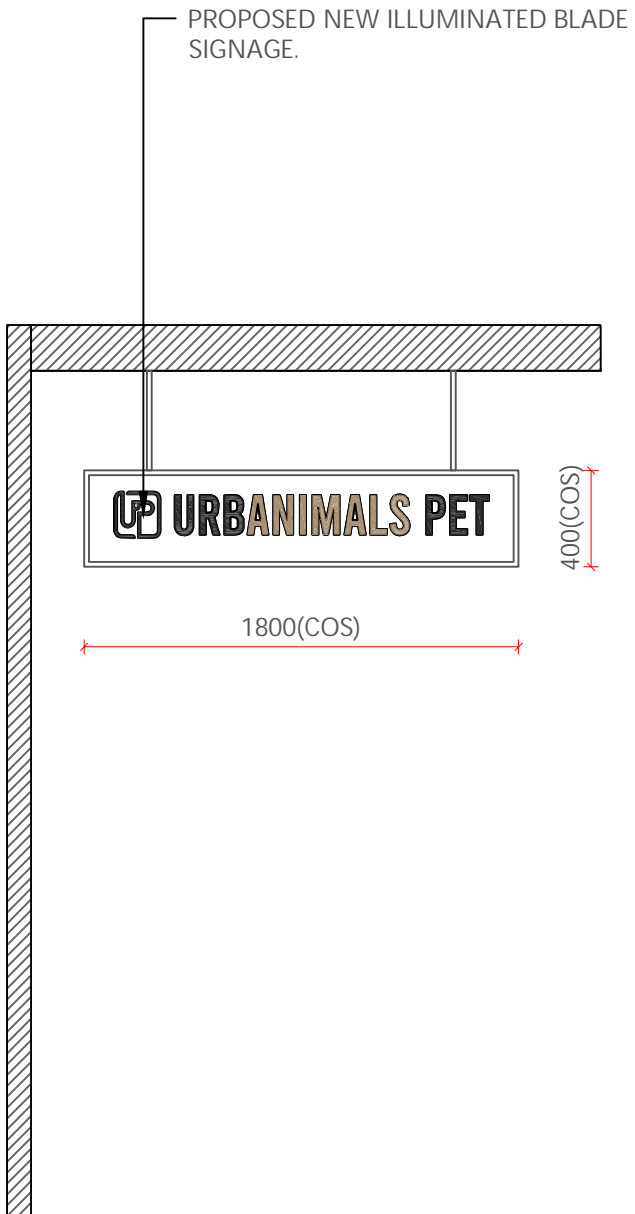
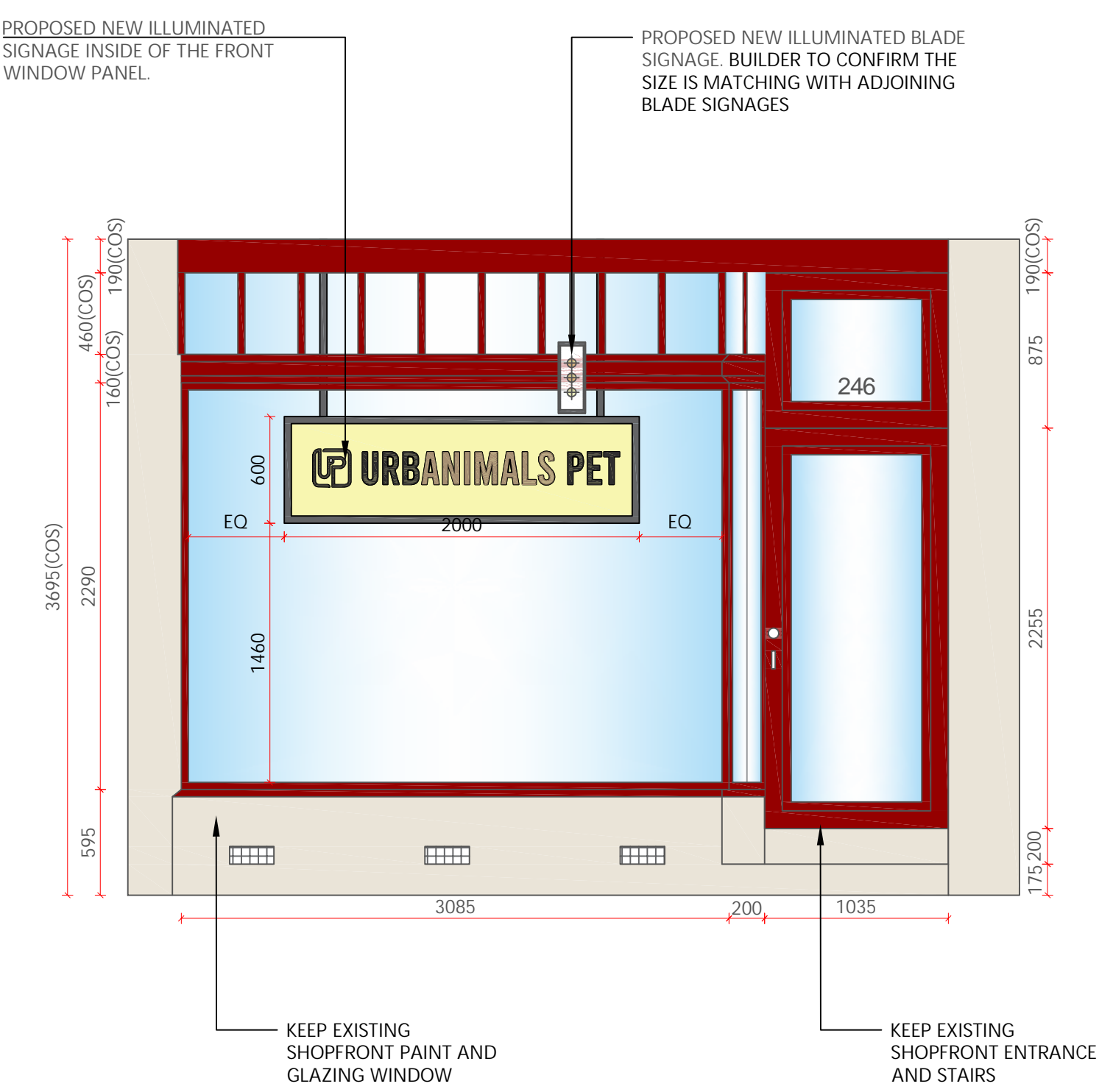
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DRAWING TITLE: UPPER FLOOR FINISH PLAN			SCALE @ A3: 1:50
DRAWING NUMBER: PL-16			ISSUE DATE: 18/06/2024



1 PROPSOED SHOPFRONT ELEVATION
scale 1:30

1 BLADE SIGNAGE DETAIL
scale 1:30



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PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L
DRAWING TITLE: EXISTING SHOPFRONT ELEVATION			SCALE @ A3: 1:30
DRAWING NUMBER: EL-03			ISSUE DATE: 18/06/2024

Vallabh Bailey Consulting

DA Submission

Access Capability Assessment / Report

Pet Grooming Business

246 Miller Street, North Sydney NSW 2060

Date

May 7, 2025

Prepared For

Franklin Shanks

Ref No

VBC250110_ACR



ACCESSIBILITY
INVESTING IN PEOPLE

At Vallabh Bailey
Consulting, we believe in
access for **ALL**.

We work to make every
environment
ACCESSIBLE.


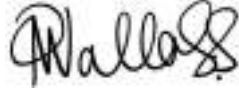


ACCESSIBILITY
INVESTING IN PEOPLE

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2. Items to Review.....	6
3. Performance Based Solutions	8
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Authorisation

Revision	Comment / Reason for Issue	Issue Date	Prepared by	Reviewed by
00	DA Submission	7/05/2025		
			Chris Bailey ACA Associate #794	Reeshika Vallabh ACA Accredited #408

Revision History

Revision	Comment / Reason for Issue	Issue Date	Prepared By
00	DA Submission	7/05/2025	Chris Bailey

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1. Executive Summary

Vallabh Bailey Consulting Pty Ltd (VBC) is appointed as Accessibility Consultants for the tenancy fitout of a new pet grooming business, located at 246 Miller Street, North Sydney. VBC have reviewed the architectural design documents prepared by Keeyuen Design Pty Ltd (refer appendix A) for compliance with the National Construction Code - Building Code of Australia Volume One 2022 (BCA). As part of the Development Application Document review, the assessment provision also includes but not limited to, The Disability (Access to Premises - Buildings) Standard 2010 (DAPS/Premises Standards).

The purpose of the assessment is to provide surety to the Consent Authority, North Sydney Council, that the buildings design is capable of complying with BCA Part D4 and that subsequent compliance with the provisions of Parts D4 of the BCA will not give rise to further modifications to the building that may necessitate additional design changes.



Figure 01 – Location Plan – 246 Miller Street, North Sydney NSW 2060

The objectives of this statement are to:

- Undertake an assessment of the proposed architectural design documentation against the Performance Requirements of National Construction Code Series 2022 (Volume 1) - Building Code of Australia (BCA) – Part D4 only.
- Accompany the submission of the Development Application to North Sydney Council to enable the Consent Authority to be satisfied that the building design is capable of complying with the BCA and that subsequent compliance with Part D4 of the BCA will not give rise to further design changes to the building.
- Identify any BCA compliance issues that require resolution at the Construction Certificate stage. These matters are to be considered pursuant to Section 36 of the EP&A Regulation 2021.
- This Capability Statement is not intended to identify all issues of compliance or non-compliance with the BCA with such other issues to be appropriately addressed prior to issue of the Construction Certificate.

Subject to addressing the actions identified, VBC confirm that the project documentation provides accessibility capable of complying with the BCA & *Disability (Access to Premises – Buildings) Standards 2010*.

In this regard the following areas, in particular, require further review as the project develops:

2. Items to Review

Item No.	Element	Item for Review	Action Required
BCA Compliance - Mandatory			
1.	Performance Based Solution Items	A performance-based approach is being proposed to omit access for a person with a disability through the front entrance of the building and to the staff-occupied areas on the ground floor and first floor.	Performance Solution to be documented by Vallabh Bailey Consulting as part of the Construction Certificate documentation.
2.	Doorways	Luminance contrast to entrance door	AS 1428.1 requires all doorways on an accessway to have a minimum luminance contrast

Item No.	Element	Item for Review	Action Required
			of 30% equivalent to 50 mm wide strip between either: <ul style="list-style-type: none"> • Door and jamb • Door and adjacent wall • Architrave and wall • Door and architrave; or • Jamb and adjacent wall
3.	Doorways	Door hardware	Door handles and related hardware/accessories shall comply with Clause 13.5.2 of AS 1428.1

3. Performance Based Solutions

Where compliance is not possible via the current Deemed to Satisfy (DtS) provisions of current building legislation, these departures are required to be addressed via the Performance Based Solution (PBS) Assessment process (where this is possible). This assessment will be unique to each building, combining an understanding of the principles of access with alternative methods to assist the design team, building owners / operators and occupants to achieve an effective solution.

The assessment of the design documentation has revealed that the following areas require assessment against the relevant performance requirements of the BCA:

Item	BCA Clause	Relevant Performance Requirements	Technical Requirement	Technical Departure
1.	D4D2	D1P1(a)(iii)	<u>BCA D4D2(6)</u> For a Class 6, access must be provided to and within all areas normally used by the occupants	The building entrance is not accessible for a person with a disability due to existing heritage site constraints. The current entrance features two steps, non-compliant door width and non-compliant latch side clearance.
2.	D4D2	D1P1(a)(iii)	<u>BCA D4D2(6)</u> For a Class 6, access must be provided to and within all areas normally used by the occupants	The staff-occupied areas (part of ground floor and all of the first floor) are not accessible for a person with a disability due to existing heritage site constraints.

Please advise if there are any additional proposed performance solutions with regard to the design of this project.

4. Compliance Summary

I, Chris Bailey on behalf of Vallabh Bailey Consulting Pty Ltd hereby confirm that access for people with disabilities has been assessed to the above building / development in accordance with:

1.	The relevant clauses of the Building Code of Australia, as follows:	BCA 2022 Part D4 – Clauses D4D2, D4D3, D4D4, D4D7, D4D9, D4D13.
2.	The following Australian Standards:	BCA referenced standards including: AS1428.1 2009 Part 1: General Requirements for access – new building work. AS1428.4.1 2009 Design for Access and Mobility – Means to assist the orientation of people with vision impairment.
3.	Disability (Access to Premises – Buildings) Standards 2010 including Affected Part provisions where relevant.	
4.	Approved Drawings / documentation.	Refer Appendix A
5.	Access Report / Performance Based Solution Report	Accessibility Performance Solution Report prepared by Vallabh Bailey Consulting (to be prepared as part of CC documentation).
6.	Exempted Area(s)	Nil
7.	Conditions / Exclusions:	No

5. Conclusion

This report contains an assessment of the referenced architectural documentation for the proposed development against the Deemed-to-Satisfy provisions & Performance Requirements of the National Construction Code Series (Volume 1) Building Code of Australia 2022.

In view of the above assessment, we can confirm that subject to the above identified compliance departures being appropriately considered, that compliance with the A2G1 of the BCA is readily achievable.

We trust that the above submission is of assistance and should you wish to discuss any aspect of this advice, please do not hesitate to contact Vallabh Baily Consulting.

Appendix A - Documentation

The following documentation was used in the assessment and preparation of this report: -

KEEYUEN DESIGN PTY LTD

Suite 1302/87-89 Liverpool Street,
Sydney, NSW, 2000
ABN: 24 615 308 284

M: 0423 506 196
E: gretta@keeyuen.com.au
www.keeyuen.com.au



KEEYUEN
DESIGN & RENOVATION

BCA DtS Callout
Minimum mandatory
BCA compliance

↑

Mandatory requirement to ensure
compliance with DtS provisions of
BCA 2022

DDA Callout
Advisory - Intent of
DDA Recommendation

↑

DDA Recommendation to provide
enhanced accessible features for
person with disability

Project Specific
Callout

↑

Accessibility advice specific to the
nature of the building/project

D4D5 - Areas highlighted in red
may be appropriate to apply a
D4D5 Exemption - subject to
discussion/ clarification of
purpose / use by stakeholder
group

Performance Based Solution
(PBS) Item: To be rationalised
under PBS process

Doors - Highlighted doors do not
meet required door circulation
space requirements of Cl 10.3.
AS1428.1:2021

Accessible path of travel


Non- accessible path of travel

PROJECT NAME
PET STORE

PROJECT ADDRESS
246 MILLER STREET,
North Sydney, NSW 2060

DESIGNER
GRETTA.L

ISSUE DATE
18 April, 2024



ACCESSIBILITY
INVESTING IN PEOPLE

Access Review I Mark-up
Date: 06.05.2025
VBC Ref: VBC 250110
Reviewed Name: Jessica Trosser
Relevant NCC: BCA 2022

GENERAL NOTES

BCA 2022
Ensure all references are updated to BCA 2022

CODES & AUTHORITIES

MATERIALS AND FORMS OF CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF ALL RELEVANT CODES AND AUTHORITIES HAVING JURISDICTION AND SPECIFICALLY WITH THE FOLLOWING:

- Ø BUILDING CODE OF AUSTRALIA (BCA)
- Ø AS 1661 PART I (FIRE AND SMOKE CONTROL) AND PART II (VENTILATION)
- Ø AS 2107 (ACOUSTICS)
- Ø AS 3000 (SAA WIRING RULES)
- Ø SYDNEY WATER
- Ø NSW HEALTH ACT
- Ø HB40 -1992 CODE OF GOOD PRACTICE
- Ø CFC'S/ NSW OZONE ACT AND LEGISLATION
- Ø COUNCIL AND PRIVATE CERTIFIER CONDITIONS OF DEVELOPMENT AND CONSTRUCTION CERTIFICATE APPROVAL
- Ø FIRE BRIGADE, BOARD OF FIRE COMMISSIONERS

ALL FLOOR PENETRATIONS TO BE EXECUTED IN ACCORDANCE WITH CLAUSE C3.15. FLOOR OPENINGS, SHAFTS, SERVICE INSTALLATIONS OF ANY OPENINGS AND CONSTRUCTION JOINTS TO BE PROTECTED AND EXECUTED IN ACCORDANCE WITH CLAUSE C3 OF THE BCA.

EGRESS PROVISIONS TO COMPLY WITH PART D1 OF THE BCA, SUBJECT TO APPROVAL OF THE AUTHORITY.

ALL EXIT DOORS TO BE IN ACCORDANCE WITH CLAUSE D1.6 OF THE BCA.

ALL AUTOMATIC DOORS (POWER OPERATED) WILL COMPLY WITH CLAUSE D2.19 OF THE BCA.

DOORS TO HAVE AT LEAST 850mm OF CLEARANCE.

BY A SINGLE HANDED DOWNWARD ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1.2M ABOVE THE FLOOR, IN ACCORDANCE WITH CLAUSE D2.21 OF THE BCA.

DISABLED ACCESS, FACILITIES AND CIRCULATION SPACE WILL COMPLY WITH PART D3 OF THE BCA, AS 1428.1 AND AS 1428.4

ALL ELECTRICAL DISTRIBUTION BOARDS, OR TELECOMMUNICATION DISTRIBUTION BOARDS LOCATED WITHIN THE PATHS OF TRAVEL, TO BE ENCLOSED IN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING, WITH DOORS PROVIDED WITH SMOKE SEALS IN ACCORDANCE WITH CLAUSE D2.7 OF THE BCA.

ALL GLAZING REQUIREMENTS TO COMPLY WITH AS 1288 - 1994, AS 1288.1-2006, AS 2047 AND AS 1170.1.

MATERIALS, LININGS AND FINISHES OF ANY SURFACES USED IN THE BUILDING TO COMPLY WITH THE FIRE HAZARD PROPERTIES IN ACCORDANCE WITH SPECIFICATION C1.10 AND C1.10A OF THE BCA.

FIRE DETECTION AND ALARM SYSTEM TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH SPECIFICATION E2.2A OF THE BCA AND AS 1670.

EMERGENCY LIGHTING AND EXIT SIGNS WILL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH CLAUSES E4.2 AND E4.4 OF THE BCA AND AS 2293.1, MAINTAINED IN ACCORDANCE WITH AS 2293.2.

FIRE HOSE REEL (FHR) ENCLOSURE WILL COMPLY WITH BCA E1.4 AND AS 2441.2005.

FIRE HYDRANT (FH) ENCLOSURE WILL COMPLY WITH BCA E1.3 AND AS 2419.1-2005.

ALL BALUSTRADES AND HANDRAILS WILL COMPLY WITH CLAUSE D2.16- D2.18 OF THE BCA AND AS 1170.

LIGHT AND VENTILATION WILL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH PART F4 OF THE BCA.

EXIT SIGNS AND EMERGENCY LIGHTING TO COMPLY WITH THE BCA.

ALL ARTIFICIAL LIGHTING ILLUMINATION POWER DENSITY TO COMPLY WITH CLAUSE J6.2B AND TABLE J6.2A OF THE BCA; SWITCH AND CONTROL DEVICE TO BE OPERATED IN ACCORDANCE WITH J6.3E OF THE BCA.

SPECIFICATIONS, MATERIALS AND WORKMANSHIP

WHERE REFERENCE IS MADE TO STANDARDS ASSOCIATION OF AUSTRALIA (SAA) AND STANDARD SPECIFICATIONS (AS), SHALL APPLY TO THE RELEVANT MATERIALS OR OPERATIONS AND BE DEEMED TO BE INCORPORATED IN THIS SPECIFICATION.

NO SUBSTITUTION OF SPECIFIED MATERIALS IS TO BE MADE WITHOUT THE APPROVAL OF KEEYUEN.

DIMENSIONS

ANY DISCREPANCIES BETWEEN SETS OF DRAWINGS SHOULD NOTIFY, AND BROUGHT TO THE ATTENTION OF KEEYUEN DESIGN.

CONTRACTOR TO CONFIRM HEIGHT OF CEILING TO PREMISES PRIOR TO CONSTRUCTION OF WORKS AND ADVISE KEEYUEN OF ANY DISCREPANCIES PRIOR TO START.

COMPLETION

PRIOR TO COMPLETION OF FITOUT, BUILDER TO OBTAIN ALL REQUIRED CERTIFICATES OF COMPLIANCE FROM SUITABLE QUALIFIED PERSONS, INCLUDING BUT NOT LIMITED TO STRUCTURAL, GLAZING, MECHANICAL, FIRE SAFETY MEASURES, ETC FOR ISSUE AND ACKNOWLEDGEMENT OF CLIENT AND LANDLORD AT HANDOVER OF THE PREMISES.

BEFORE THE ISSUE OF THE CERTIFICATE OF PRACTICAL COMPLETION, THE CONTRACTOR SHALL ARRANGE TO:

- Ø CLEAN ALL FLOORS AND WINDOWS
- Ø EASE AND OIL LOCKS AS SIMILAR WORKING PARTS
- Ø REMOVE ALL STAINS AND DROPPINGS OF PAINT AND MORTAR
- Ø LABEL AND HAND OVERALL KEYS NUMBERED AND TAGGED
- Ø TEST ALL SERVICES, FIXTURES AND EQUIPMENT
- Ø LEAVE THE PROJECT CLEAN, TIDY AND FIT FOR USE OR OCCUPANCY BY THE CLIENT
- Ø PROVIDE INFORMATION FOR WARRANTIES AND GUARANTEES OF SERVICES AND FITTINGS
- Ø OBTAIN AND ISSUE ALL SERVICES MAINTENANCE MANUALS, CERTIFICATES OF COMPLIANCE

REFLECTED CEILING PLAN NOTES

LIGHTING LAYOUT TO TAKE REFERENCE OVER LOCATION OF OTHER SERVICES. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF KEEYUEN DESIGN BEFORE SERVICES INSTALLATION.

SECURITY MONITOR EQUIPMENT AND DEVICES TO BE DETERMINED BY CLIENT ON SITE. SYSTEM TO BE APPROVED BY CLIENT AND TO BE INSTALLED BY NOMINATED CONTRACTOR.

ALL ACCESS PANELS TO BE FRAMELESS AND SET FLUSH WITH CEILING, AS REQUIRED. LOCATION AND DETAIL TO BE APPROVED BY CLIENT AND/OR KEEYUEN DESIGN.

ALL LIGHT FITTINGS TO ANGLE TOWARD WALL FIXTURES BY CONTRACTOR AS INDICATED ON LIGHTING PLAN PRIOR TO STORE OPENING.

SMOKE DETECTORS TO BE INSTALLED TO SUIT LIGHTING LAYOUT AND/OR THE REQUIRE LOCATION.

AIR CONDITIONING UNIT TO HAVE SEPARATE CONTROL FOR FITTING ROOM AREAS. REFER TO LANDLORDS ENGINEERS DRAWINGS FOR MECHANICAL REQUIREMENT AND/OR APPROVAL FROM LANDLORD.

REFER TO LANDLORDS FIRE SERVICES ENGINEER FOR SPRINKLER LAYOUT AND OR/APPROVAL FROM LANDLORD. FIRE PROTECTION SYSTEM TO COMPLY WITH THE BCA.

CONTRACTORS TO INCLUDE ALL MECHANICAL AND FIRE SERVICES WORK IN THE SCOPE OF WORKS.

NEW SPEAKER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH CLIENT'S SPECIFICATION AND/OR LANDLORD REQUIREMENT.

ELECTRICAL NOTES

ALL NECESSARY APPROVALS FOR THE WORKS MUST BE OBTAINED PRIOR TO COMMENCEMENT. LIAISE OF THE CLIENT AND/OR THE MAIN CONTRACTOR TO SETTLE ALL FEES. ALLOW FOR OUT OF NORMAL HOURS WORK COORDINATION AND POWER INTERRUPTIONS.

SCOPE OF WORK

SCOPE OF WORK TO INCLUDE THE SUPPLY, DELIVERY, INSTALLATION, TESTING, COMMISSIONING, WARRANTY AND MAINTENANCE OF THE WORKS AS LISTED IN THE SPECIFICATION AND ALL ASSOCIATED DRAWINGS FOR THE PROJECT, AS WELL AS ANY OTHER ASSOCIATED MINOR INCIDENTAL WORKS.

EXIT AND EMERGENCY LIGHTING

REFER TO ELECTRICAL SUB-CONTRACTORS DRAWINGS.

SWITCHING

THE CONTRACTOR IS REQUIRED TO SUBMIT SCHEMATICS TO KEEYUEN FOR REVIEW AND APPROVAL BASED ON THE FOLLOWING DESIGN PARAMETERS:

SAMPLES

SUBMIT SAMPLES OF ALL LUMINAIRES, SWITCHES, DIMMING PLATES, POWER OUTLETS ETC. FOR APPROVAL BY THE ARCHITECT AND LANDLORD MANAGEMENT PRIOR TO ORDERING AND INSTALLATION.

BUILDING PENETRATIONS

SEAL ALL PENETRATIONS TO COMPLY WITH BCA C3.15 AND AS3000 REQUIREMENTS.

EQUIPMENT

ALL EQUIPMENT SHALL BE NEW, UNLESS SPECIFIED. ALL WORK TIMES AND ACCESS SHALL BE COORDINATED WITH THE MAIN CONTRACTOR AND/OR THE CLIENT.

OUTLETS

ALLOW FOR MOVEMENT OF THE OUTLETS UP TO 2 METRES PRIOR TO INSTALLATION, WITHOUT COST VARIATION.

REDUNDANT LUMINAIRES & EQUIPMENT

SHALL BE RETURNED TO CLIENT UNLESS NOTED OTHERWISE. REMOVE REDUNDANT WIRING CAUSED BY ALTERATIONS TO GENERAL BASE BUILDING AREAS.

FLOOR CHASING, DRILLING AND OTHER WORKS SHALL BE CARRIED OUT IN 'OUT OF NORMAL' HOURS WITH LANDLORDS APPROVAL, UNLESS SPECIFIED.

ALL FITTINGS TO BE SUPPLIED AS SPECIFIED.

SWITCHBOARDS ARE TO BE INSTALLED IN ACCORDANCE WITH BCA-02.7.

PARTITION NOTES

PARTITION PLAN SHALL BE READ IN CONJUNCTION WITH DETAIL DRAWINGS, WHICH INCLUDE ALL JOINERY, ELEVATIONS, SECTIONS, LARGE SCALE PLANS AND DETAILS.

GLAZING SYSTEMS TO HAVE RECESSED NATURAL ANODISED SAPPHIRE ALUMINIUM CHANNELS AND TRIMS, OR OTHERS SUBJECT TO APPROVAL.

PROVIDE INSULATION FOAM AND ACOUSTIC SEALANT TO ALL PARTITION JUNCTION OF THE EXISTING STRUCTURE AND CEILING, WHERE SOUND TRANSMISSION PREVENTION IS REQUIRED.

WHERE POSSIBLE, A SINGLE SHEET GLASS SHOULD BE FITTED INTO PROPRIETARY GLAZING CHANNELS INCLUDING ALL GASKETS TO ACHIEVE MAXIMUM WIDTH OF GLASSED WALL.

IF MORE THAN ONE SHEET OF GLASS IS REQUIRED TO ACHIEVE WALL WIDTH, EQUAL LENGTH GLASS PANELS SHALL BE INSTALLED TO SUIT THE FULL LENGTH OF THE WALL.

OTHERWISE SPECIFIED, ALL GLASS EDGES SHALL BE ARRISED AND POLISHED AND JOINTS ACHIEVED USING CLEAR SILICONE. SILICONE JOINTS SHALL BE AS SLIM AS POSSIBLE AND ENSURE A SMOOTH CONSISTENT FINISH, SET FLUSH WITH GLASS FACE.

INSTALLATION OF ALL STEEL FRAMING MUST BE IN ACCORDANCE WITH RELEVANT CODES AND STANDARDS AND ENSURE EARTHED.

ALLOW FOR FINISHES TO BE APPLIED TO ALL PARTITION WALLS, UNLESS OTHERWISE NOTED OR DETAILED.

PARTITIONS ARE TO BE BRACED TO BASE BUILDING STRUCTURE ABOVE AS NECESSARY, OR AS PER SPECIFICATION BY THE LANDLORD OR QUALIFIED PERSONS.

MAIN CONTRACTOR TO PATCH AND MAKE GOOD TO EXISTING WALL, ENSURE FLUSH FINISH PRIOR TO PAINTING.

INSULATION: DACRON ACOUSTIC INSULATION TO BE PROVIDED TO FULL HEIGHT OF WALLS. ALLOW TO FIT AROUND DUCTWORK AND SERVICES IN CEILING SPACE AND TO PROVIDE TRANSFER DUCTS FOR RETURN AIR AS DIRECTED BY MECHANICAL ENGINEER.

CORNICE TO BE SUPPLIED AND INSTALLED AS PER SPECIFICATION ON DRAWINGS.

ATTACHMENT TO LPP03 - 25/06/2025

JOINERY NOTES

DIMENSIONS

ALL DIMENSIONS TO BE TAKEN FROM FFL (FINISHED FLOOR LEVEL). ALL FIXINGS TO OPEN SHELVES AND CUPBOARDS SHALL BE ALIGNED WITHIN JOINERY AND CONCEALED FROM SIGHT IN FINISHED WORKS. VENEERS & LAMINATE FINISHES TO HAVE APPROPRIATE COMPENSATORY MATERIAL TO OTHER SIDE OF BOARD. SITE SPECIFIC DIMENSIONS TAKE PRECEDENCE OVER DETAIL DRAWINGS.

INTERNAL CARCASE

UNLESS SPECIFIED, OTHERWISE ALL CARCASE INCLUDING ALL INTERNAL SURFACES AND DIVISIONS WITH 16MM WHITE MELAMINE FINISH TO ALL EXPOSED SURFACES & EDGES. UNLESS NOTED, OTHERWISE BACKS SHALL BE PRELAMINATED 6MM PARTICLE BOARD WHERE LOCATED AGAINST A PARTITION; EXPOSED BACKS OF 16MM PRELAMINATED PARTICLE BOARD. DOORS TO CUPBOARD & DRAWER FRONTS SHALL BE CONSTRUCTED OF 16MM THICK BOARD FOR UNDER BENCH AND OVERHEAD CUPBOARDS.

TIMBER

REFER TO FINISHES SCHEDULE FOR TIMBER FINISHING DETAILS.

SHELVES

UNLESS NOTED, OTHERWISE SHALL BE CONSTRUCTED OF 16MM THICK PRELAMINATED PARTICLE BOARD UP TO 800MM WIDE SPAN; AREAS OVER 800MM WIDE SPAN TO HAVE 25MM THICK PRE-LAMINATED PARTICLE BOARD.

BENCHTOPS

UNLESS NOTED, OTHERWISE SHALL BE CONSTRUCTED OF 32MM THICK LAMINATE PARTICLE BOARD (HMR PARTICLE BOARD IN WET AREAS) WITH EDGE AS DETAILED. LAMINATE JOINTS AS PER SPECIFICATION ON DRAWINGS. NO OTHER JOINTS WILL BE ACCEPTED WITHOUT APPROVAL.

DRAWER LOCK

UNLESS NOTED, OTHERWISE HAFELE SYMO 200 LOCKING SYSTEM, SINGLE SIDED CD CENTRAL LOCKING SYSTEM OR EQUIVALENT.

DRAWER RUNNERS

UNLESS NOTED, OTHERWISE CONCEALED, METAL & FULLY EXTENSION TYPE RUNNERS TO SUIT SIZE & WEIGHT OF DRAWERS - 'HAFELE WVA' OR 'HETTICH QUADRO' OR SIMILAR APPROVED.

EXISTING SERVICES

CONTRACTOR TO REFER TO CLIENT REGARDING ANY RE-USE OF EXISTING DEMOLISHED ITEMS PRIOR TO THEIR DEMOLITION OR REMOVAL FROM ORIGINAL POSITION.

THE CONTRACTOR IS RESPONSIBLE FOR THE ACKNOWLEDGEMENT OF ALL EXISTING SERVICES ON THE SITE AND IS TO SATISFY THEMSELVES THAT THEY ALL HAVE BEEN DECOMMISSIONED PRIOR TO COMMENCING ANY WORKS.

CONTRACTOR TO ALLOW TO MAKE GOOD AND RE-PAINT TO ALL CEILING AND WALL SURFACES TO MATCH EXISTING UNLESS NOTED OTHERWISE.

INSPECT AND ENSURE ALL EXISTING WALLS ARE SUITABLE FOR NEW PAINT FINISH- REMOVE ANY TIMBER LINING/ BOARDS AND REPLACE/REPATCH PLASTERBOARD AS NECESSARY TO ENSURE A CLEAN FLUSH FINISH.

POST REMOVAL OF ANY SERVICES, PENETRATIONS ARE TO BE PATCHED AND PREPARED FOR NEW WORKS.

THE CONTRACTOR SHALL EXERCISE THE GREATEST CARE DURING THE PROGRESS OF THE WORK TO AVOID DAMAGE TO ANY UTILITY SERVICES INCLUDING GAS, WATER, SEWER, ELECTRIC POWER, TELEPHONE, ETC, WITHIN THE LIMIT OF THE WORK AND STILL BE HELD RESPONSIBLE FOR ANY SUCH DAMAGE CAUSED BY THE CONTRACTOR OR AGENTS OF THE CONTRACTOR DIRECTLY OR INDIRECTLY.

ADHERE TO ALL AUTHORITIES RECOMMENDATIONS.

REPLACE ANY MARKER TAPES OR PROTECTIVE COVERS DISTURBED DURING THE COURSE OF THE WORKS.

SITE SUPERVISION/ CONSTRUCTION MANAGEMENT

BUILDING CONTRACTOR TO ENSURE APPROPRIATE PROTECTION MEASURES ARE CONSIDERED FOR ALL EXISTING SERVICES DURING DEMOLITION AND/OR BUILDING WORKS.

CONTRACTOR TO ALLOW FOR ANY PROPPING OR TEMPORARY SUPPORTS REQUIRED DURING DEMOLITION OF ANY INTERNAL STRUCTURE.

UNLESS NOTED, OTHERWISE ALL EXISTING LIGHTING SHALL BE REMOVED EXISTING PATCH/REPAIR EXISTING CEILING AS REQUIRED TO SUIT NEW WORKS AS DOCUMENTED.

OTHER RESPONSIBILITIES INCLUDED BUT NOT LIMITED TO:

- Ø SITE DELIVERIES ACCEPTANCE AND SUPERVISION
- Ø SITE RUBBISH REMOVAL SUPERVISION
- Ø SITE SUPERVISION OF ALL OF OUT OF HOURS WORKS INCLUDING BELOW FLOOR TENANCIES AS OUTLINED IN THE CONTRACT SPECIFICATIONS AND DRAWINGS
- Ø SITE INDUCTIONS OF ALL TRADES
- Ø SITE SUPERVISION OF ALL OCCUPATIONAL HEALTH AND SAFETY PROCEDURES
- Ø SITE SUPERVISION OF CONTRACTOR RISK MANAGEMENT FOR ALL TRADES
- Ø SITE SUPERVISION OF EMERGENCY PROCEDURES
- Ø SITE FIRE WARDEN AND FIRST AID RESPONSIBILITIES AS PER THE NSW OHS AND LANDLORD RULES AND REGULATIONS
- Ø HOLD CURRENT ST JOHNS AMBULANCE OR EQUALLY APPROVED SENIOR FIRST AID CERTIFICATE

LEASE PLAN / FITOUT GUIDELINES NOTES

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDLORD/ CENTRE MANAGEMENT LATEST ISSUED LEASE PLANS AND FITOUT GUIDELINES.

SIGNAGE /GRAPHIC NOTES

ALL SIGNAGE FONT, SIZE & CONTENT SHOWN IN THIS TENDER PACKAGE IS INDICATIVE ONLY. FONT TO BE CONFIRMED, REFER TO SEPARATE GRAPHIC DESIGN PACKAGE FOR DETAILS.

SIGNAGE CONSTRUCTOR TO SUBMIT FINAL SETOUT FOR KEEYUEN AND LANDLORD MANAGEMENT'S APPROVAL PRIOR TO PRODUCTION.

SHOPFRONT ILLUMINATED SIGN TO BE CONNECT WITH A TIMER SET TO HOURS AS REQUIREMENT BY LANDLORD/CENTRE MANAGEMENT.

LAMINATED GRAPHIC SHALL HAVE FLAT AND SMOOTH SUBSTRATE AS BACKING BOARD SUCH AS MDF FOR GRAPHIC APPLICATION. CONTRACTOR MUST ALLOW IN QUOTATION. THICKNESS OF ACRYLIC AS REQUIRED, TO ALLOW SUFFICIENT RIGIDITY, (MINIMUM 6MM THK WITH 1.6MM THK ANODISED ALUMINIUM FLAT BAR AT PANEL JOINT UNLESS OTHERWISE NOTED. CONCEAL FIXED PANEL TO WALL WITH CLEAR SILICON AS REQUIRED. CONTRACTOR TO ENSURE NO SILICON OR GLUE MARKS SHALL APPEAR ON GRAPHIC FACE, METHOD AT THEIR OWN DISCRETION.

FOOD TENANCY FITOUT NOTES

CONTRACTOR TO ENSURE ALL INSTALLATION AND CONSTRUCTION OF SHOP TO COMPLY WITH THE LATEST EDITION OF ALL REGULATION AS FOLLOWING:

- Ø FOOD ACT 2003
- Ø THE FOOD (GENERAL) REGULATION 2015
- Ø COUNCIL'S FOOD PREMISES CODE AND REGULATION 2001
- Ø AS 4674-2004 - DESIGN&CONSTRUCTION AND FIT-OUT OF FOOD PREMISES
- Ø AND/OR ANY OTHER RELEVANT STATUTORY REGULATIONS.
- Ø COUNCIL'S CODE FOR WASTE HANDLING IN BUILDINGS
- Ø ALL RELEVANT DA CONSENT CONDITIONS

LAMINATE JOINTS AS PER SPECIFICATION ON DRAWINGS. NO OTHER JOINTS WILL BE ACCEPTED WITHOUT APPROVAL.

ALL FINISHES TO BE FREE OF CREVICES, ALL JOINTS TO BE SEALED & VERMIN PROOF TO COMPLY WITH "NATIONAL CODE FOR CONSTRUCTION & FITOUT OF FOOD PREMISES" (=NAT.FOOD CODE). ALL CONTRACTORS TO SUBMIT DETAILED DRAWINGS/SETTING OUT PRIOR CONSTRUCTION.

ENSURE THE PRODUCT EMPLOYED MUST MEETS REGULATORY REQUIREMENTS. PROVIDE COVING SKIRTING AS REQUIRED TO ALL WALL/FLOOR JUNCTION. FILL ALL CAVITIES AS REQUIRED TO COMPLY WITH ALL FOOD CODE OR ACT AS MENTIONED ABOVE.

FOR FOOD BUTCHER OR TENANCY WHICH INVOLVES DEALING OF FRESH MEAT PRODUCT, CONTRACTOR TO ENSURE ALL CONSTRUCTION MUST COMPLY WITH THE "SAFE FOOD PRODUCTION NSW FOR RETAIL MEAT AREA" AND THE "NSW STANDARD FOR CONSTRUCTION & HYGIENE OPERATION FOR RETAIL MEAT PREMISES", AND/OR ANY RELEVANT FOOD CODE AND ACT.

ANY FLOOR AND/OR ROOF SLABS PENETRATIONS MUST BE CONSTRUCTED WITH FIRE PREVENTION AND SHALL BE IN COMPLIANCE WITH RELEVANT CODES.

ALL FLOOR TILES MUST HAVE EPOXY GROUT AND BE LAID IN ACCORDANCE WITH REQUIREMENT OF AS 3958.1

CONTRACTOR TO PROVIDE ALL WATERPROOF MEMBRANE AND SEAL FOR ALL WALLS AND FLOORS, BETWEEN CONCRETE FLOOR SLABS AND NEW FLOOR FINISH AS REQUIRED, TO COMPLY WITH AUSTRALIAN STANDARD AND BCA (PROVIDE MINIMUM WATERPROOF MEMBRANE UPTURN OF 300MM ON TO WALL FROM FLOOR. SEAL AND WATERPROOF ALL PENETRATIONS TO THE FULL EXTENT OF TENANCY AS REQUIRED TO COMPLY WITH AUSTRALIAN STANDARD, BCA AND/OR OTHER REQUIREMENT FROM LANDLORD/CENTRE MANAGEMENT.

PROVIDE WET EDGE TO ALL SINK AREA AS REQUIRED TO COMPLY WITH NATIONAL FOOD CODE.

SUBSTRATE NOTES (FOR FOOD & GENERAL RETAIL TENANCY):

- ALL SUBSTRATE SURROUNDING COOKING AREA AS REQUIRED TO WITHSTAND/PREVENT HEAT TRANSFERS FROM ALL OTHER COOKING EQUIPMENT.
- ALL STAINLESS STEEL SUBSTRATE MUST HAVE FOLDED EDGE AS ONE PIECE AND ALL JOINTS TO BE SEALED OR WELDED.
- ALL LAMINATE/VENEER AS SPECIFIED TO BE SUPPLIED WITH NEW SUBSTRATE TO SUIT THE APPLICATION, UNLESS OTHERWISE NOTED. (NO CHIPBOARD PERMITTED).


OVERSEAS PROJECT NOTES

SPECIFICATIONS HAVE BEEN PREPARED BY KEEYUEN DESIGN GENERICALLY WITHOUT REFERENCE TO THE LOCAL GOVERNMENT LAWS AND REQUIREMENTS. APPROPRIATELY QUALIFIED CONSULTANTS OFFSHORE SHOULD BE ENGAGED TO PERFORM THE NECESSARY WORKS. ALL PERSONS USING THESE DRAWINGS, PLANS & SPECIFICATIONS MUST REVIEW AND CHECK THE DETAILS TO ENSURE THE DETAIL COMPLY WITH ALL LAWS AND REQUIREMENTS OF THE LOCAL GOVERNMENT.

KEEYUEN DESIGN WILL NOT ACCEPT ANY RESPONSIBILITY NOR LIABILITY AS A CONSEQUENCE OF ANYTHING IN THESE DRAWINGS, PLANS & SPECIFICATIONS UNCOMPLIANT WITH THE LAWS AND REQUIREMENTS OF LOCAL GOVERNMENT.



Access Review I Mark-up
Date: 06.05.2025
VBC Ref: VBC 250110
Reviewed Name: Jessica Trosser
Relevant NCC: BCA 2022

 <div>T: 02 8957 2015 E: info@keeyuen.com.au A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000</div>	<div>IMPORTANT NOTE</div> <ul style="list-style-type: none">• Do not scale drawings, figured dimensions are to be followed.• All works to be in accordance with the building code of Australia and local authority requirements.• All dimensions are to be confirmed on site prior to construction. In the event of any discrepancies on these drawings, the contractor to contact the designer prior to manufacture.• Measurements for the fabrication of secondary components are to be taken on site to suit.• Contractor's responsibility to obtain approvals from authorities including local council and water board prior to construction.• Contractor to liaise with third party suppliers to confirm exact requirements, including electrical data comm.• Contractor to ensure structural integrity and feasibility of all units/components prior to fabrication. All structural components shall be read in accordance to details and specifications prepared by a structural engineer.• All architectural documentations are to be read in conjunction with other consultant's drawings/specification and all other related documents.• Copyright of these drawings and related documents are reserved by Keeyuen. Any reproduction or distribution of any parts of these drawings and documents are prohibited without permission from Keeyuen.	REV	DATE	NOTES	CLIENT: PET STORE	PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L	
					PROJECT ADDRESS: 246 MILLER STREET, North Sydney, NSW 2060	DRAWING TITLE: GENERAL NOTES		SCALE @ A3:		
						DRAWING NUMBER: GN-01		ISSUE DATE: 18/04/2024		




246 MILLER STREET,
North Sydney, NSW 2060

1

LOCATION PLAN

scale NTS



ACCESSIBILITY
INVESTING IN PEOPLE


Access Review I Mark-up

Date: 06.05.2025

VBC Ref: VBC 250110

Reviewed Name: Jessica Trosser

Relevant NCC: BCA 2022

 <div>T: 02 8957 2015 E: info@keeyuen.com.au A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000</div>	<div>IMPORTANT NOTE</div> <ul style="list-style-type: none">Do not scale drawings, figured dimensions are to be followed.All works to be in accordance with the building code of Australia and local authority requirements.All dimensions are to be confirmed on site prior to construction. In the event of any discrepancies on these drawings, the contractor to contact the designer prior to manufacture.Measurements for the fabrication of secondary components are to be taken on site to suit.Contractor's responsibility to obtain approvals from authorities including local council and water board prior to construction.Contractor to liaise with third party suppliers to confirm exact requirements. Including electrical data comms. Hydraulics and any other related requirementsContractor to ensure structural integrity and feasibility of all units/components prior to fabrication. All structural components shall be read in accordance to details and specifications prepared by a structural engineer.All architectural documentations are to be read in conjunction with other consultant's drawings/specification and all other related documents.Copyright of these drawings and related documents are reserved by Keeyuen. Any reproduction or distribution of any parts of these drawings and documents are prohibited without permission from Keeyuen.	REV	DATE	NOTES	CLIENT: PET STORE PROJECT ADDRESS: 246 MILLER STREET, North Sydney, NSW 2060	PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L
						DRAWING TITLE: LOCATION PLAN	SCALE @ A3: NTS		
						DRAWING NUMBER:	ISSUE DATE: 18/04/2024		



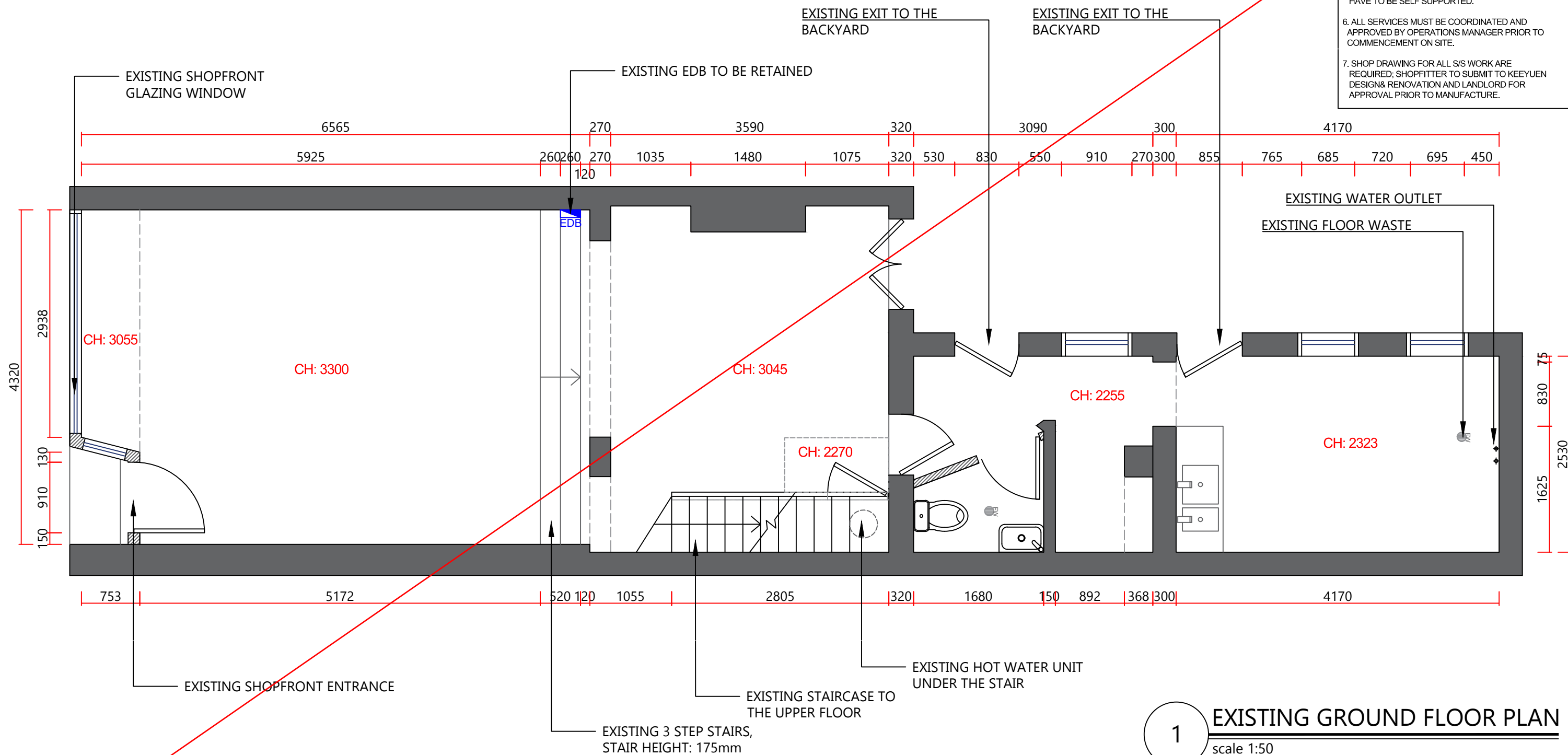
ACCESSIBILITY
INVESTING IN PEOPLE

Access Review I Mark-up
Date: 06.05.2025
VBC Ref: VBC 250110
Reviewed Name: Jessica Trosser
Relevant NCC: BCA 2022

ATTACHMENT TO LPP03 - 25/06/2025

STRUCTURE LEGEND	
	EXISTING CONCRETE WALLS & COLUMNS
	EXISTING PARTITION WALLS
	EXISTING WALLS TO BE DEMOLISHED
ALL CEILING HEIGHT NEED TO CHECK ON SITE	

- NOTE:
- Page 67
- LEASE PLAN BY SHOPPING CENTRE SHOULD BE USED IN CONJUNCTION WITH DESIGN DRAWING DOCUMENTATION.
 - ALL DIMENSIONS MUST BE CHECK ON SITE BEFORE ANY FABRICATION.
 - ART WORK GRAPHIC DIMENSION SHOWN ON THE DRAWING ARE ONLY FOR REFERENCE.BUILDER NEED TO CONFIRM ON SITE SIZE PRIOR FINAL PRINTING.
 - ALL EQUIPMENT CABINET AND COUNTER DETAILS NEED TO BE CONFIRMED WITH CLIENT BEFORE FABRICATION.
 - BUILDER SHOULD CHECK THE BUILDING MANAGEMENT'S REQUIREMENTS REGARDING INTER-TENANCY WALL BEFORE INSTALLING SHELVES OR WALL MOUNTED EQUIPMENTS;OTHERWISE SHELVES AND EQUIPMENT HAVE TO BE SELF SUPPORTED.
 - ALL SERVICES MUST BE COORDINATED AND APPROVED BY OPERATIONS MANAGER PRIOR TO COMMENCEMENT ON SITE.
 - SHOP DRAWING FOR ALL S/S WORK ARE REQUIRED; SHOPFITTER TO SUBMIT TO KEEYUEN DESIGN& RENOVATION AND LANDLORD FOR APPROVAL PRIOR TO MANUFACTURE.



1 EXISTING GROUND FLOOR PLAN
scale 1:50



T: 02 8957 2015
E: info@keeyuen.com.au
A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000

IMPORTANT NOTE




- Do not scale drawings, figured dimensions are to be followed.
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REV	DATE	NOTES

CLIENT:
PET STORE

PROJECT ADDRESS:
246 MILLER STREET,
North Sydney, NSW 2060

PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L
DRAWING TITLE: EXISTING GROUND FLOOR PLAN		SCALE @ A3: 1:50	
DRAWING NUMBER:		ISSUE DATE: 18/04/2024	

STRUCTURE LEGEND	
	EXISTING CONCRETE WALLS & COLUMNS
	EXISTING PARTITION WALLS
	EXISTING WALLS TO BE DEMOLISHED
ALL CEILING HEIGHT NEED TO CHECK ON SITE	

- NOTE:
- Page 68
1. LEASE PLAN BY SHOPPING CENTRE SHOULD BE USED IN CONJUNCTION WITH DESIGN DRAWING DOCUMENTATION.

2. ALL DIMENSIONS MUST BE CHECK ON SITE BEFORE ANY FABRICATION.

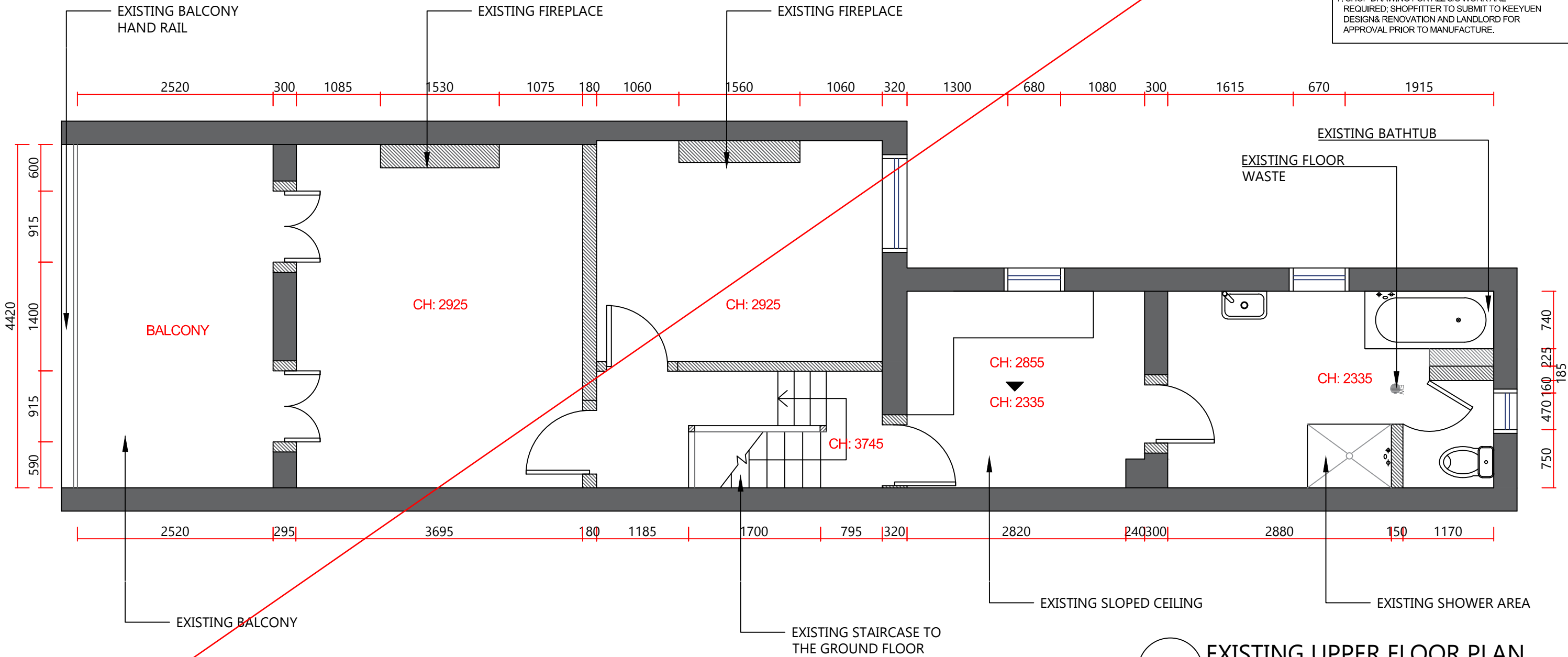
3. ART WORK GRAPHIC DIMENSION SHOWN ON THE DRAWING ARE ONLY FOR REFERENCE,BUILDER NEED TO CONFIRM ON SITE SIZE PRIOR FINAL PRINTING.

4. ALL EQUIPMENT CABINET AND COUNTER DETAILS NEED TO BE CONFIRMED WITH CLIENT BEFORE FABRICATION.

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6. ALL SERVICES MUST BE COORDINATED AND APPROVED BY OPERATIONS MANAGER PRIOR TO COMMENCEMENT ON SITE.

7. SHOP DRAWING FOR ALL S/S WORK ARE REQUIRED; SHOPFITTER TO SUBMIT TO KEEYUEN DESIGN& RENOVATION AND LANDLORD FOR APPROVAL PRIOR TO MANUFACTURE.



1

EXISTING UPPER FLOOR PLAN

scale 1:50



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A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000

IMPORTANT NOTE



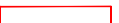
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REV	DATE	NOTES

CLIENT:
PET STORE

PROJECT ADDRESS:
246 MILLER STREET,
North Sydney, NSW 2060

PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L
DRAWING TITLE: EXISTING UPPER FLOOR PLAN			SCALE @ A3: 1:50
DRAWING NUMBER:			ISSUE DATE: 18/04/2024

STRUCTURE LEGEND	
	EXISTING CONCRETE WALLS & COLUMNS
	EXISTING PARTITION WALLS
	EXISTING WALLS TO BE DEMOLISHED
ALL CEILING HEIGHT NEED TO CHECK ON SITE	

- NOTE:
- Page 69
1. LEASE PLAN BY SHOPPING CENTRE SHOULD BE USED IN CONJUNCTION WITH DESIGN DRAWING DOCUMENTATION.

2. ALL DIMENSIONS MUST BE CHECK ON SITE BEFORE ANY FABRICATION.

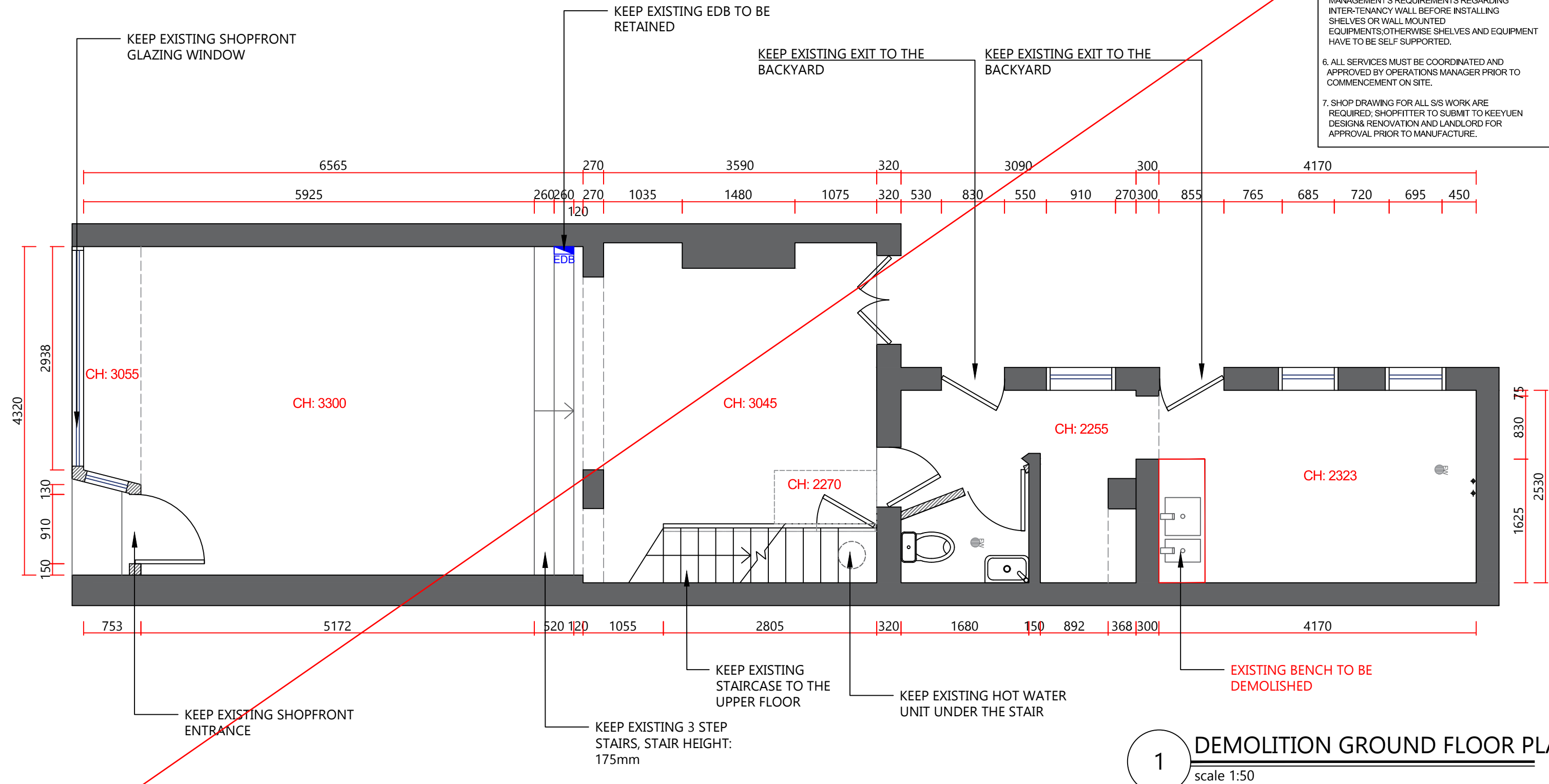
3. ART WORK GRAPHIC DIMENSION SHOWN ON THE DRAWING ARE ONLY FOR REFERENCE.BUILDER NEED TO CONFIRM ON SITE SIZE PRIOR FINAL PRINTING.

4. ALL EQUIPMENT CABINET AND COUNTER DETAILS NEED TO BE CONFIRMED WITH CLIENT BEFORE FABRICATION.

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7. SHOP DRAWING FOR ALL S/S WORK ARE REQUIRED; SHOPFITTER TO SUBMIT TO KEEYUEN DESIGN& RENOVATION AND LANDLORD FOR APPROVAL PRIOR TO MANUFACTURE.



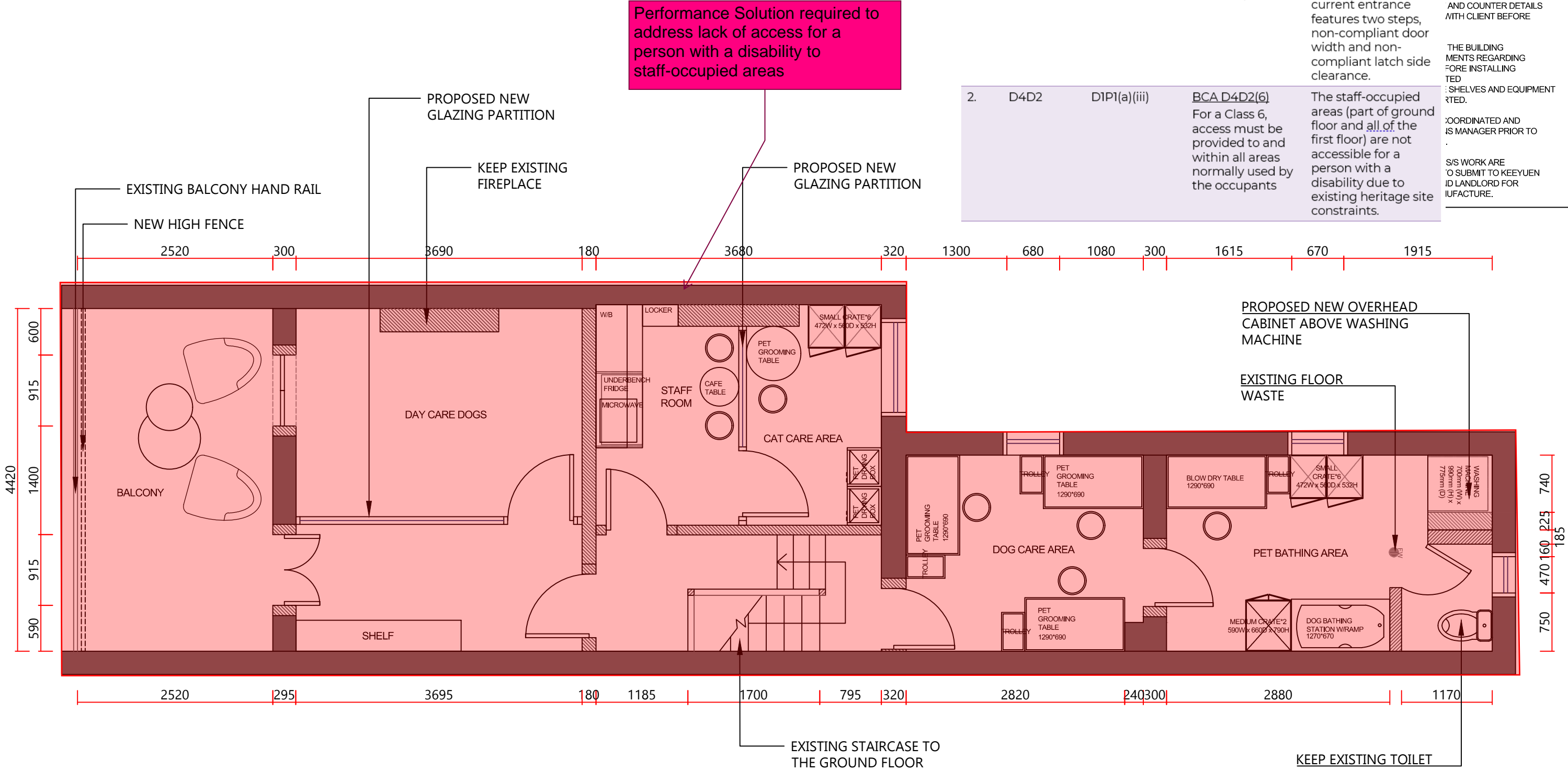
REV	DATE	NOTES

CLIENT:
PET STORE

PROJECT ADDRESS:
246 MILLER STREET,
North Sydney, NSW 2060

PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L
DRAWING TITLE: DEMOLITION PLAN	SCALE @ A3: 1:50		
DRAWING NUMBER:	ISSUE DATE: 18/04/2024		

Item No.	BCA Clause	Relevant Performance Requirements	Technical Requirement	Technical Departure	Page 72
1.	D4D2	DIP1(a)(iii)	BCA D4D2(6) For a Class 6, access must be provided to and within all areas normally used by the occupants	The building entrance is not accessible for a person with a disability due to existing heritage site constraints. The current entrance features two steps, non-compliant door width and non-compliant latch side clearance.	3 CENTRE SHOULD BE USED IN V DRAWING DOCUMENTATION. CHECK ON SITE ENSION SHOWN ON THE REFERENCE BUILDER E SIZE PRIOR FINAL AND COUNTER DETAILS WITH CLIENT BEFORE THE BUILDING MENTS REGARDING FORE INSTALLING TED : SHELVES AND EQUIPMENT RTED. COORDINATED AND IS MANAGER PRIOR TO S/S WORK ARE O SUBMIT TO KEEYUEN ID LANDLORD FOR IUFACTURE.
2.	D4D2	DIP1(a)(iii)	BCA D4D2(6) For a Class 6, access must be provided to and within all areas normally used by the occupants	The staff-occupied areas (part of ground floor and all of the first floor) are not accessible for a person with a disability due to existing heritage site constraints.	



1

PROPOSED UPPER FLOOR PLAN

scale 1:60

STRUCTURE LEGEND	
<div></div>	EXISTING CONCRETE WALLS & COLUMNS
<div></div>	EXISTING PARTITION WALLS
<div></div>	EXISTING WALLS TO BE DEMOLISHED
ALL CEILING HEIGHT NEED TO CHECK ON SITE	

- NOTE:
- Page 73
1. LEASE PLAN BY SHOPPING CENTRE SHOULD BE USED IN CONJUNCTION WITH DESIGN DRAWING DOCUMENTATION.

2. ALL DIMENSIONS MUST BE CHECK ON SITE BEFORE ANY FABRICATION.

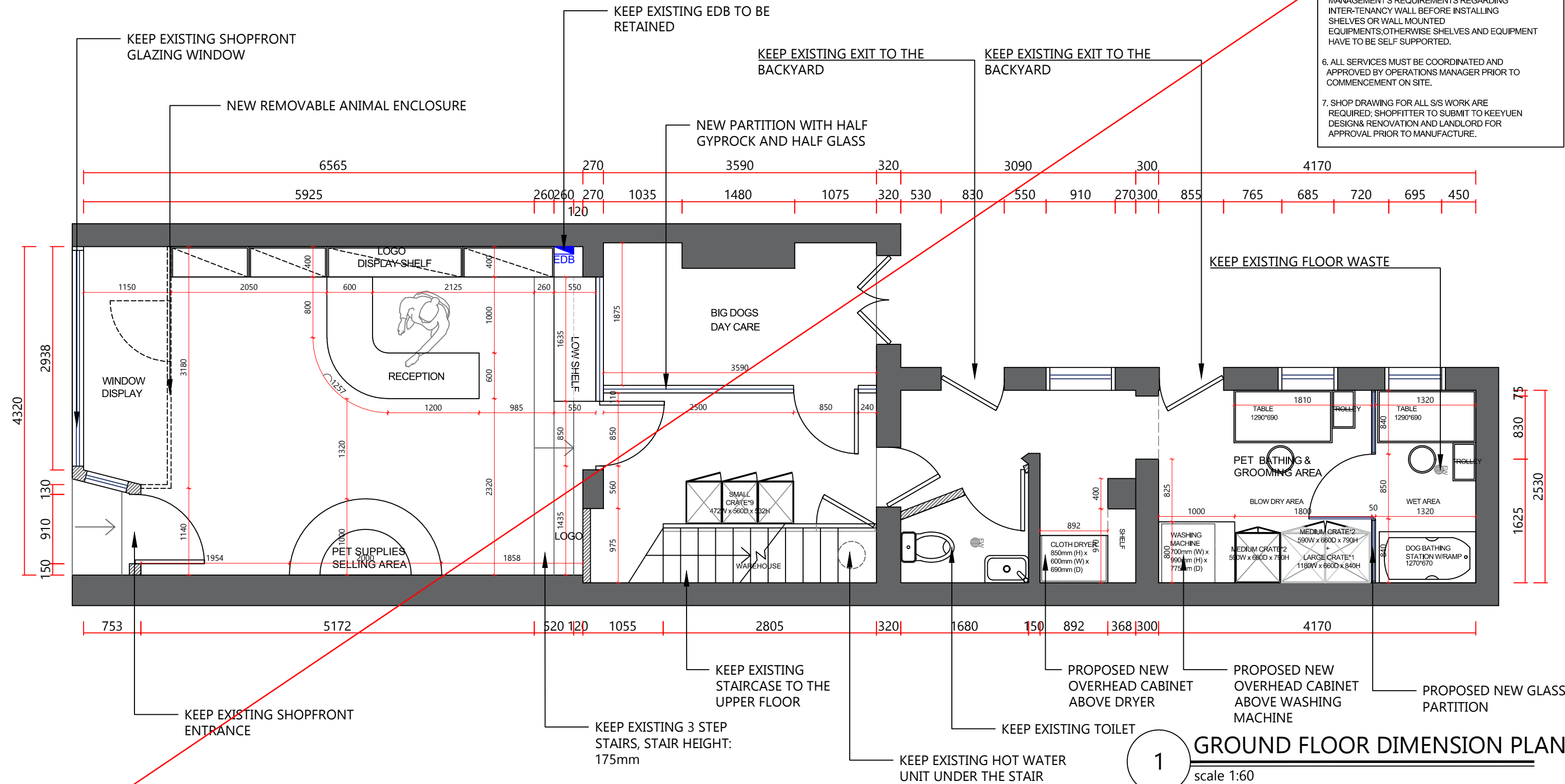
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STRUCTURE LEGEND	
	EXISTING CONCRETE WALLS & COLUMNS
	EXISTING PARTITION WALLS
	EXISTING WALLS TO BE DEMOLISHED
ALL CEILING HEIGHT NEED TO CHECK ON SITE	

- NOTE:
- Page 74
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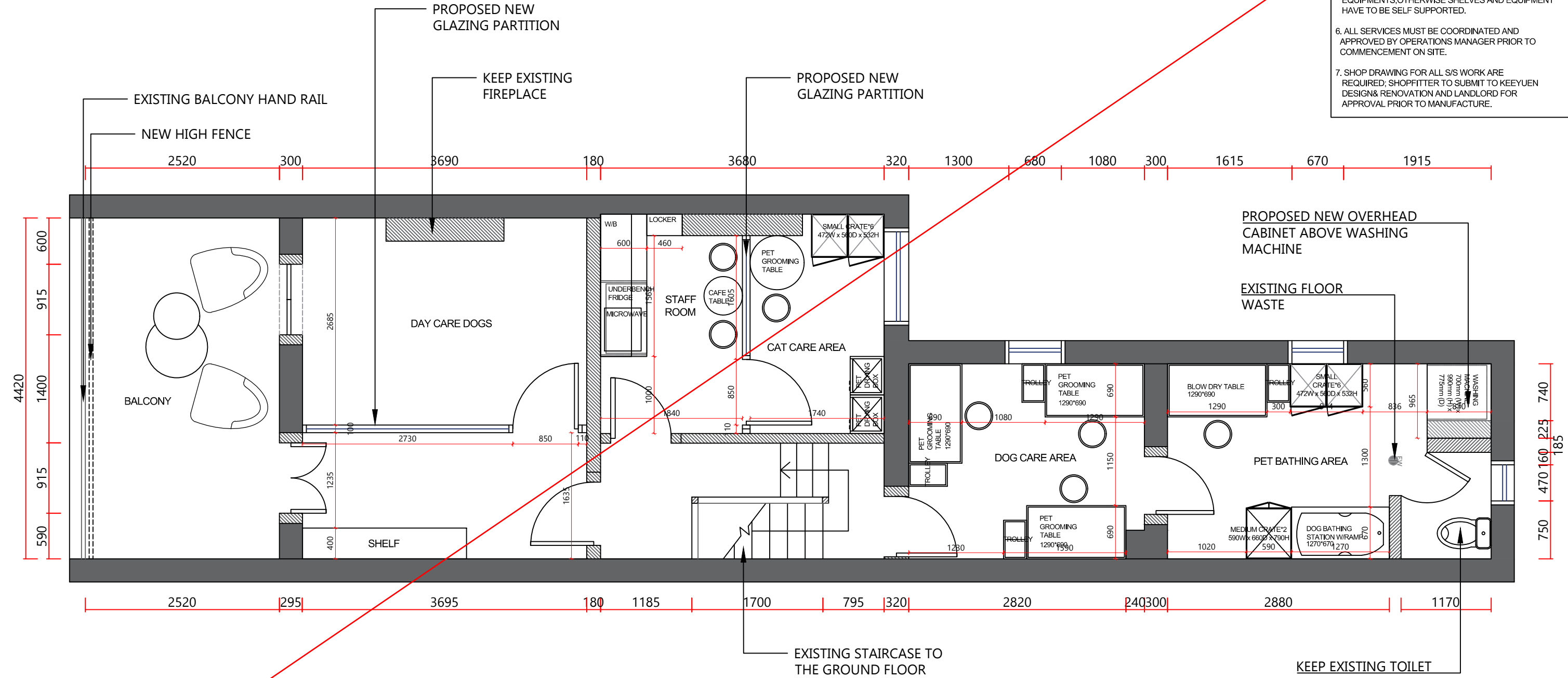
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1

UPPER FLOOR DIMENSION PLAN

scale 1:60

REV	DATE	NOTES

CLIENT:
PET STORE

PROJECT ADDRESS:
246 MILLER STREET,
North Sydney, NSW 2060

PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L
DRAWING TITLE: DIMENSION FLOOR PLAN	SCALE @ A3: 1:50		
DRAWING NUMBER:	ISSUE DATE: 18/04/2024		



1

EXISTING SHOPFRONT PHOTO

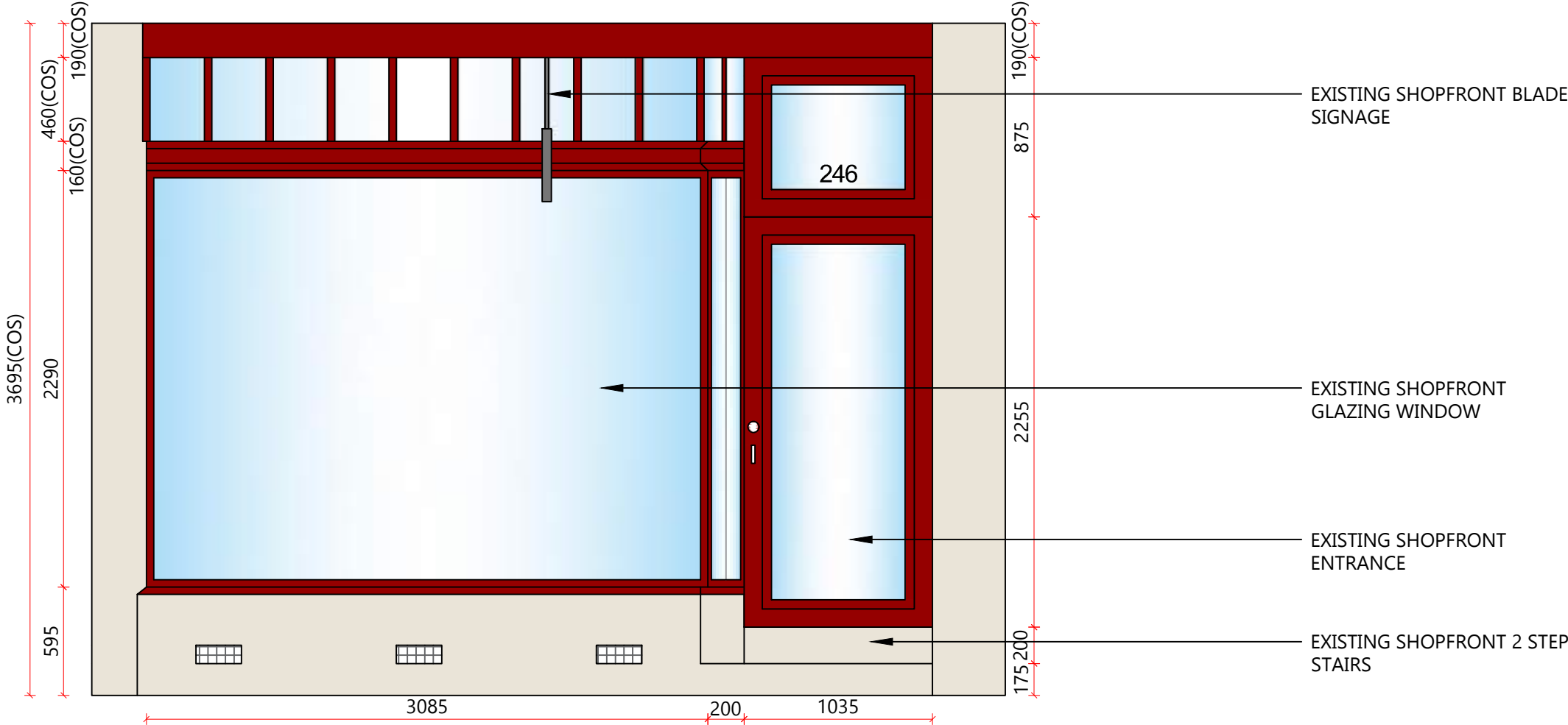
scale NTS



ACCESSIBILITY
INVESTING IN PEOPLE

Access Review I Mark-up

Date: 06.05.2025
VBC Ref: VBC 250110
Reviewed Name: Jessica Trosser
Relevant NCC: BCA 2022



1 EXISTING SHOPFRONT ELEVATION
scale 1:30



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A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000

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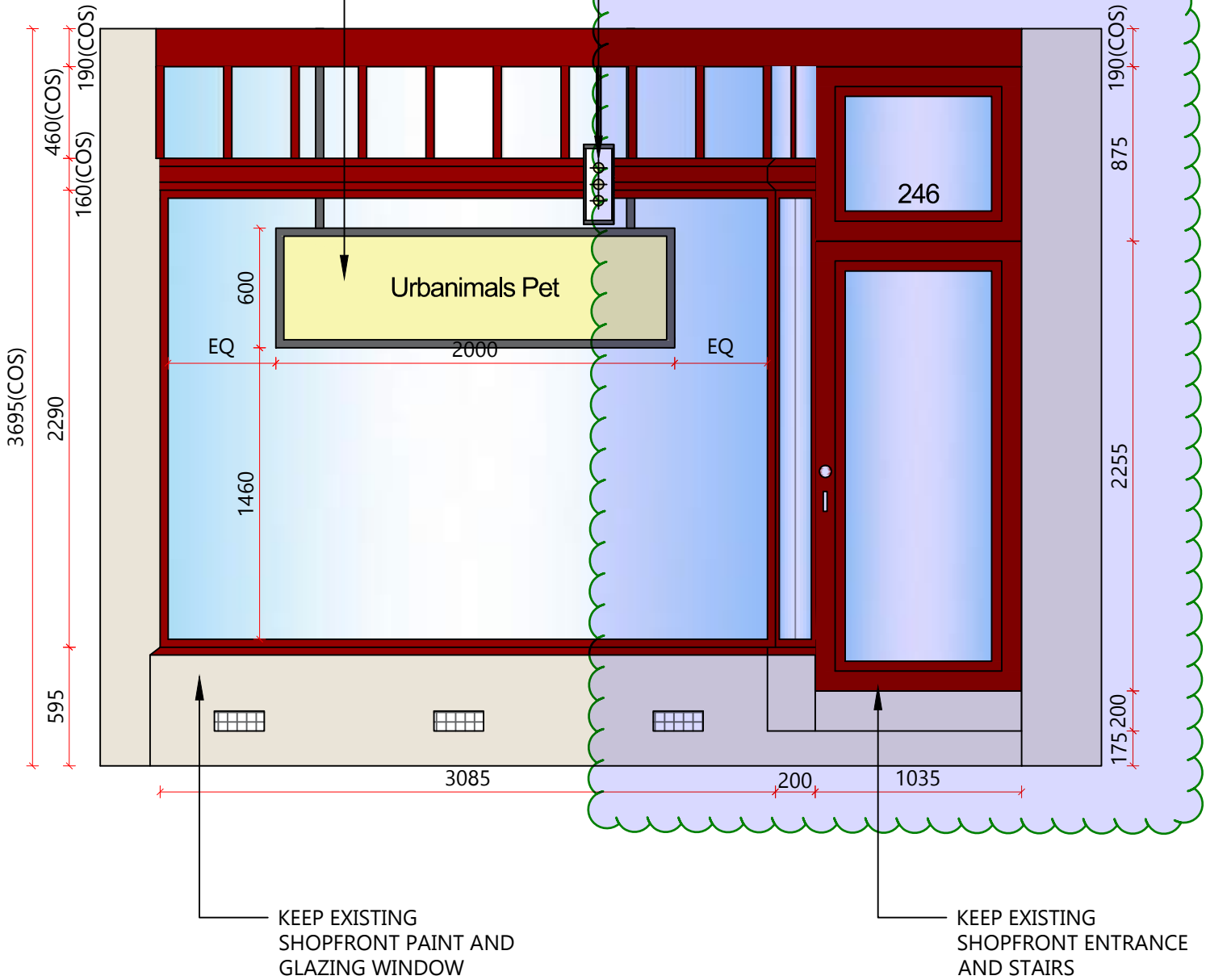
PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L
DRAWING TITLE: EXISTING SHOPFRONT ELEVATION			SCALE @ A3: 1:30
DRAWING NUMBER:			ISSUE DATE: 18/04/2024

PROPOSED NEW ILLUMINATED SIGNAGE INSIDE OF THE FRONT WINDOW PANEL. (LOGO TO BE CONFIRM WITH CLIENT)

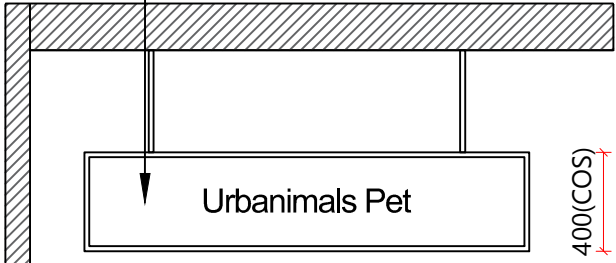
Performance Solution required - The entry and facade cannot be amended due to heritage constraints. A performance solution will be required to address the lack of access for a person with a disability.

6/2025

ATED BLADE
NFIRM THE
DJOINING



PROPOSED NEW ILLUMINATED BLADE SIGNAGE. (LOGO TO BE CONFIRM WITH CLIENT)



Item No.	BCA Clause	Relevant Performance Requirements	Technical Requirement	Technical Departure
1.	D4D2	D1P1(a)(iii)	BCA D4D2(6) For a Class 6, access must be provided to and within all areas normally used by the occupants	The building entrance is not accessible for a person with a disability due to existing heritage site constraints. The current entrance features two steps, non-compliant door width and non-compliant latch side clearance.
2.	D4D2	D1P1(a)(iii)	BCA D4D2(6) For a Class 6, access must be provided to and within all areas normally used by the occupants	The staff-occupied areas (part of ground floor and all of the first floor) are not accessible for a person with a disability due to existing heritage site constraints.



Access Review I Mark-up
Date: 06.05.2025
VBC Ref: VBC 250110
Reviewed Name: Jessica Trosser
Relevant NCC: BCA 2022

1 PROPSOED SHOPFRONT ELEVATION
scale 1:30

1 BLADE SIGNAGE DETAIL
scale 1:30



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A: Suite 1302, 87-89 Liverpool St, Sydney NSW 2000

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REV	DATE	NOTES

CLIENT:
PET STORE

PROJECT ADDRESS:
246 MILLER STREET,
North Sydney, NSW 2060

PROJECT NO:	DESIGNER : Gretta.L	DRAFT BY :	CHECK BY : Gretta.L
DRAWING TITLE: EXISTING SHOPFRONT ELEVATION	SCALE @ A3: 1:30	DRAWING NUMBER:	ISSUE DATE: 18/04/2024



ACCESSIBILITY
INVESTING IN PEOPLE

NØRREBRO
DESIGN

COPENHAGEN

SYDNEY

SINGAPORE

SAN FRANCISCO

246 MILLER STREET NORTH SYDNEY
DA ACOUSTICS REPORT

29 May 2025

Doc. Rev. 3



Nick Maric | Project Management

Dear Nick

Re: 246 MILLER STREET NORTH SYDNEY ACOUSTICS REPORT

Thank you for organising the acoustic measurements on-site, as well as the detailed site survey and the acoustic logging performed between Monday 5 August 2024 and Tuesday 13 August 2024.

This report presents the acoustic measurements results, our acoustic assessment of the existing noise levels on site, and the acoustic report to accompany the application for the project, which indicate that compliance can be achieved with the proposed scheme.

Yours faithfully,

A handwritten signature in grey ink, appearing to read "Claudiu Pop".

Claudiu Pop

Director Australasia | Acoustic Consultant
MSc (Acoustics)

☎ +61 435 129 922

NØRREBRO
DESIGN

COPENHAGEN | SYDNEY | SINGAPORE | SAN FRANCISCO

E: claudiu@norrebro.com.au

W: www.norrebro.com.au

1. Introduction

The proposed development is located in a mixed commercial and residential area on 246 Miller Street, North Sydney, NSW 2060. The proposed location is shown in the figure below:



Figure 1: Location plan (from reference 1b)

For the purpose of this assessment the following documents have been reviewed:

1. Architectural Package:

- a. "246 MILLER STREET, North Sydney, NSW 2060", General Notes, Issued by Keeyuen, dated 18/06/2024.
- b. "246 MILLER STREET, North Sydney, NSW 2060", Location Plan, Issued by Keeyuen, dated 18/06/2024.
- c. "246 MILLER STREET, North Sydney, NSW 2060", Notification Plan, Issued by Keeyuen, dated 18/06/2024.
- d. "246 MILLER STREET, North Sydney, NSW 2060", Existing Ground Floor Plan, Issued by Keeyuen, dated 18/06/2024.
- e. "246 MILLER STREET, North Sydney, NSW 2060", Demolition Ground Floor Plan, Issued by Keeyuen, dated 18/06/2024.
- f. "246 MILLER STREET, North Sydney, NSW 2060", Proposed Ground Floor Plan, Issued by Keeyuen, dated 18/06/2024.
- g. "246 MILLER STREET, North Sydney, NSW 2060", Ground Floor Dimension Plan, Issued by Keeyuen, dated 18/06/2024.

- h. "246 MILLER STREET, North Sydney, NSW 2060", Ground Floor Reflected Ceiling Plan, Issued by Keeyuen, dated 18/06/2024.
- i. "246 MILLER STREET, North Sydney, NSW 2060", Ground Floor Electrical Plan, Issued by Keeyuen, dated 18/06/2024.
- j. "246 MILLER STREET, North Sydney, NSW 2060", Ground Floor Hydraulics Plan, Issued by Keeyuen, dated 18/06/2024.
- k. "246 MILLER STREET, North Sydney, NSW 2060", Ground Floor Finish Plan, Issued by Keeyuen, dated 18/06/2024.
- l. "246 MILLER STREET, North Sydney, NSW 2060", Existing Upper Floor Plan, Issued by Keeyuen, dated 18/06/2024.
- m. "246 MILLER STREET, North Sydney, NSW 2060", Demolition Upper Floor Plan, Issued by Keeyuen, dated 18/06/2024.
- n. "246 MILLER STREET, North Sydney, NSW 2060", Proposed Upper Floor Plan, Issued by Keeyuen, dated 18/06/2024.
- o. "246 MILLER STREET, North Sydney, NSW 2060", Upper Floor Dimension Plan, Issued by Keeyuen, dated 18/06/2024.
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- q. "246 MILLER STREET, North Sydney, NSW 2060", Upper Floor Electrical Plan, Issued by Keeyuen, dated 18/06/2024.
- r. "246 MILLER STREET, North Sydney, NSW 2060", Upper Floor Hydraulics Plan, Issued by Keeyuen, dated 18/06/2024.
- s. "246 MILLER STREET, North Sydney, NSW 2060", Upper Floor Finish Plan, Issued by Keeyuen, dated 18/06/2024.
- t. "246 MILLER STREET, North Sydney, NSW 2060", Existing Shopfront Photo, Issued by Keeyuen, dated 18/06/2024.
- u. "246 MILLER STREET, North Sydney, NSW 2060", Existing Shopfront Elevation, Issued by Keeyuen, dated 18/06/2024.
- v. "246 MILLER STREET, North Sydney, NSW 2060", Blade Signage Detail, Issued by Keeyuen, dated 18/06/2024.

2. North Sydney Council Noise Criteria for the Proposed Development

The North Sydney Development Control Plan 2013 noise criteria for Commercial & Mixed-Use Development so as to ensure reasonable levels of acoustic amenity to nearby residents are as follows:

Noise emission associated with the operation of non-residential premises or non-residential components of a building must not exceed the maximum 1 hour noise levels (LAeq 1 Hour) specified in Table B-2.3.

TABLE B-2.3 – Noise Emission Limits			
Time Period			Max 1 hour noise level (LAeq 1 Hour)
Day	Week	Time	
Weekday	Day	7am – 6pm	60 dBA
	Evening	6pm – 10pm	50 dBA
	Night	10pm – 7am	45 dBA
Weekend	Day	8am – 7pm	60 dBA
	Evening	7pm – 10pm	50 dBA
	Night	10pm – 8am	45 dBA

Notes: LAeq (1hour) readings are to be measured during the noisiest 1 hour period between Day – 7/8am to 6/7pm, Evening – 6/7pm – 10pm and Night – 10pm to 7/8am.

Table 1: North Sydney Council DCP Noise Criteria for Commercial Premises

In terms of determining the maximum noise levels as required by **Table 1** above, the measurement is to be taken at the property boundary of the nearest residential premises. Within a mixed-use development, the boundary is taken to be nearest floor ceiling or wall to a residential dwelling on the site.

Despite **Table 1** above, the noise emission associated with the operation of non-residential premises or non-residential components of a building must not exceed 5 dBA above the background maximum 1 hour noise level (LAeq 1 Hour) during the day and evening and not exceeding the background level at night when measured at the boundary of the property.

3. Operator Attended Acoustic Site Measurements

Operated-attended acoustic measurements were performed on site Monday 5th August 2024 between 10:45AM and 11:40AM.

The sound pressure levels were measured at 2 locations. **Sound Pressure Level LA_{eq}** is the “equivalent noise level” is the summation of noise events integrated over a selected period of time. This noise metric is commonly used to correlate noise exposure and human annoyance. LA_{eq} is measured in dB(A) (A-weighted sound pressure level) due to the fact that the ear is not as effective in hearing low frequency sounds as it is hearing high frequency sounds. That is, low frequency sounds of the same dB level are not heard as loud as high frequency sounds. The sound level meter replicates the human response of the ear by using an electronic filter which is called the “A” filter. A sound level measured with this filter switched in is denoted as dB(A). Practically all noise is measured using the A-weighting.

4. Acoustic Measurements Methodology and Results

The survey was conducted with the following instruments:

Equipment	Make	Model No.
Type 1 Sound Calibrator	Bruel & Kjaer - Denmark	4231
Hand Held Analyser	Bruel & Kjaer- Denmark	2250

Table 2: Equipment used in the survey

The equipment was calibrated before and after the measurements and no deviations were recorded.

The hand-held operator-attended measurement locations around the site are presented below:



Figure 2: Measurement locations (Mark-up on image courtesy of Google Maps)

The following figures illustrate the measurement locations and a full 1/3 octave analysis of the measurements at each location.



Figure 3: Measurement location 1 (adjacent to logger)

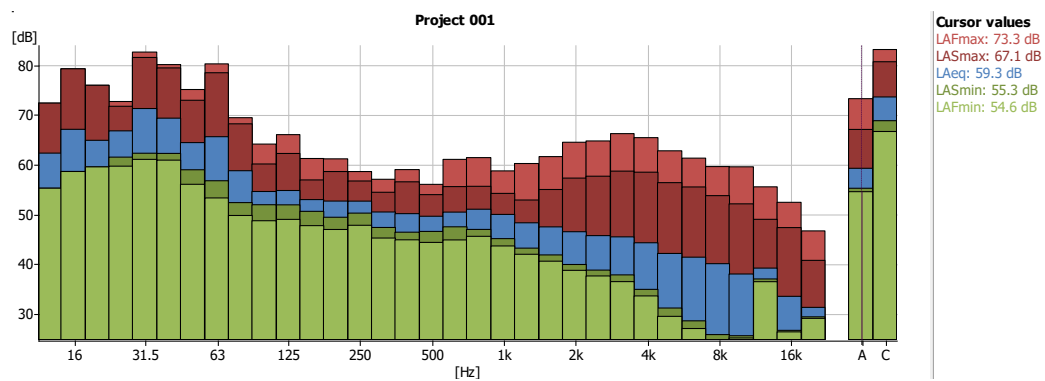


Figure 4: Measurement location 1 results



Figure 5: Measurement location 2 (on balcony facing Miller Street)

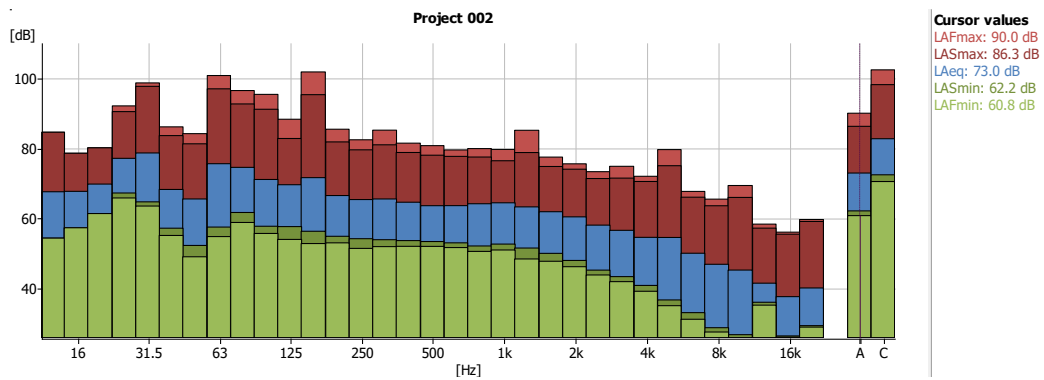


Figure 6: Measurement location 2 results

5. Hand Held Measurements Results

The results of the measurements are tabulated below:

Measurement no.	LAeq (dBA)	L90 (dBA)	Remarks
1	59.3	56.4	Noise dominated by Miller Street traffic, some ambient noise from adjacent café, some dog barks, some distant lawnmower sound audible, some pedestrian noise.
2	73.0	65.0	Noise dominated by Miller Street traffic.

Table 2: Operator attended measurements results

6. Noise Logger Measurements Results

Noise logger measurements were performed between Monday 5 August 2024 and Tuesday 13 August 2024.

The location of the noise logger is shown in the figure below:



Figure 7: Logger location on the property, facing Cowpasture Road



Figure 8: Noise logger location on the property

The results of the noise logger measurements are shown below:

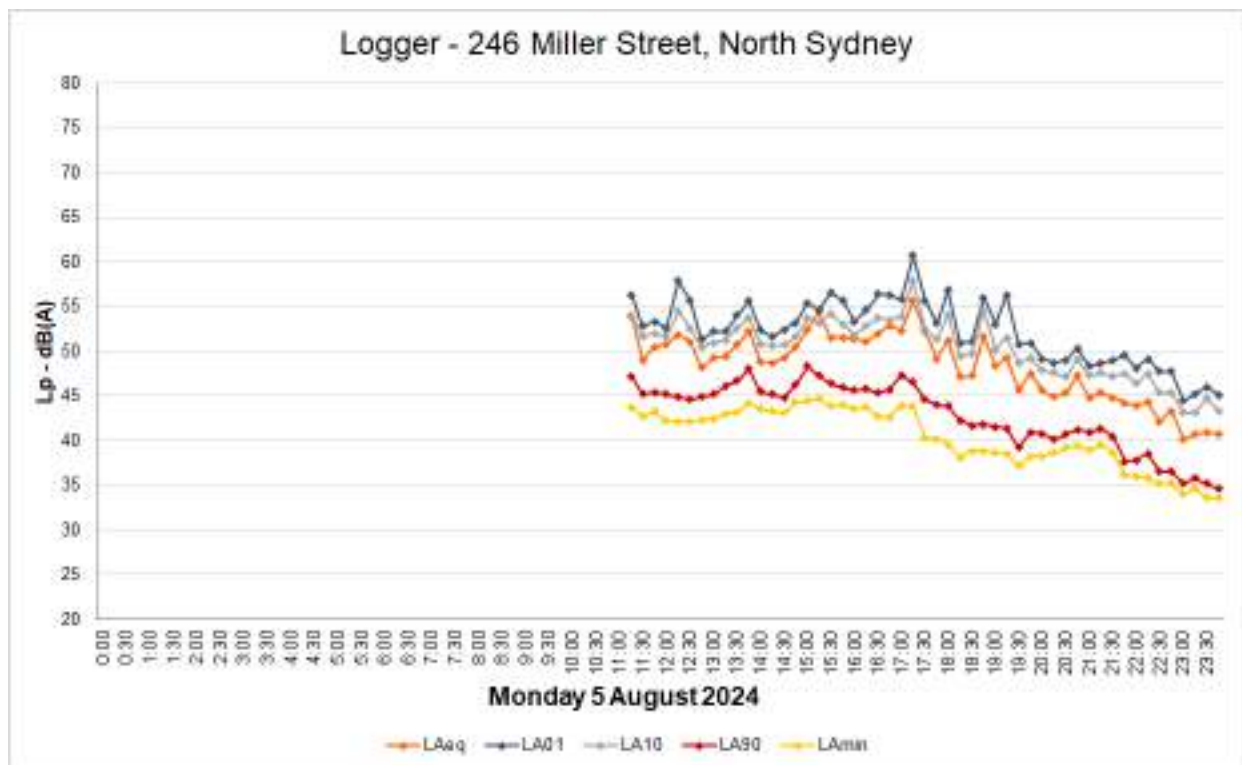


Figure 9: Logger day 1

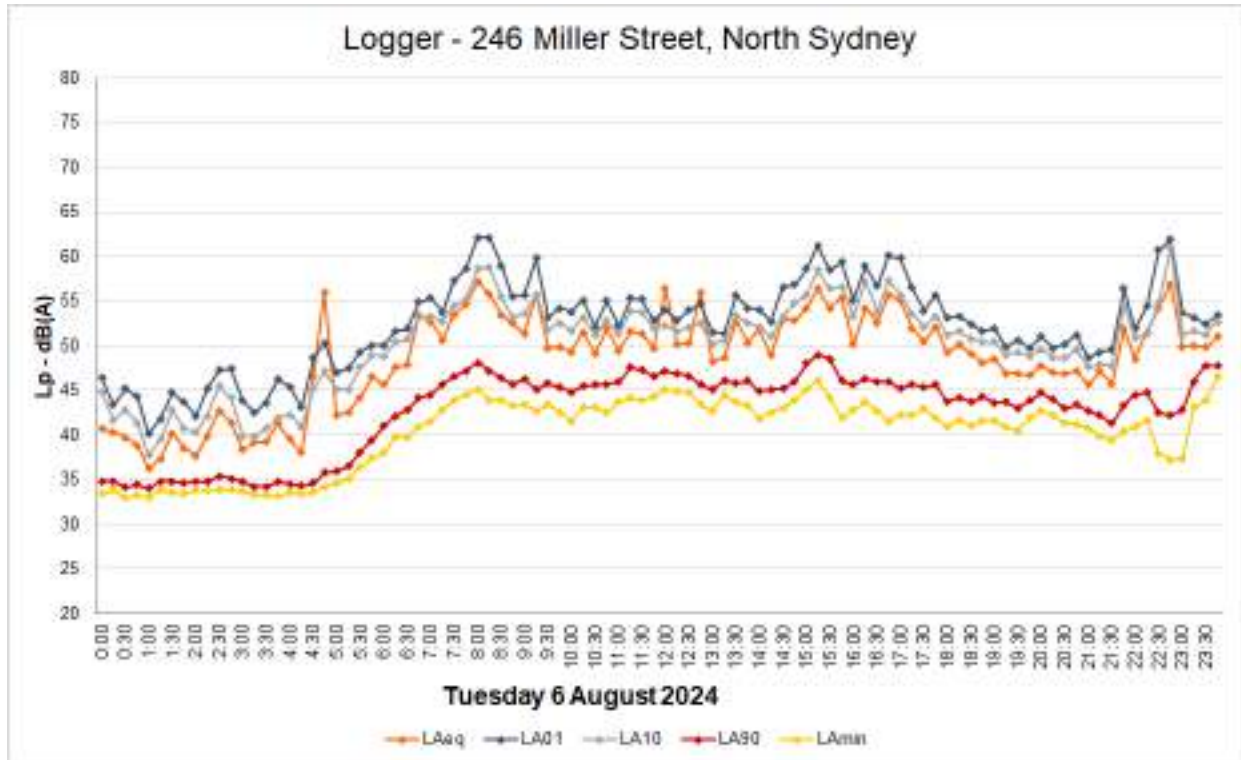


Figure 10: Logger day 2

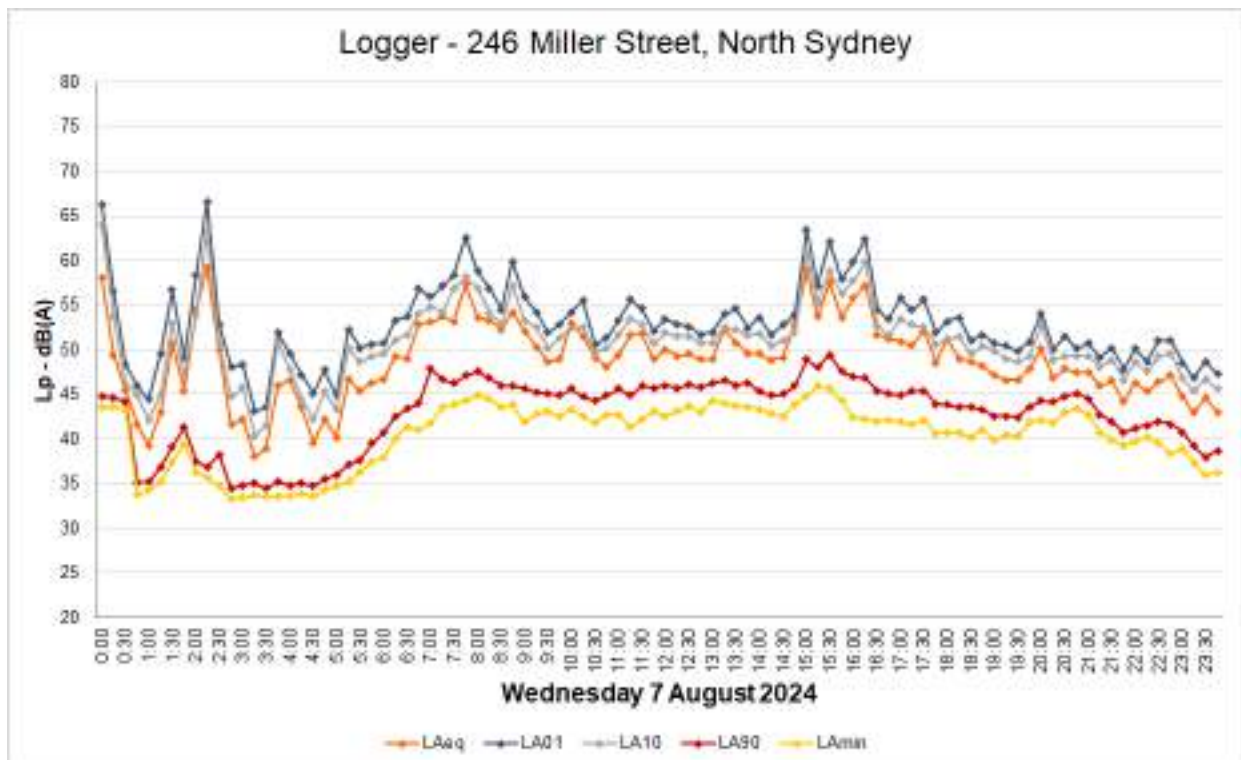


Figure 11: Logger day 3

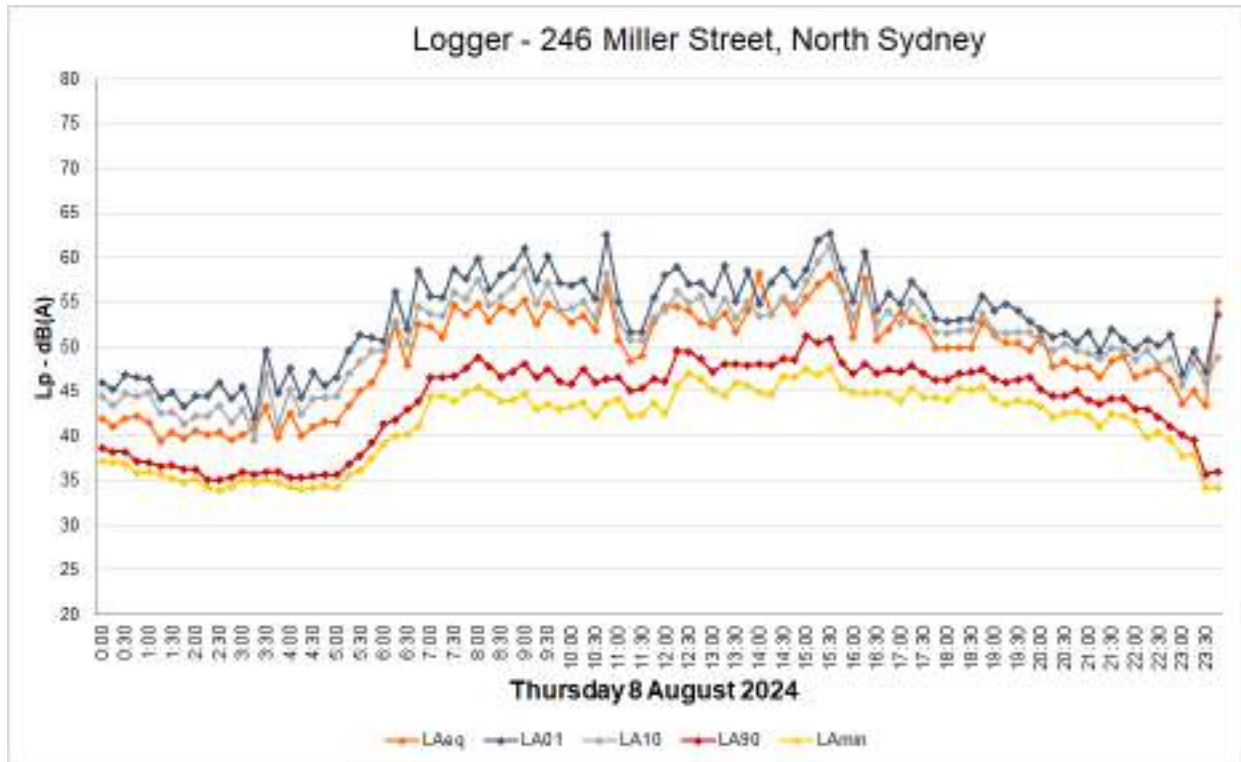


Figure 12: Logger day 4

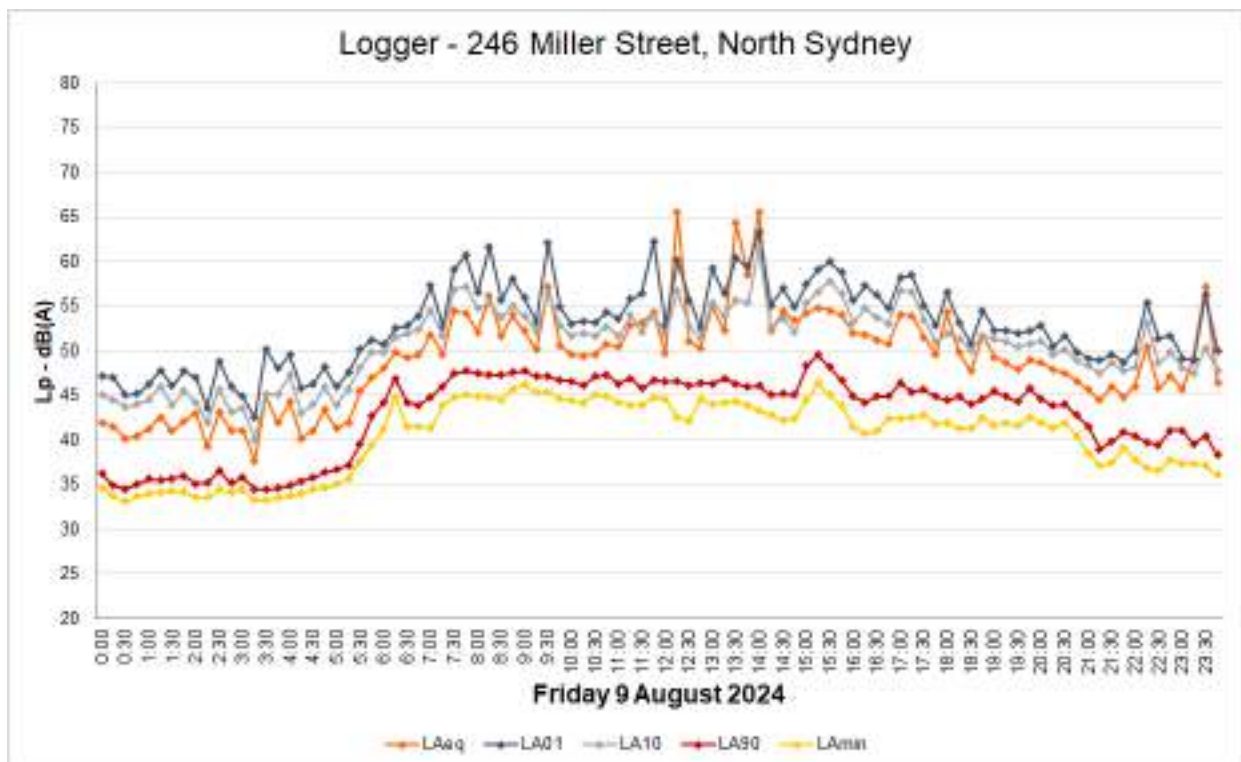


Figure 13: Logger day 5

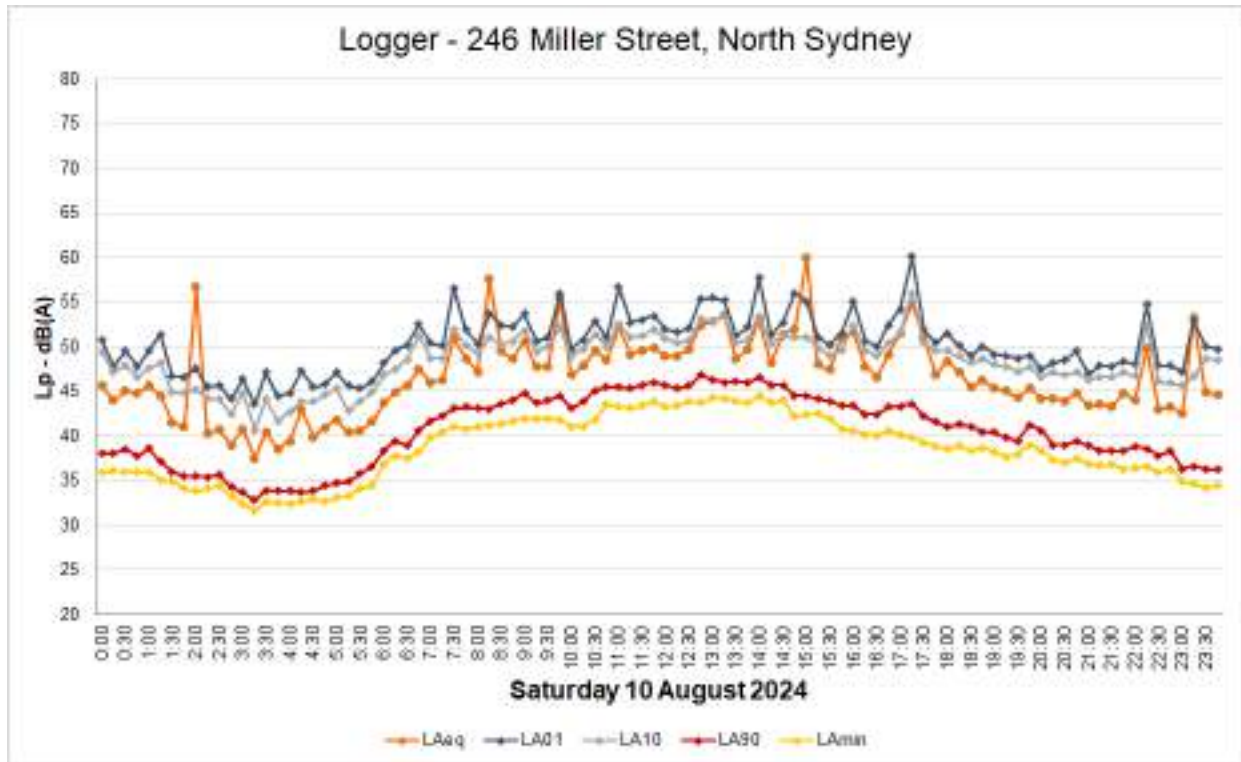


Figure 14: Logger day 6

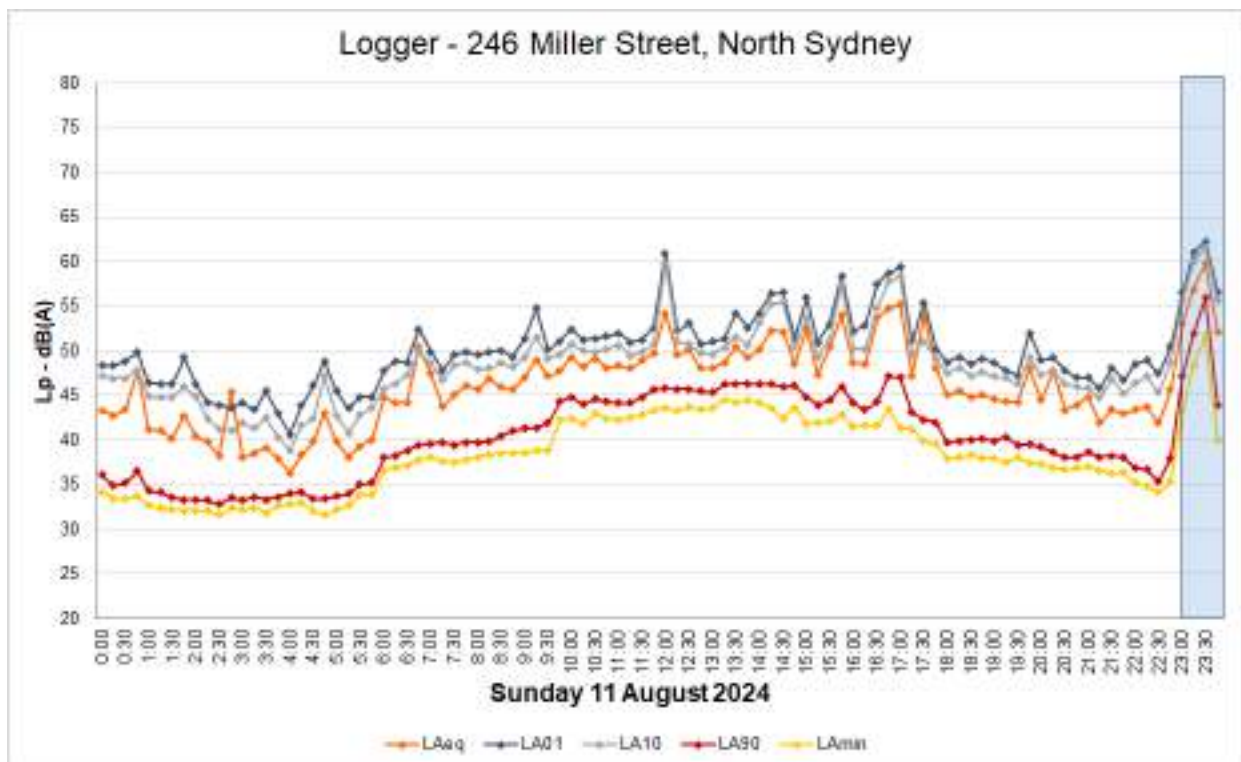


Figure 15: Logger day 7

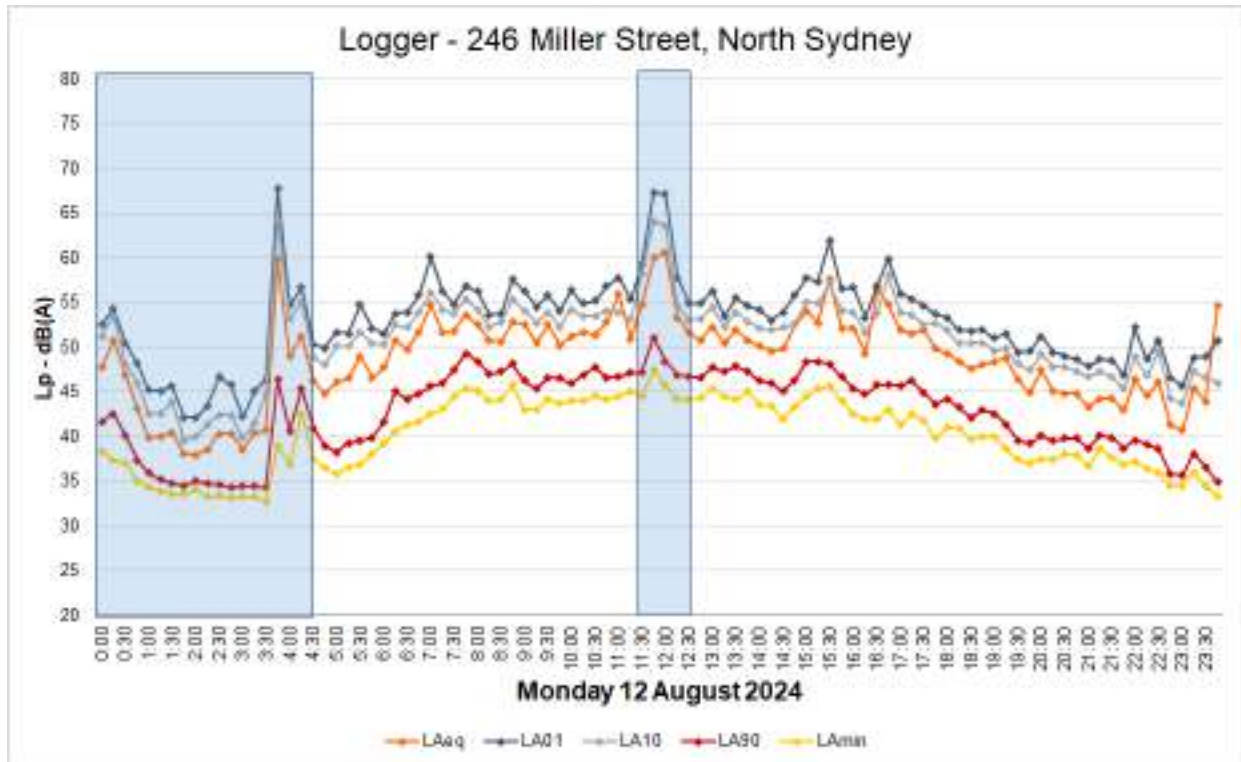


Figure 16: Logger day 8

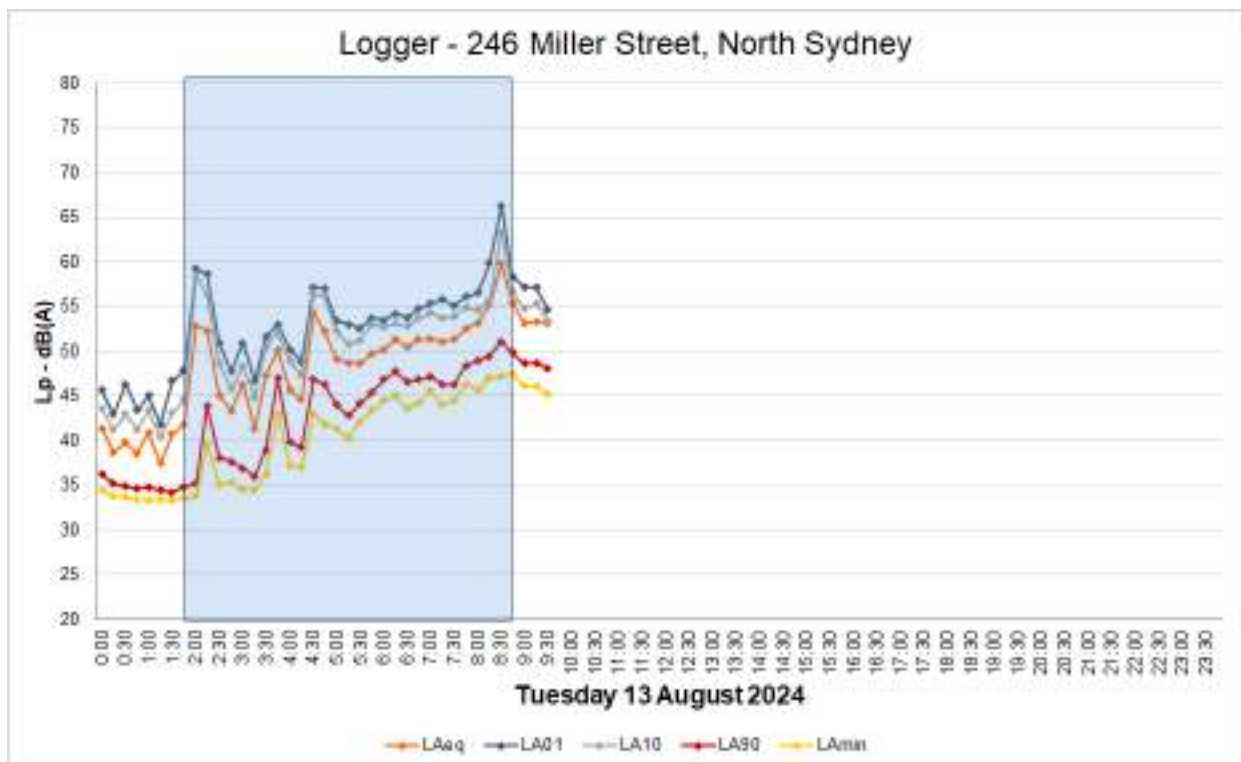


Figure 17: Logger day 9

Rainfall events and windspeeds >5m/s were excluded from the data set, as required by the NSW legislation, based upon data obtained from the Bureau of Meteorology Weather Data.

The summary of the logger measurements assessed and determined in accordance with the Noise Policy for Industry 2017 (NSW Environment Protection Authority) is tabulated below:

Time	L _{Aeq, 15min} (dBA)	L _{AF10,15min} (dBA)	L _{AF90,15min} (dBA)
Day	51.5	52.8	46.0
Evening	46.7	48.8	41.5
Night	43.0	45.6	36.3

Table 3: Logger measurements results summary

7. Urbananimal Pet Operational Noise Emissions Analysis

Noise emissions from the operation of the proposed Urbananimal Pet commercial development at 246 Miller Street, North Sydney have been predicted based on the following assumptions and information available to this office:

Our understanding based on the information provided to us is that the hours of operation of the proposed Urbananimal Pet development is 8am to 6pm, Monday to Saturday. It is also our understanding that the premises will not hold animals overnight, and its main operation will consist of pet grooming services and pet supplies retail sales.

The estimated indoor noise level of the Urbananimal Pet development with dogs barking is 80dB(A). This is based on conservative data, and it is expected that the noise levels will be significantly lower. Based on the internal noise level of 85dB(A), the estimated noise level outside the window of the Urbananimal Pet development is 50dB(A), and 47dB(A) at the nearest boundary fence.

The worst-case situation was allowed for dogs barking while at the grooming service. The effect of nuisance was researched, as summarised below:

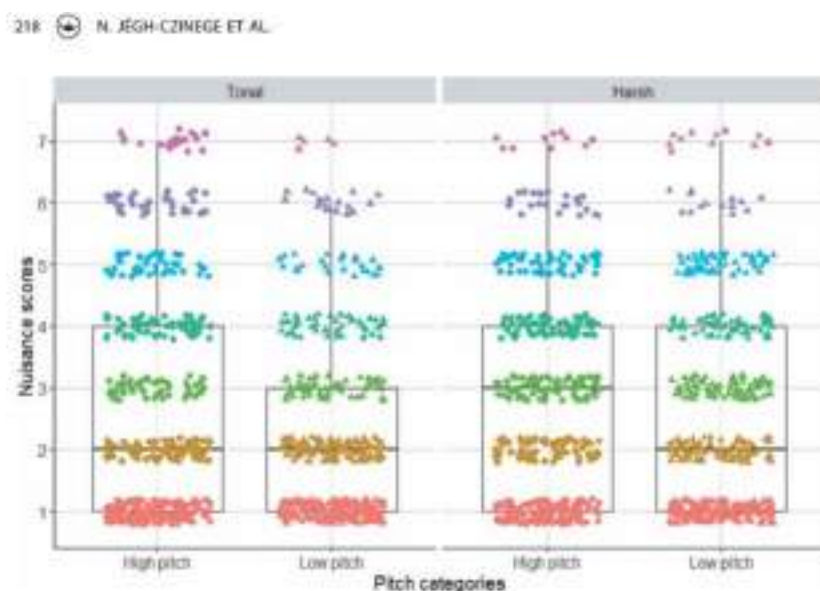


Figure 18: Pitch of dog barks effect on human perception. Individual responses are mapped on the box-plots as scatter of dots and triangles. Response score levels are colour-coded to make them more distinguishable. Bark sequences were assembled from original bark units of combinations of low (triangles) or high pitch (dots) and tonality. Categories of HNR are indicated over the bars (Tonal = high HNR; harsh = low HNR). Harsh, high-pitched barks were rated as being the most annoying.

Figure 18: Pitch of dog barks effect on human perception

(From: Jéghe-Czinege, N., Faragó, T., & Pongrácz, P. (2020). A bark of its own kind - the acoustics of "annoying" dog barks suggests a specific attention-evoking effect for humans. *Bioacoustics (Berkhamsted)*, 29(2), 210–225.)

Due to the high background noise levels measured on site, it is expected that no nuisance occurrences are projected, however we recommend the Urbananimal Pet staff encourage a non barking pet grooming environment. It is concluded that the predicted noise level complies with the North Sydney Development Control Plan 2013 noise criteria for Commercial & Mixed-Use Development requirement of 60dB (LAeq 1 hour) for the hours of 8am to 6pm as required in Table 1 above, as well as with the background + 5 dB criteria at the property boundary.

8. Pet Grooming and Associated Equipment Noise

The use of any blow driers and commercial washing machines unit on the premises must comply with the Urban Amenity Noise Levels (Table 2.2) requirement of the NSW Noise Policy for Industry 2017 published by the NSW Environment Protection Authority. The Urban Amenity Noise Levels criteria is shown below and the noise level is assessed at the nearest boundary.

Table 2.2: Amenity noise levels.

Receiver	Noise amenity area	Time of day	L _{Aeq} , dB(A)
(see Table 2.3 to determine which residential receiver category applies)			Recommended amenity noise level
Residential	Urban	Day	60
		Evening	50
		Night	45

Table 4: Amenity noise levels, dB(A)

Acoustic measurements have been performed by this office for the aforementioned equipment, and typical worst case scenarios levels are tabulated below, as per out 28/05/2025 acoustic tests.


Equipment	L _{Aeq, 15min} (dBA)
Commercial Washing machine – noisiest cycle (including spin)	75.5
	
Blow dryer – on high speed, high heat	84.7

Table 5: Equipment noise levels, dB(A)

It is expected that any potential equipment will be quieter than the old commercial equipment tested above, as generally pets are sensitive to high noise levels and newer equipment is much quieter (as low as 50-55 dBA for washing machines and 79-80 dBA for hair dryers).

The criteria in Table 4 are achieved for both ground and upper-level equipment whilst in operation, provided that **windows are kept shut during operation of the washing machine, blow dryer and cloth dryer.**

9. Noise Transmission via Common Wall

Based on the visual inspection of the brick wall, the existing wall sound insulation is adequate for controlling the noise egress and transmission between adjacent tenancies; however, it is recommended to have the washing machine installed on a minimum 5mm rubber layer, as good acoustics practice.

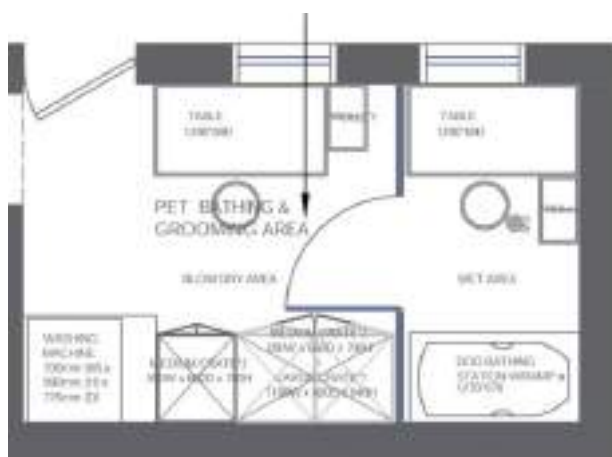


Figure 19: Install the washing machine on a rubber layer

The estimated R_w (weighted sound reduction index) of the common wall is greater than R_{w45} , and has sufficient mass to attenuate sound transmission between adjoining residences.

10. Conclusions

Norrebro Pty Ltd has been engaged by Franklin Shanks to provide an acoustic assessment for the Urbananimal Pet development at 246 Miller Street, North Sydney, NSW 2060. It is concluded that acoustic criteria stipulated in the relevant codes and guidelines can be met with the proposed scheme. Please do not hesitate to contact the undersigned directly for acoustic matters relating to this project

Yours faithfully,



Claudiu Pop

Director Australasia | Acoustic Consultant

BEng (Struct), MSc (Acoustics), PhD Cand. (Architecture)

☎ +61 435 129 922

NØRREBRO
DESIGN

COPENHAGEN | SYDNEY | SINGAPORE | SAN FRANCISCO

E: claudiu@norrebro.com.au

W: www.norrebro.com.au

Appendix – Acoustics Team

The acoustic consultants' team from Norrebro Pty Ltd team involved in this project is comprised of:

- Claudiu Pop (MSc in acoustics 25 years experience) – measurements and report preparation.
- Dr Riduan Osman (PhD in acoustics 40 years experience) – logger data processing and report preparation

Acoustics Team Leader

Claudiu Pop

B.ENG. STRUCT. M.SC. ACOUSTICS. PHD CAND. ARCHITECTURE
 Director Australasia

Claudiu has 25 years experience in acoustics and sound consulting for many large-scale projects in Australia, Asia and Europe, where he has coordinated, managed or assisted on a range of professional, corporate or government projects such as performance spaces, concert halls, auditoria, sound studios, courts, churches, train depots, commercial and industrial buildings, schools and hospitals and residential developments. Claudiu maintains strong links with academia and he is often guest lecturing at the Faculty of Architecture, The University of Sydney. Claudiu's approach towards acoustic design is the implementation of state-of-the-art R&D experience into practical and cost effective acoustic solutions derived from hands-on experience with a large variety of projects. As part of a multidisciplinary team, acoustics is merged seamlessly with our project design, to ensure success as an integral strategy. Claudiu also has various accredited publications on the subject of Acoustics application and expertise, and is one of the references in the International Standard ISO 3382:3 – 2012.



Recent Project Experience

- Four Seasons Hotel Sydney Redevelopment
- Chau Chak Wing Museum – University of Sydney
- Bowral Memorial Hall Redevelopment
- Gems World Academy, Singapore – Private International School
- Mortlake Primary School
- University of Western Sydney, Student Housing, Sydney
- Ministry of National Development Offices, Singapore
- ExxonMobil, HarbourFront Tower, Singapore
- Orchard Hotel Redevelopment, Singapore
- State Courts, Singapore
- DBS Marina Bay Financial Center Auditorium, Singapore
- Apple Café Macs, Singapore
- Globecast, Mediapolis, Singapore
- The Nielsen Company, Goldbell Towers, Singapore
- Hamilton Scotts, Singapore
- Maritime Experiential Museum & Typhoon Theatre, Sentosa Island, Singapore
- Singapore Airlines Lounges at T2 and T3, Changi Airport, Singapore
- City Harvest Church Suntec and Expo, Singapore
- Precious Entertainment Studios Millennia Walk, Singapore
- Raffles Hotel (Renovation Acoustic Study), Singapore
- Qantas Club Lounge, Sydney International Airport, Sydney
- The Cross +, Kings Cross Road, Potts Point, Sydney
- Waterbrook Greenwich Retirement Village, Sydney
- Commonwealth Bank of Australia Project Sabrina – Business Continuity Facility, Sydney
- Zen Studios, Sydney
- Hillsong Chapel, Sydney

Acoustics Executive Project Manager

Dr Riduan Osman

B.E. MECH. HONS. (NSWIT), PHD ACOUSTICS (USYD)

Senior Associate Australia & Singapore

Riduan has extensive experience as a multidisciplinary engineer ranging over a period of more than 40 years, both in Australia and Singapore.

Trained as a Mechanical Engineer and achieving a PhD in Architectural Acoustics, Riduan has a broad view on the projects he is managing, understanding the clients needs and providing consultancy with a very high standard and commitment. His past experience as project manager and facilities manager greatly benefits the clients' project, as Riduan strong point is delivering on time and on budget.

Dr. Osman also has various accredited publications on the subject of Acoustics application and expertise spanning decades, as recent as September 2019 in Germany.



Recent Project Experience

Health

- Newcastle Private Hospital Redevelopment & Kingston Extension
- Newcastle Private Hospital Croudace Bldg Mechanical Services Upgrade
- Sydney Ambulance Metropolitan Infrastructure Strategy Buildings (Haberfield, Randwick, Caringbah, Artarmon, Narrabeen, Summer Hill)
- Gleneagles Medini Hospital, Malaysia
- Queanbeyan Hospital Redevelopment
- Tamworth Hospital Data Centre
- Prince of Wales Medical Laboratories, Randwick
- Medical Foundation Building, University of Sydney

Community

- Hillsong Chapel, Baulkham Hills
- Rouse Hill Town Centre Cinemas
- Sydney Town Hall Centennial Hall Noise Assessment
- Acoustic Treatment of Customs House Lobby, Circular Quay
- Hillsong Church, Waterloo
- Hillsong Auditorium, Sydney Hills Campus
- Storey Park Community Centre, Hornsby

Educational Facilities

- UTS Building 11 Faculty of Engineering and Information Technology
- University of Queensland Mayne Centre
- Medical Foundation Building, University of Sydney
- Sydney Technical College Automotive

Commercial

- 8 Chifley Square, Sydney
- Gateway Building, Macquarie Place Sydney
- Four Seasons Hotel Sydney
- Forum West, St. Leonards;
- Qantas Club Lounge Sydney International Airport
- ING Bank Emergency Generator
- Commonwealth Bank Facilities, Sydney Olympic Park

Industrial

- Wellington Correctional Centre 'pop-up prison'
- Telstra Chatswood Telephone Exchange
- Telstra Homebush Telephone Exchange
- Telstra Haymarket Telephone Exchange
- Telstra Dalley St Telephone Exchange
- Waterloo St North Ryde Data Centre
- NRMA Workshops, Gladesville
- NRMA Workshops, Narrabeen

Retail

- Rouse Hill Town Centre
- Ikea Tempe
- South Village, Kirrawee
- NRMA Café, Sydney Olympic Park
- Pooles Rock Winery and Function Centre

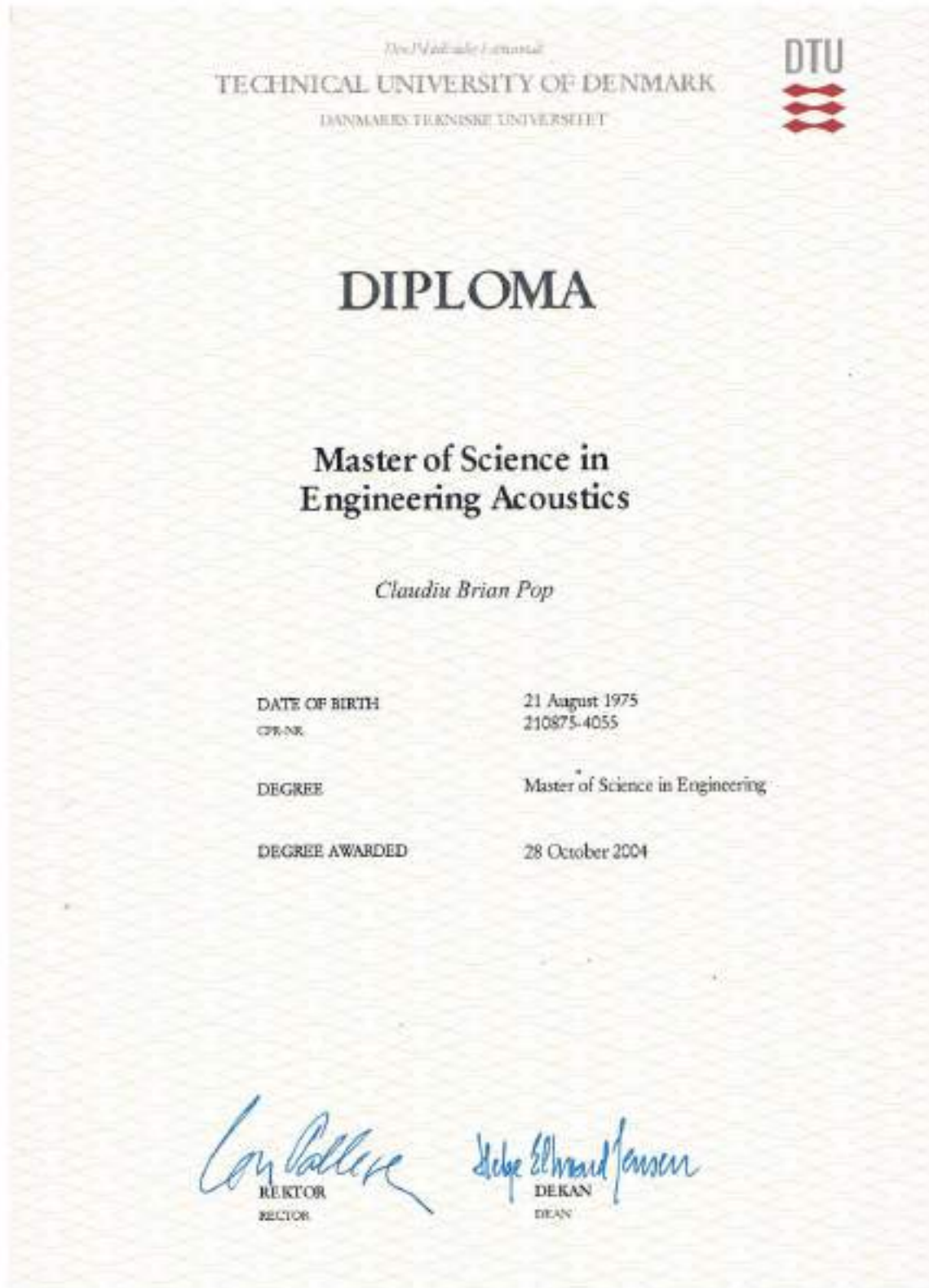
Infrastructure

- Northern Beaches Bus Rapid Transport Carpark
- White Bay Cruise Terminal

Publications on Acoustics

- Pop, C. and Rindel, J. H. 2005. "Perceived Speech Privacy in Computer Simulated Open-Plan Offices". Inter-Noise 2005 - *The International Congress and Exposition on Noise Control Engineering*, Rio de Janeiro, Brazil, 2005. (publication is reference 12 in the new ISO 3382-3:2012 Acoustics – Measurement of room acoustic parameters – Part 3: Open plan offices)
- Pop, C. and Cabrera, D. 2005. "Auditory Room Size Perception for Real Rooms". Proceedings of ACOUSTICS 2005, 9-11 November 2005, Busselton, Western Australia.
- Cabrera, D., Pop C. and Jeong D. 2006. "Auditory Room Size Perception: A Comparison of Real versus Binaural Sound-fields". Proceedings of ACOUSTICS 2006, 20-22 November 2006, Christchurch, New Zealand.
- Pop, C., Wee, M., Cabrera, D. and Tan, G. 2012. "Acoustic Descriptors for Open Plan Offices – Evaluation of Field Measurements". Euronoise 2012, 10-13 June 2012, Prague, Czech Republic
- Pop, C. 2019. "Heritage and Avant-garde – On the Acoustic Design of a Series of 19th Century and Modern Australian Multipurpose Halls". ICA 2019, 23rd International Congress on Acoustics, 9-13 September 2019, Aachen, Germany
- Pop, C, Osman R, Knight J. 2019 "Music practice rooms: Ambitions, limitations and practical acoustic design", ISMA 2019 International Symposium on Musical Acoustics, 13-17 September 2019, Detmold, Germany.
- Pop, C. 2019 "Mozart or Elvis: Which One is More Fun? (to Design a Venue for) Design Parallels and Differences for Acoustics Excellence of Halls for Modern and Classical Music". ISRA 2019, International Symposium on Room Acoustics, 15-17 September 2019, Amsterdam, The Netherlands.

Qualifications



GRADE TRANSCRIPT/28 October 2004



Claudiu Brian Pop, Civil Reg. No. 210875-4055

has passed the examination for the degree of Master of Science in Engineering Acoustics.

YEAR	ECTS (points)	TITLE OF COURSES	MARKS
Thesis			
S04	35,0	Master Thesis at Ørsted DTU Acoustical Conditions in Open Plan Offices	9
Courses			
S04	10,0	Partial Differential Equations- Applied Mathematics	9
S03	10,0	Sound and Vibration	6
S03	10,0	Advanced Acoustics	7
S03	10,0	Electroacoustic Transducers and Systems	7
W02	10,0	Architectural Acoustics	8
W02	10,0	Acoustic Communication and Audiology	8
S02	5,0	Environmental Acoustics	10
S02	5,0	Fundamentals of Acoustics and Noise Control	9
W01	5,0	CAD/CAM	11
W01	10,0	Heat and Moisture Conditions of Buildings	9
W01	5,0	The Finite Element Method for Partial Differential Equations	PA



Operational Waste Management Plan

1. Introduction & Business Details

- 1.1 Purpose:** This Operational Waste Management Plan (OWMP) outlines the procedures for managing solid waste and trade wastewater generated during the day-to-day operations of MisterDD Pty Ltd T/A Urbanimals Pet at 246 Miller St, North Sydney. The plan aims to ensure compliance with North Sydney Council requirements (including NSDCP 2023 Part B Section 19) and Sydney Water regulations, following the principles of the waste hierarchy to minimise landfill disposal and maximise resource recovery.
- 1.2 Business Activity:** The primary activity is pet grooming services, involving washing, drying, clipping, and styling of pets (primarily dogs). Limited retail sales of pet products may also occur. No dog day care services are offered.
- 1.3 Person Responsible:** The Shop Owner/Manager, Ruiqi Ke, is responsible for the implementation and ongoing management of this OWMP.

2. Estimated Ongoing Solid Waste Generation

This table outlines the anticipated types and estimated weekly volumes of solid waste generated during typical operations. Volumes are estimates and subject to review based on actual business activity.

TYPE OF WASTE TO BE GENERATED	EXPECTED VOL. PER WEEK	PROPOSED ON-SITE STORAGE AND TREATMENT FACILITIES	DESTINATION
Please specify e.g. food waste, glass, paper, metal, off cuts etc	Litres or m ³	e.g. waste storage and recycling area, garbage chute, on-site composting, compaction equipment	Recycling Disposal Specify contractor
Cardboard	240 Litres	Flattened and stored in a dedicated 240L Cardboard Recycling bin (Blue Lid with Cardboard markings) located in back yard	Recycling: Collected weekly by Licensed Commercial Waste Contractor. Contractor: Bingo Industries
General Waste	240 Litres	Stored in a 240L General Waste bin (Red Lid) located in back yard. Includes soiled packaging, non-recyclables, sweepings.	Disposal: Collected weekly by Licensed Commercial Waste Contractor. Transported to a licensed waste processing facility/landfill. Contractor: Bingo Industries
Pet Hair	100 Litres	Collected separately (e.g., swept/clipped), stored clean and dry in designated sealed bags/container within shop	Recycling: Collected by Sustainable Salon Program
Mixed Recycling (Co-mingled)	240 litres	Stored in a 240L Mixed Recycling bin (Yellow Lid) located in backyard For clean/rinsed shampoo/product bottles (plastic), cans, glass.	Recycling: Collected fortnightly weekly by Licensed Commercial Waste Contractor. Contractor: Bingo Industries



3. On-Site Solid Waste Storage & Handling

- **3.1 Storage Location:** All waste bins will be stored internally within a designated area. This area will be kept clean, tidy, well-ventilated, and accessible for staff use and contractor collection. Bins will not be stored permanently on public land (e.g., footpath).
- **3.2 Hair Collection:** Pet hair/fur will be swept or collected directly from grooming stations frequently throughout the day and placed immediately into the designated bags/bin to minimise airborne particles and contamination. Storage methods (e.g., sealed bags, dedicated bin) will align with the requirements of the chosen recycling or disposal pathway.
- **3.3 Wet Waste:** Any significantly wet waste materials (e.g., heavily soiled disposable towels, cleaning cloths) will be securely bagged before being placed into the General Waste bin to prevent leaks and control odours.
- **3.4 Bin Labelling & Signage:** All waste and recycling bins will be clearly labelled according to Australian standards (e.g., Red Lid - General Waste, Yellow Lid - Mixed Recycling, Blue Lid/Markings - Cardboard) and with clear signage indicating acceptable materials for each stream. External bins will be labelled with the Business Name, Site Address, Contact Phone Number, and Waste Contractor details.
- **3.5 Staff Training:** All staff will receive induction and ongoing training regarding correct waste segregation procedures (especially for hair and recyclables), bin locations, storage requirements, cleaning protocols, trade waste pre-treatment system cleaning (see Section 5), and the importance of waste minimisation.

4. Solid Waste Collection & Disposal

- **4.1 Waste Contractors:** A licensed commercial waste contractor will be engaged for the collection of General Waste, Mixed Recycling, and Cardboard streams. Contractor details: Bingo Industries.
- **4.2 Hair Destination & Collection:** The final destination (recycling or disposal) and collection/transport method for pet hair/fur is **Sustainable Salons**
- **4.3 Collection Frequency:** Estimated frequencies are: General Waste (Weekly), Mixed Recycling (Fortnightly), Cardboard (Weekly). Frequencies will be confirmed and adjusted with the contractor based on actual waste generation. Hair collection frequency is Monthly.
- **4.4 Collection Procedure:** On the scheduled collection day(s), bins will be moved from the internal storage area to the designated kerbside collection point on the back of property immediately prior to the collection window. Bins will be retrieved and returned to the internal storage area promptly after servicing. Care will be taken not to obstruct pedestrian or vehicle traffic.

5. Trade Wastewater Management

- **5.1 Acknowledgement:** It is acknowledged that wastewater generated from pet grooming activities (washing animals) constitutes trade waste under the relevant NSW



legislation and Sydney Water requirements. This wastewater contains hair, solids, dirt and grooming products (soaps, shampoos, conditioners).

- **5.2 Pre-treatment:** An appropriate **pre-treatment device**, such as a solids interceptor trap, screening basket, or similar approved equipment designed to capture pet hair and suspended solids, will be installed by a licensed plumber. This device will treat wastewater from the grooming tub(s)/area(s) *prior* to discharge via the existing floor drain connection to the sewer main, as required by Sydney Water. The specific type and size of the device will be determined in consultation with a licensed plumber and based on Sydney Water requirements.
- **5.3 Pre-treatment Maintenance:** The installed pre-treatment device(s) will be regularly inspected and cleaned as per manufacturer and Sydney Water guidelines (e.g., daily/weekly checks, emptying of captured solids) to ensure efficient operation and prevent blockages or bypass. Records of maintenance may be kept. Captured solids (hair/sludge) will be de-watered and disposed of via the General Waste stream, unless a viable recycling pathway for the hair component is established.
- **5.4 Chemical Use:** To minimise environmental impact, biodegradable, low-phosphorus, and sewer-friendly grooming products will be selected and used where practicable. Safety Data Sheets (SDS) for primary chemicals used may be kept available for inspection if required.
- **5.5 Discharge Compliance:** All trade wastewater will pass through the approved and properly maintained pre-treatment system before discharge to the Sydney Water sewer network, complying fully with the conditions of any applicable Sydney Water Trade Waste Permit/Agreement.

6. Waste Minimisation & Recycling Strategy

MisterDD Pty Ltd is committed to minimising waste through the following measures:

- **6.1 Water Efficiency:** Utilise water-efficient fittings (e.g., shower heads) in grooming tubs; train staff on water-saving techniques; promptly repair any water leaks.
- **6.2 Product Procurement:** Purchase grooming supplies (shampoos, conditioners etc.) in bulk or concentrate form to minimise packaging; favour suppliers using recyclable or minimal packaging; use accurate measuring/dispensing to avoid product waste.
- **6.3 Hair Recycling:** Actively pursue and implement feasible recycling or beneficial reuse options for collected pet hair/fur.
- **6.4 Towel Management:** Prioritise the use of reusable, washable towels (laundered professionally or on-site with effective lint filtration) over single-use disposable towels.
- **6.5 Packaging Reduction:** Flatten all cardboard boxes for recycling; ensure staff correctly segregate clean recyclable packaging (e.g., plastic bottles, containers) into the Mixed Recycling bin.
- **6.6 Paper Reduction:** Utilise digital booking systems, invoicing, and customer communications where possible.
- **6.7 Retail:** Encourage customers to use reusable bags for any purchased retail items.



7. Ongoing Management & Review

- **7.1 Responsibility:** The Shop Owner/Manager, Ruiqi Ke, holds overall responsibility for implementing and managing this OWMP.
- **7.2 Staff Training:** Ongoing training and reminders will ensure all staff understand and adhere to waste management procedures.
- **7.3 Signage:** Clear instructional signage will be maintained at all waste disposal points.
- **7.4 Monitoring:** Regular checks of bin usage, contamination levels, and waste contractor invoices will be undertaken to ensure efficiency and identify issues.
- **7.5 Plan Review:** This OWMP will be reviewed at least annually, or more frequently if operations change, waste volumes alter significantly, or if Council/Sydney Water requirements are updated.
- **7.6 Contractor Liaison:** Regular communication will be maintained with waste and wastewater service providers.
- **7.7 Continuous Improvement:** The business will strive to continually improve its waste management practices, seeking new opportunities for waste reduction and recycling.